

**AGENDA**  
**OCEANSIDE DEVELOPER'S CONFERENCE**

**Tuesday, December 18, 2012, 9:00 a.m.**  
**Guajome Conference Room**

1. 9:00 a.m. - 10:00 a.m.      Discussion for six apartment units on a 0.137 acre lot located southeast of the intersection of Cassidy Street and South Tremont Street.

**Zoning: R3 (Medium Density Residential)**  
**Land Use: HD-R (High Density Residential)**  
**Neighborhood Area: South Oceanside**  
**Assessor Parcel Number: 153-271-02-00**  
**Contact Person: David Fischbach**  
**Tel.: 760-580-1986**  
**Email: [adelefischbach@gamil.com](mailto:adelefischbach@gamil.com)**

2. 10:00 a.m. - 11:00 a.m.      Discussion to demolish an existing restaurant building and construct a new 6,381 sq.ft. freestanding building located at 2685 Vista Way.

**Zoning: CC (Community Commercial)**  
**Land Use: CC (Community Commercial)**  
**Neighborhood Area: Fire Mountain**  
**Assessor Parcel Number: 165-121-28-00**  
**Contact Person: Jared Taylor**  
**Tel.: 805-440-7537**  
**Email: [jared@goldenpd.com](mailto:jared@goldenpd.com)**

Attachments:

1. Maps
2. Project Description Letter
3. Proposed Elevations



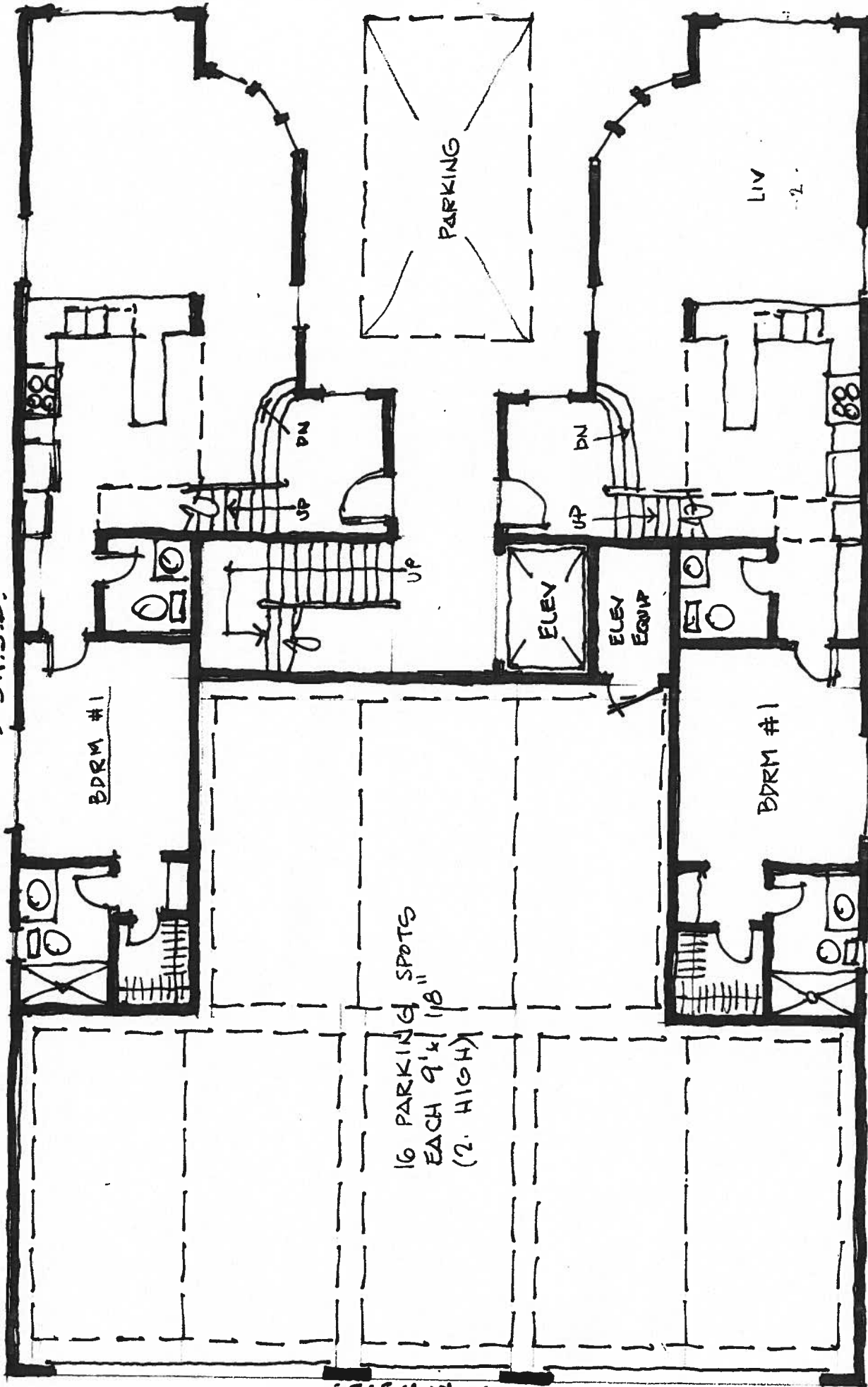
**Description  
For 6 Apartments  
At  
1810 S Tremont St, Oceanside, 92054**

December 12, 2012

**Statistics at a glance**

Address –	1810 S Tremont St
APN –	153-271-02-00
Zoning –	R3
Proposed zoning –	No Change
Lot Size –	6,000 SF (0.137 Acres)
Existing Land Use –	Vacant
Proposed Land Use –	6-Apartments
Allowable Density –	1 du/1,000 SF of lot
Density/acre –	43.5 du/acre
Front yard setback	15'
Side yard setbacks	5'
Rear yard setback	5'
Building height max	35'
Existing lot coverage -	0 %
Proposed Lot Coverage	58 %
<b>Construction</b>	
Units A + B = 1300 SF ea	2600 SF
Units C + D = 1140 SF ea	2280 SF
Units E + F = 1245 SF ea	2490 SF
<u>Total Habitable</u>	<u>7370 SF</u>
Parking Required	6 parking spots
Parking Provided	16 covered, 1 uncovered
Garage	1610 SF
Decks (Total)	1220 SF

5' S.Y.S.B.



5' R.Y.S.B.

16 PARKING SPOTS  
EACH 9'4" x 18"  
(2. HIGH)

PARKING

BDRM #1

BDRM #1

LIV

ELEV

ELEV EQUIP

UP

DN

UP

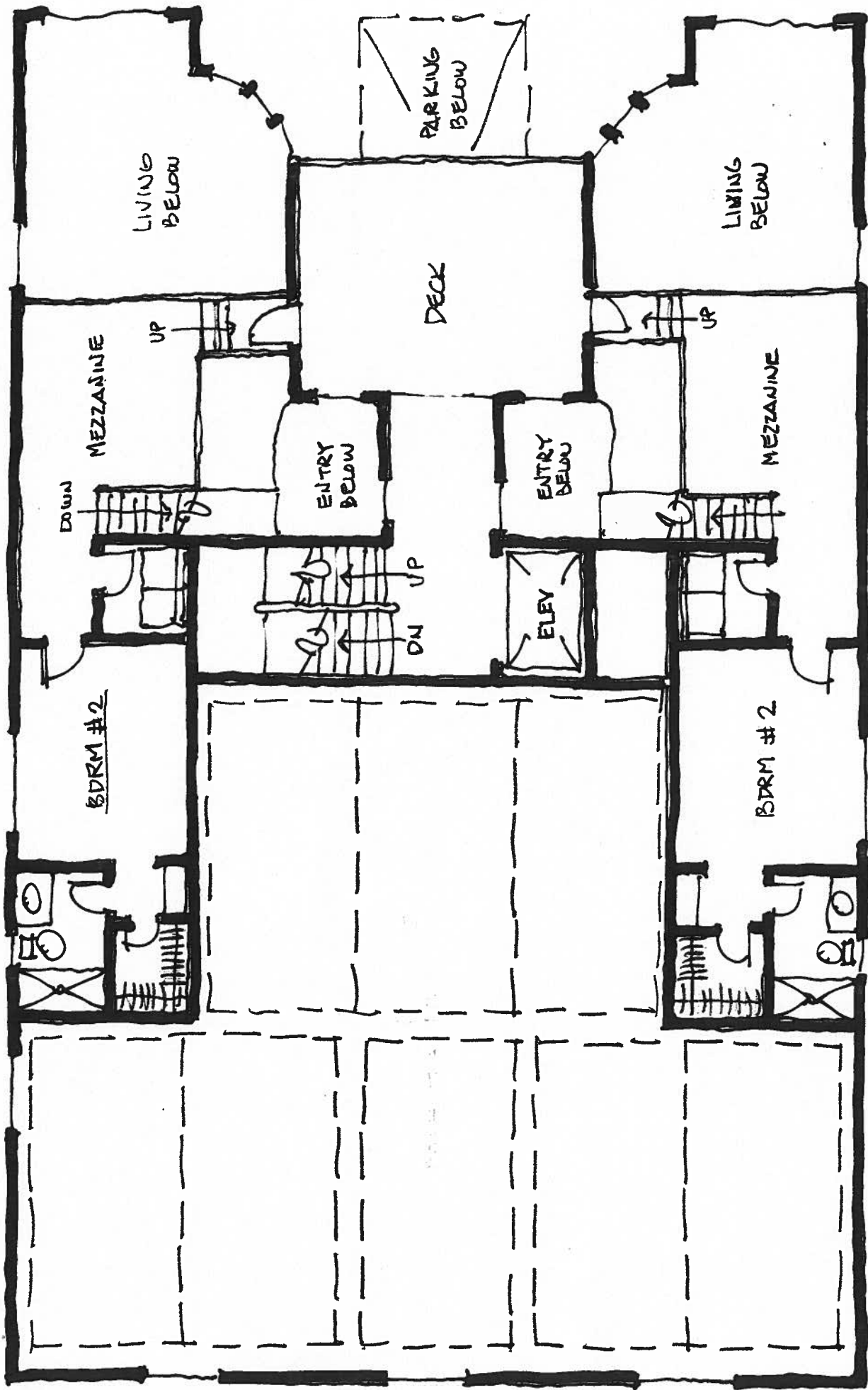
DN

5' S.Y.S.B.

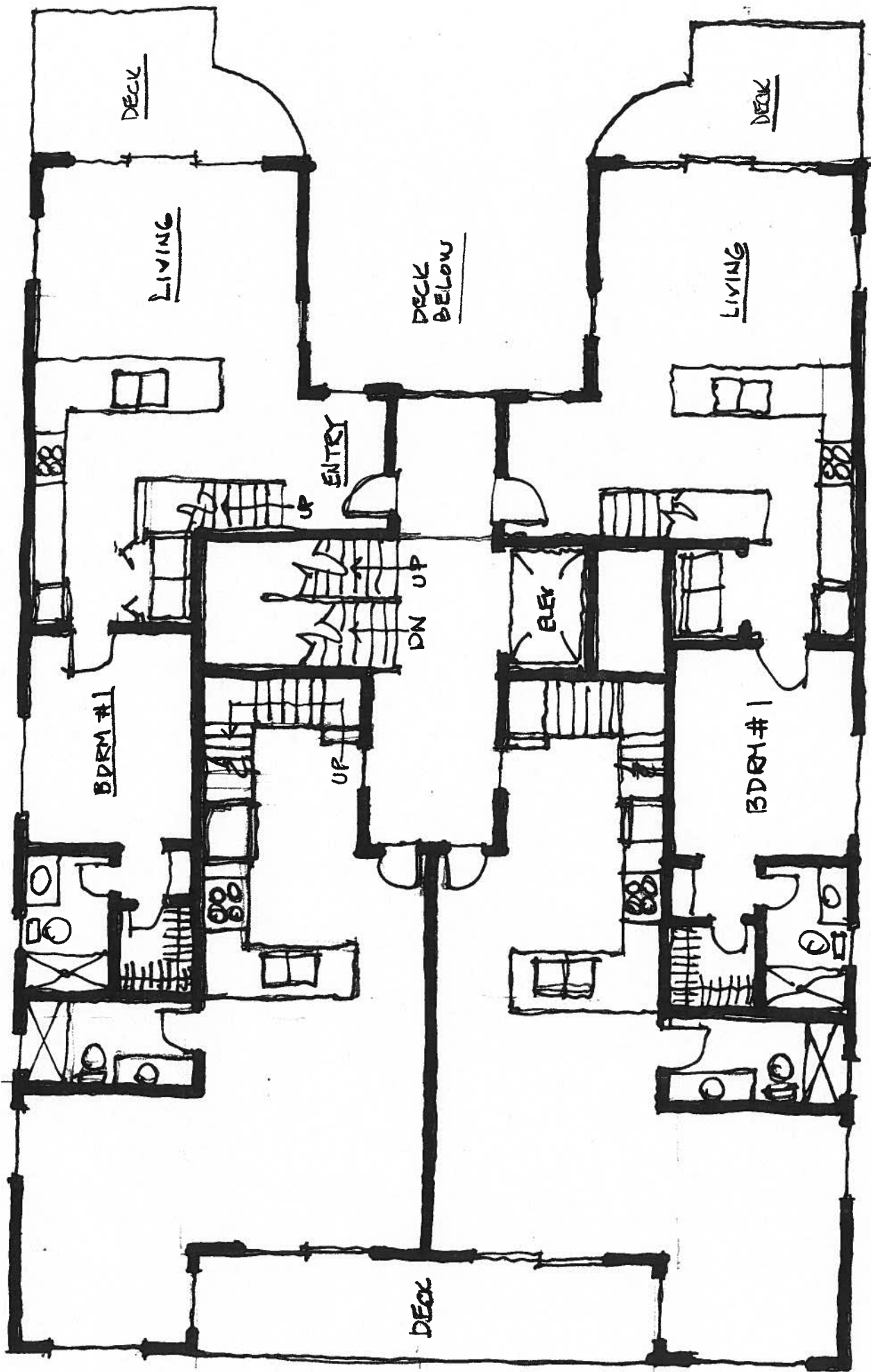
RE

1810 TREMONT 1<sup>ST</sup> FLOOR & SITE PLAN 1/8" 12.12.12

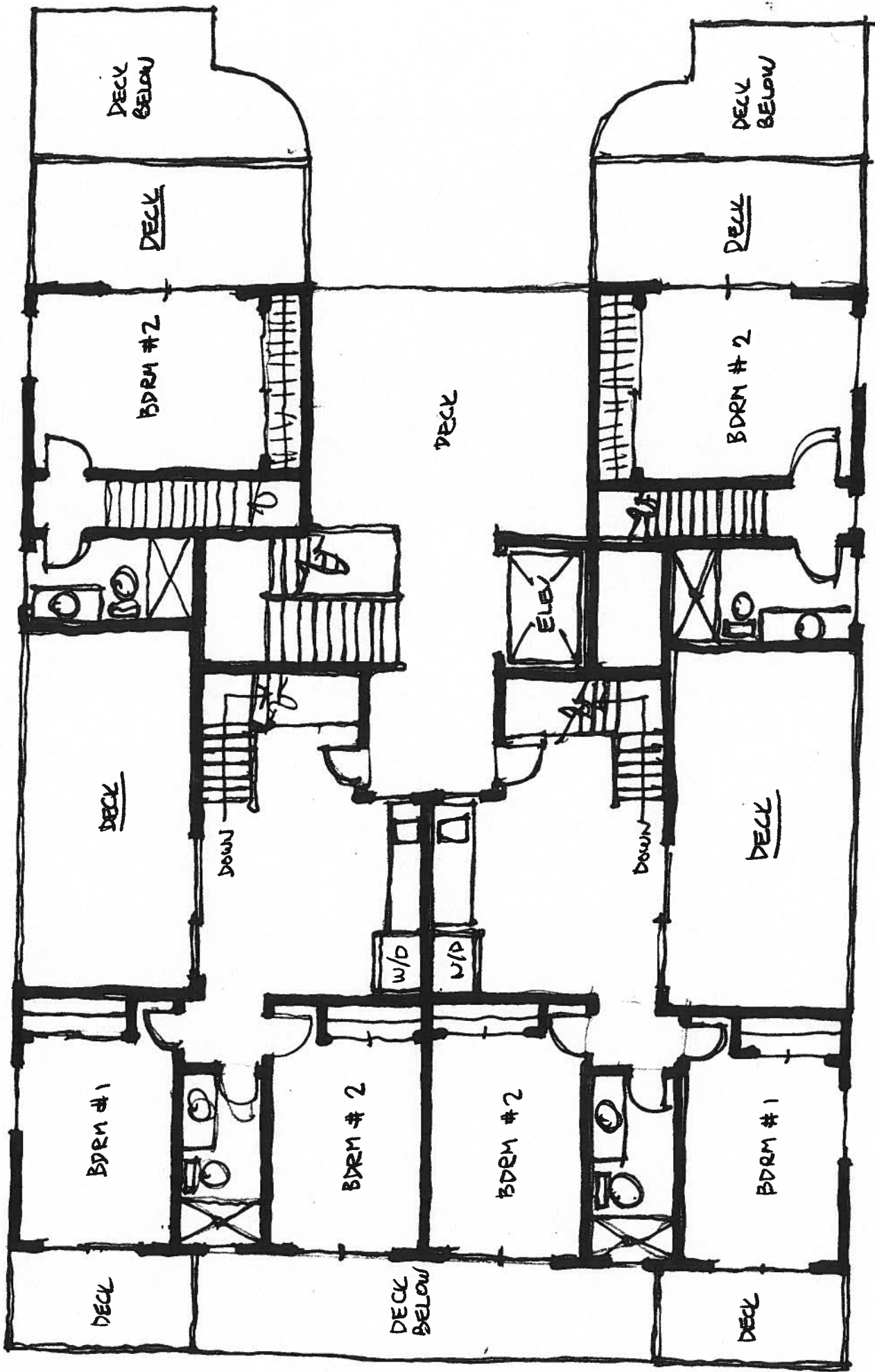




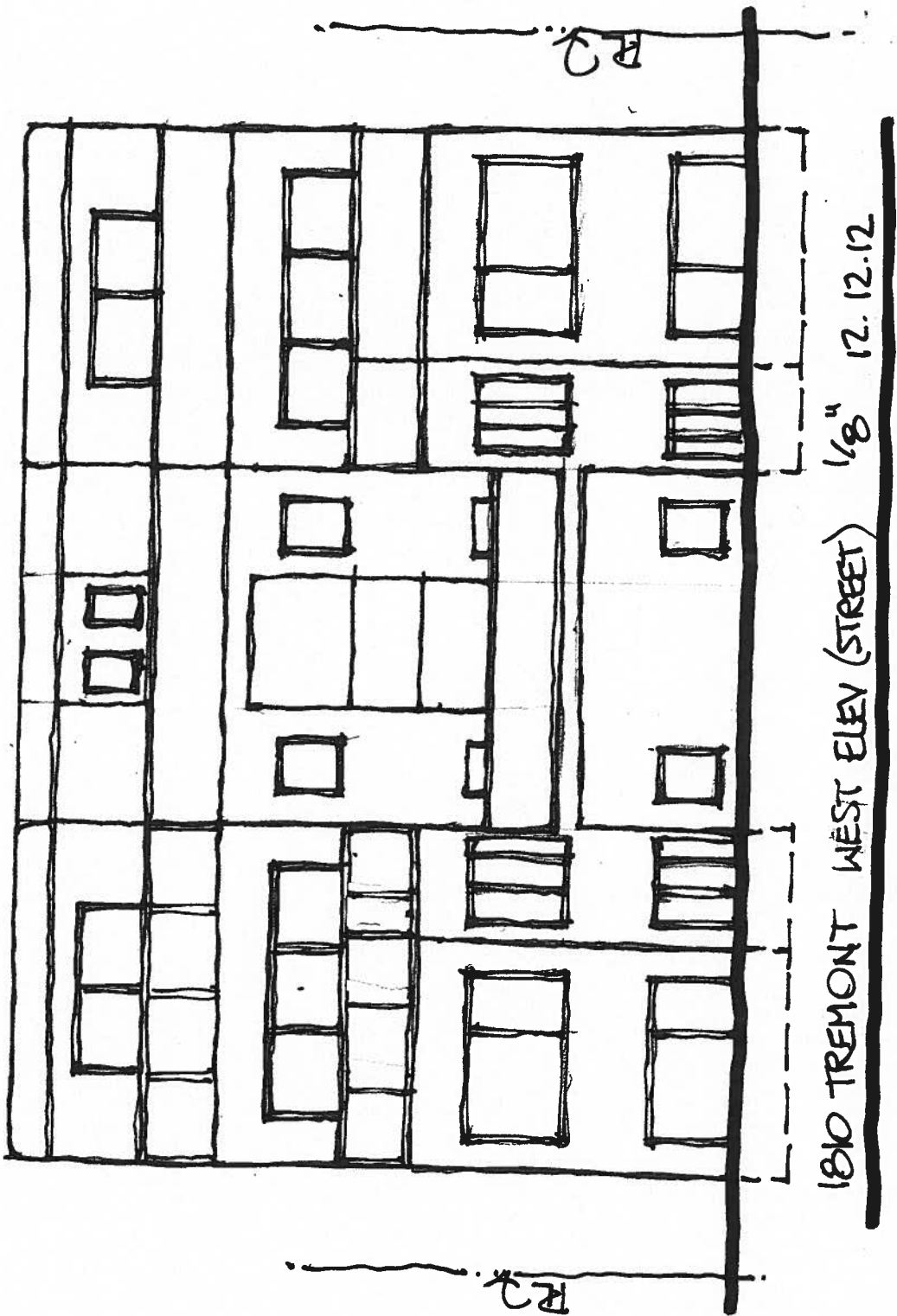
1810 TREMONT MEZZANINE & CAR LIFT LEVEL 1/8" 12.12.12

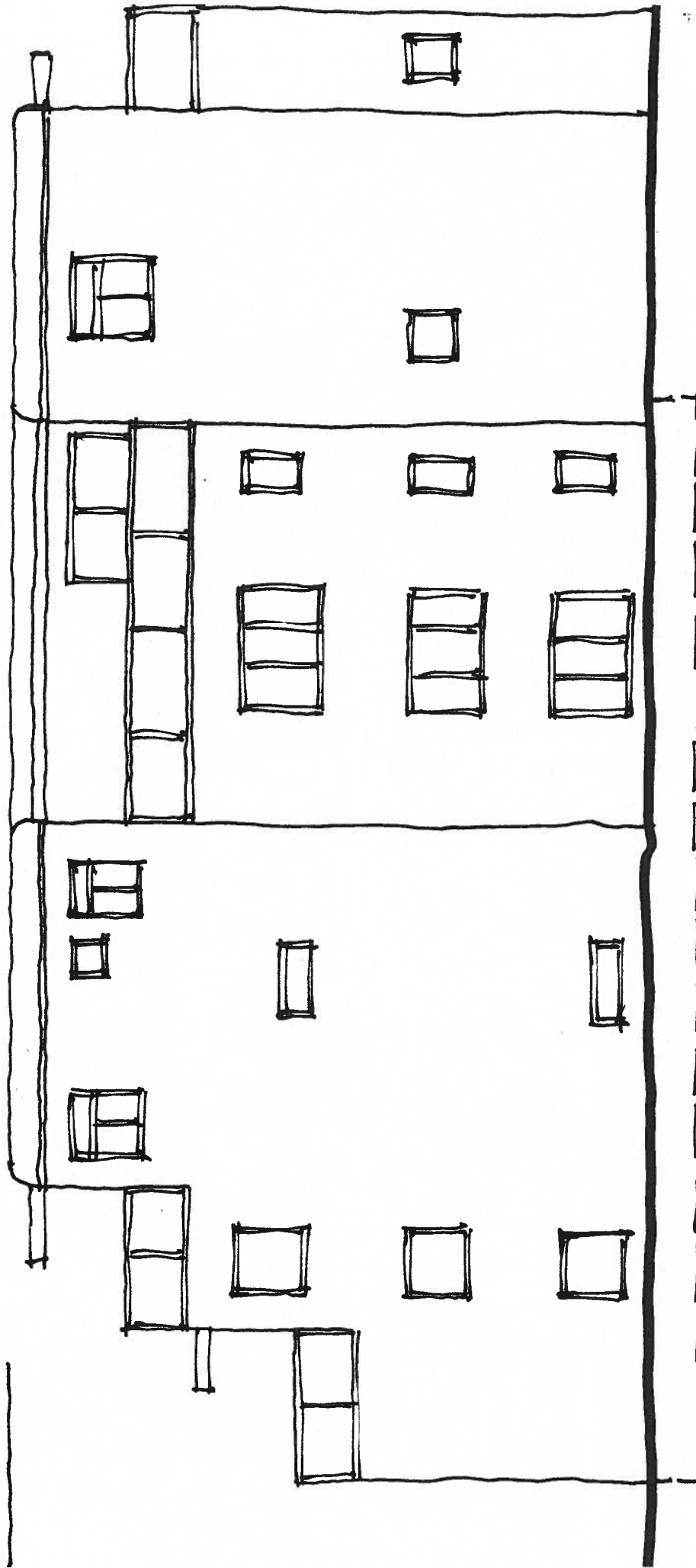


1810 TREMONT 2<sup>ND</sup> FLOOR PLAN 1/8" 12-12-12

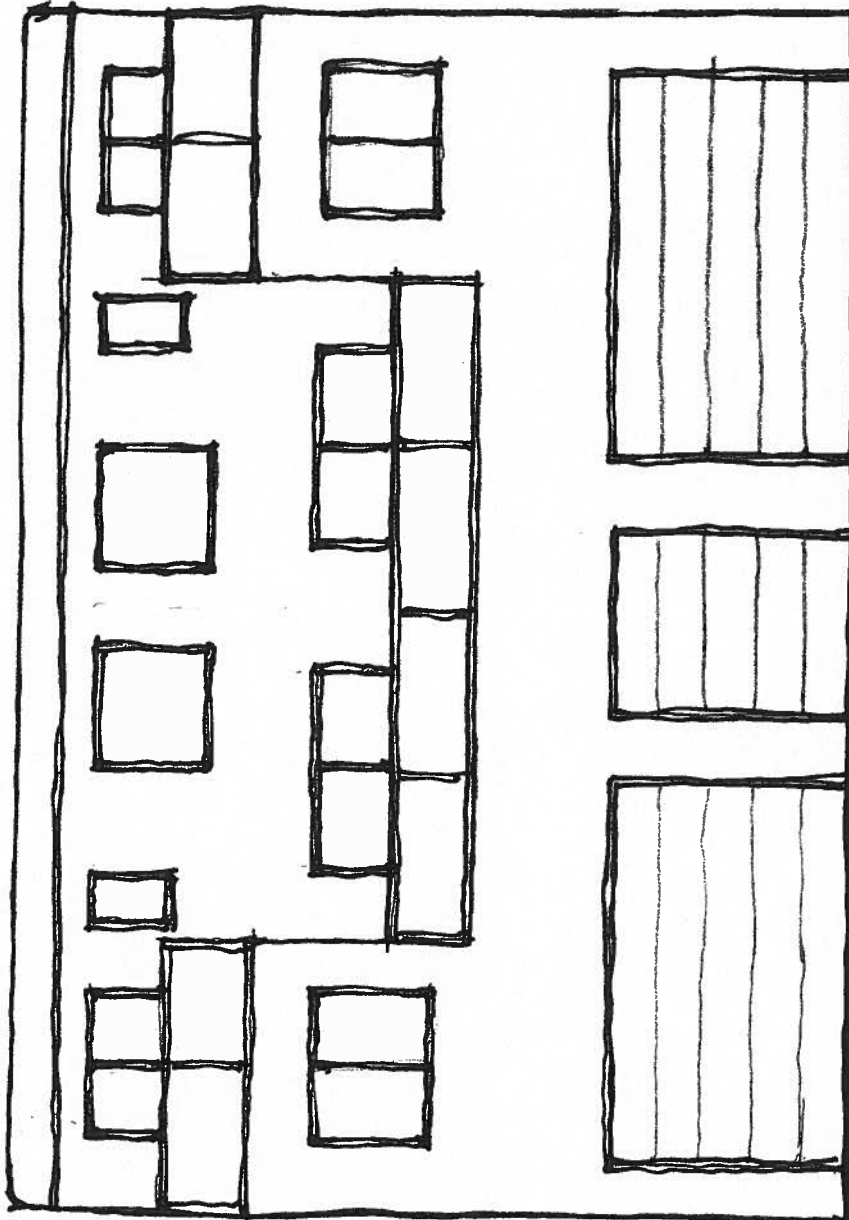


1810 TREMONT 3<sup>rd</sup> FLOOR PLAN 1/8" 12.12.12

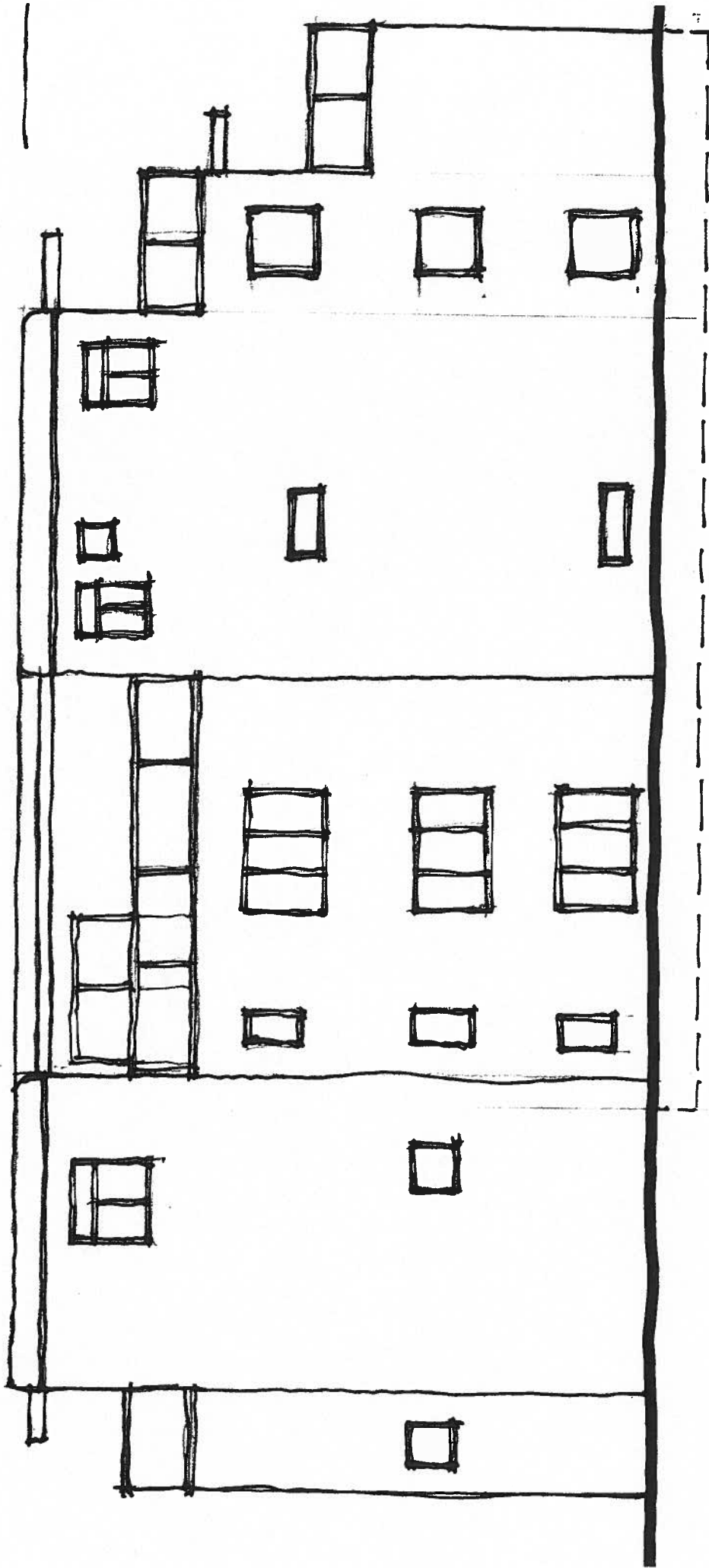




1810 TREMONT SOUTH ELEVATION  $\frac{1}{8}$ " 12.12.12



1810 TREMONT EAST ELEV. (ALLEY) 1/8" 12.12.12



1810 TREMONT NORTH ELEVATION  $\frac{1}{8}$ " 12.12.12



December 12, 2012

City of Oceanside  
Development Services Department  
300 N. Coast Hwy  
Oceanside, CA 92054

Attention: Vida Murrell

Re: Developer's Conference Meeting  
Proposed Buffalo Wild Wings  
2685 Vista Way  
Oceanside, CA 92054

Dear Ms Murrell,

Buffalo Wild Wings proposes to demolish an existing restaurant building located at 2685 Vista Way and construct a new (approximately) 6,381 sq. ft. freestanding restaurant building with approximately 1,200 sq. ft. outdoor patio in its place. Buffalo Wild Wings will lease the site from the current property owner. We do not make any representations on behalf of the property owner.

Refer to enclosed proposed site plan, floor plan and elevations for details of the proposed new building. Also enclosed find the questions we will ask during the Developers Conference Meeting. We will have questions for Planning/Zoning, Building, Fire and Engineering (Water/Sewer/Stormwater).

Sincerely,

Jared Taylor

## Planning Questions

1. What is the zoning of the site?
  - a. If site has an overlay or existing entitlement please provide copy.
2. Is a restaurant with the sale of a full line of alcoholic beverages for onsite consumption and a bar a permitted use?
3. Is an outdoor patio on private property a permitted use?
  - a. If no to any of the above, can a CUP permit these uses?
  - b. If CUP is required what is the process to obtain a CUP?
4. Are video game machines permitted in a restaurant with the sale of alcohol?
5. Can you confirm the site is not within a historic district?
6. Will Architectural Review or Certificate of Appropriateness be required?
7. Will any form of Site Plan Review be required?
  - a. Will any other submittals be required other than building plan check submittal?
  - b. How long does any required planning review process typically require?
  - c. Can we submit into building plan check concurrent with the planning review process?
  - d. Does the planning review process also review the aesthetics of exterior elevations?
    - i. Is signage required to be submitted with planning review?
  - e. Are landscape plans required to be submitted with the planning review application?
8. What would trigger the requirement for preparation of an environmental questionnaire?
9. What are the setback requirements for this zone?
  - a. Front & Side
10. What City requirements or guidelines exist regarding the proposed colors, materials and finishes of the buildings? Please provide copy.
11. What are the parking requirements for the subject site? Are the number of stalls required based upon total square footage or number of restaurant seats?

- a. Is a specific truck loading zone required for an 8,000sq. ft. building required in the subject zoning?
- b. What would trigger the requirements for a parking or traffic study to be completed?
- c. Are bicycle racks required to be installed?

12. What code section dictates signage requirements?

13. Is only a sign permit required to be obtained from the building department or is any sort of planning/discretionary review required?

- d. Is a freestanding sign permitted at this location?
  - i. What is the maximum size?
  - ii. What is the maximum area?
  - iii. size and setback requirement?
- e. How is permitted square footage of wall signage determined at this location?
- f. How many signs are permitted per building elevation?
- g. On how many elevations, or side of the building is signage permitted?
- h. How will the square footage for each sign be calculated, boxed together as one large sign or calculated as three separate individual signs?
- i. Is exposed neon permitted in wall signage?
- j. Is a 'Take Out' sign considered directional signage or will it count against total permitted wall signage square footage?
- k. Are murals without text considered signage?
- l. Does the City require privately funded projects to install 'art in public places' or pay into an 'in-lue' fund for City public art beautification? If so

can you please provide the contact info for the department in charge of this?

2. What are the landscape requirements for the subject site?
  - a. What landscape code is applicable to this site?
  - b. Will a separate landscape plan review be required, if so please provide the details of such a separate review?
3. Will you please provide a breakdown of any Planning Fees or Impact Fees for development of a tenant improvement 6,800 sq. ft. restaurant building with 1,500 sq. ft. outdoor patio at the subject location.

### **Building Questions**

1. Plan check submittal:
  - a. How many plan sets are required for submittal?
  - b. Are any separate outside submittals required to Health, Utility, Fire or Engineering departments?
  - c. Can plumbing, mechanical & electrical drawings be included into the architectural drawings for one submittal, or must they be submitted separately?
  - d. Are fire sprinkler and fire plans to be deferred sub contractor submittals or included with the building plan check submittal?
  - e. Must the property owner sign off on the building plan check submittal application?
  - f. Can building submittal be made concurrent with any planning process/review?
  - g. Can plans be submitted into plan check without a contractor being named?
  - h. Are landscape drawings required to be submitted into plancheck with the architectural drawings?
    - i. Or, is a separate landscape drawing submittal required?
  - i. How long does first round plan check typically require to receive 1<sup>st</sup> round comments?
    - i. When we resubmit to address comments how long does 2<sup>nd</sup> round plan check typically require?
  - j. Is any form of accelerated plan check available? If so, how long does 1<sup>st</sup> round accelerated plan check require?
2. Is a separate grading permit required to be obtained?
3. Is a separate landscape permit required to be obtained?
4. Can a separate demolition permit be obtained?
5. Can a separate foundation or underground plumbing permit be obtained?
  - i. If so is a separate submittal required through the typical plan check process?
6. Is a separate employee only restroom required?
  - a. We will have male and female restrooms which may be accessed by both guests and employees with fixtures to meet the occupancy requirements of both guest and employee areas. Will a separate employee only restroom be required?
7. What codes are currently used by the City?
  - a. Building
  - b. Electric
  - c. Fire
  - d. Plumbing
  - e. Energy
  - f. Mechanical
  - g. Handicap
  - h. Local City Amendments?
8. What is the structural snow load requirement, lbs//sf.?
9. What is the wind load requirement, mph or lbs./sf.?

10. What is the frost line inches?
11. What is the earthquake zone?
12. How long does 1<sup>st</sup> round plan check for a foundation only or underground plumbing permit typically take?
  - a. With such a permit can the slab be poured back?
13. Does the City allow the use of third party plan checkers?
14. Can Health plan check be concurrent with building plan check?
15. Will separate submittal for state electric be required?
16. Are green building requirements enforced for commercial construction?
17. Please provide breakdown of estimated (ballpark) plan check, permit fees and impact fees for development of a 6,800 sq. ft. restaurant building with 1,500 sq. ft. patio. A2 occupancy Type VB FS construction.

## **Public Works / Engineering**

1. Will Public Works require a separate submittal of plans?
  - a. If so what is the process of this submittal? What must be submitted and how long is the review process? What fees are associated with such a plan review?
2. Can you please provide copy of your existing water and sewer service maps showing location and size of existing water and sewer services in this area.
3. Is the sewer and water servicing this site public or private?
  - a. Will any new easements be required?
  - b. If new taps are required do we make the taps or does the city/county?
  - c. If a new meter is required, does the county provide and set the meter and we make connections? How does this work?
4. Fees:
  - a. Will we be required to purchase a new water meter?
  - b. What water and sewer fees will be required to pay for connection of the following utilities to our new building?
    - i. 4" sanitary line
    - ii. 3" domestic water meter
    - iii. 1" irrigation water meter
    - iv. 6" dedicated fire sprinkler service
  - c. Will storm drainage fees be assessed?
5. Is any type of water treatment required for a restaurant use?
6. Can you provide a map of existing storm water collection system?
  - a. Is this system public or private?
  - b. Provide sizing of existing storm water system?
7. Does a hydrology study exist for this site?
  - a. Will the existing study be required to be amended for the proposed development?
  - b. What threshold would trigger such amendment?
8. Will a Storm Water Pollution Prevention Plan be required?
9. Is a rational method of computing runoff acceptable?
10. What is storm design interval (years) used by the City?
11. Will submittal to a state department be required for storm drainage?

### **Fire Questions:**

1. Is the subject site located in a fire zone?
2. What is the maximum distance to the nearest fire hydrant as the hose lays to the furthest point on the building?
  - a. Will a new hydrant be required for the subject location?
3. What are the distance requirements for FDC?
4. Fire lane:
  - a. What is the required fire land width?
  - b. Inside turning radius?
  - c. Outside turning radius?
5. Will Fire Department require separate submittal of building plans at time of building plan check submittal or are plans routed from Building to Fire?
6. May we submit into Building plan check without fire sprinkler and fire alarm drawings?
  - a. I assume fire sprinkler and fire alarm drawings may be deferred sub contractor submittals to be completed after we pull our building permit, is this correct?
7. What is the maximum cubic footage of compressed gas (Co2 and Nitrogen) which may be stored onsite without a separate permit?



WILD WINGS

OCEANSIDE, CA

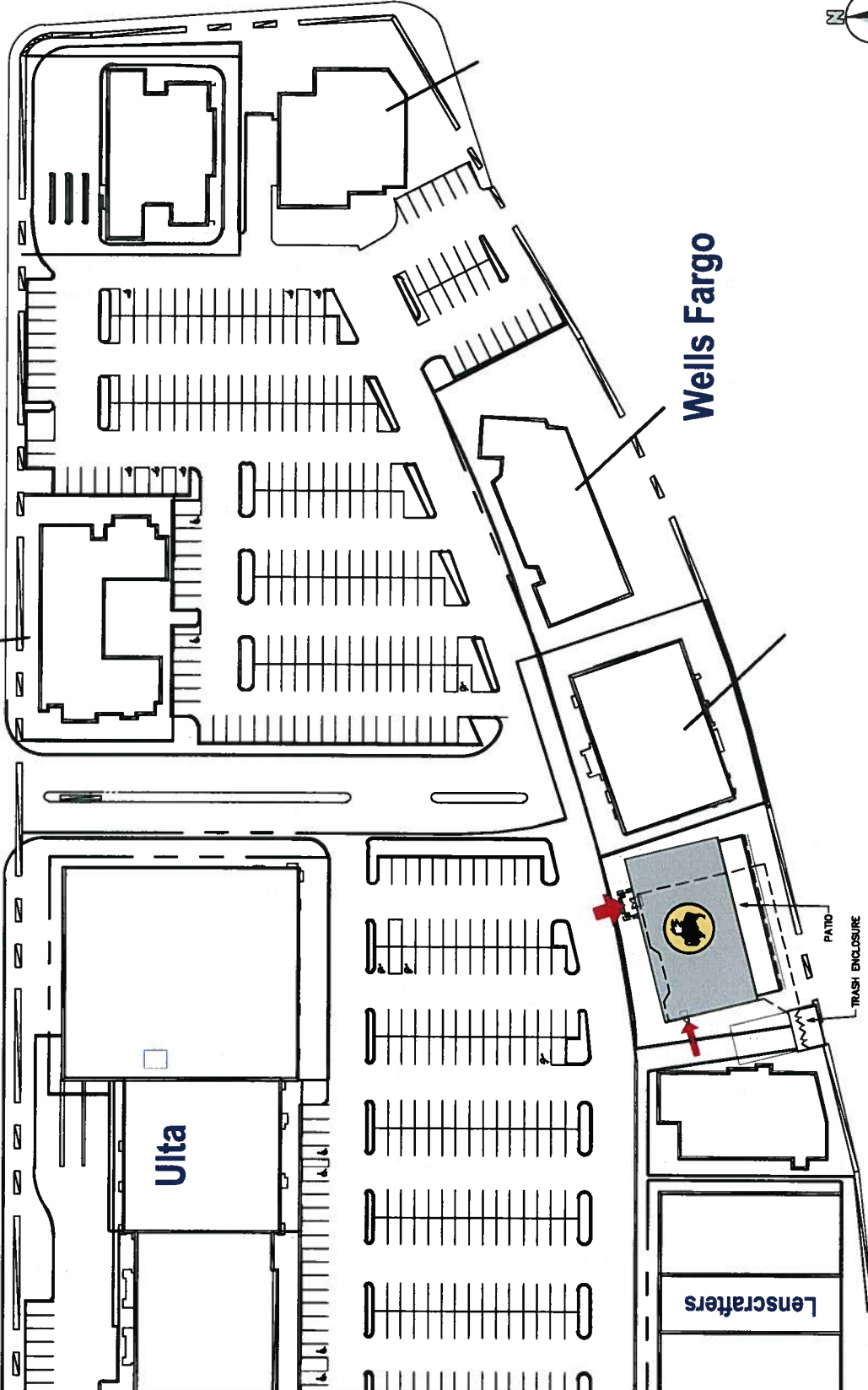
# SITE OVERVIEW

SCALE: 1/8"=1'-0"  
PAGE TITLE

LOCATION:  
MEDIA: SIZE: LEDGER  
DRAWN BY: X  
DATE: 10/31/12  
FILE: J:\Projects\1210\1210 - Ch-01.rvt  
REVISION: # 1



120 ON SITE PARKING SPACES



Wells Fargo

Ulta

Lenscrafters

PATIO

TRASH ENCLOSURE





**BUFFALO WILD WINGS**

