

AGENDA
OCEANSIDE DEVELOPER'S CONFERENCE

Tuesday, February 5, 2013, 9:00 a.m.
Guajome Conference Room

1. 9:00 a.m. - 10:00 a.m. Discussion of demolition of existing building, replacement with new building, new wash rack, and storage yard improvement located at 2365 Oceanside Boulevard.

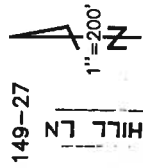
Zoning: IG (General Industrial)
Land Use: GI (General Industrial)
Neighborhood Area: Loma Alta
Assessor Parcel Number: 149-271-42
Contact Person: Mason Bailey
Tel.: 619-572-3506
Email: masonbailey@yahoo.com

2. 10:00 a.m. - 11:00 a.m. Discussion to demolish an existing restaurant building and construct a new 6,381 sq.ft. freestanding building located at 2685 Vista Way.

Zoning: CC (Community Commercial)
Land Use: CC (Community Commercial)
Neighborhood Area: Fire Mountain
Assessor Parcel Number: 165-121-28-00
Contact Person: Angel Robinson
Tel.: 972-239-8884
Email: arobinson@gha-architects.com

Attachments:

1. Maps
2. Project Description Letter
3. Proposed Elevations



149-27

FOUSSAT RD

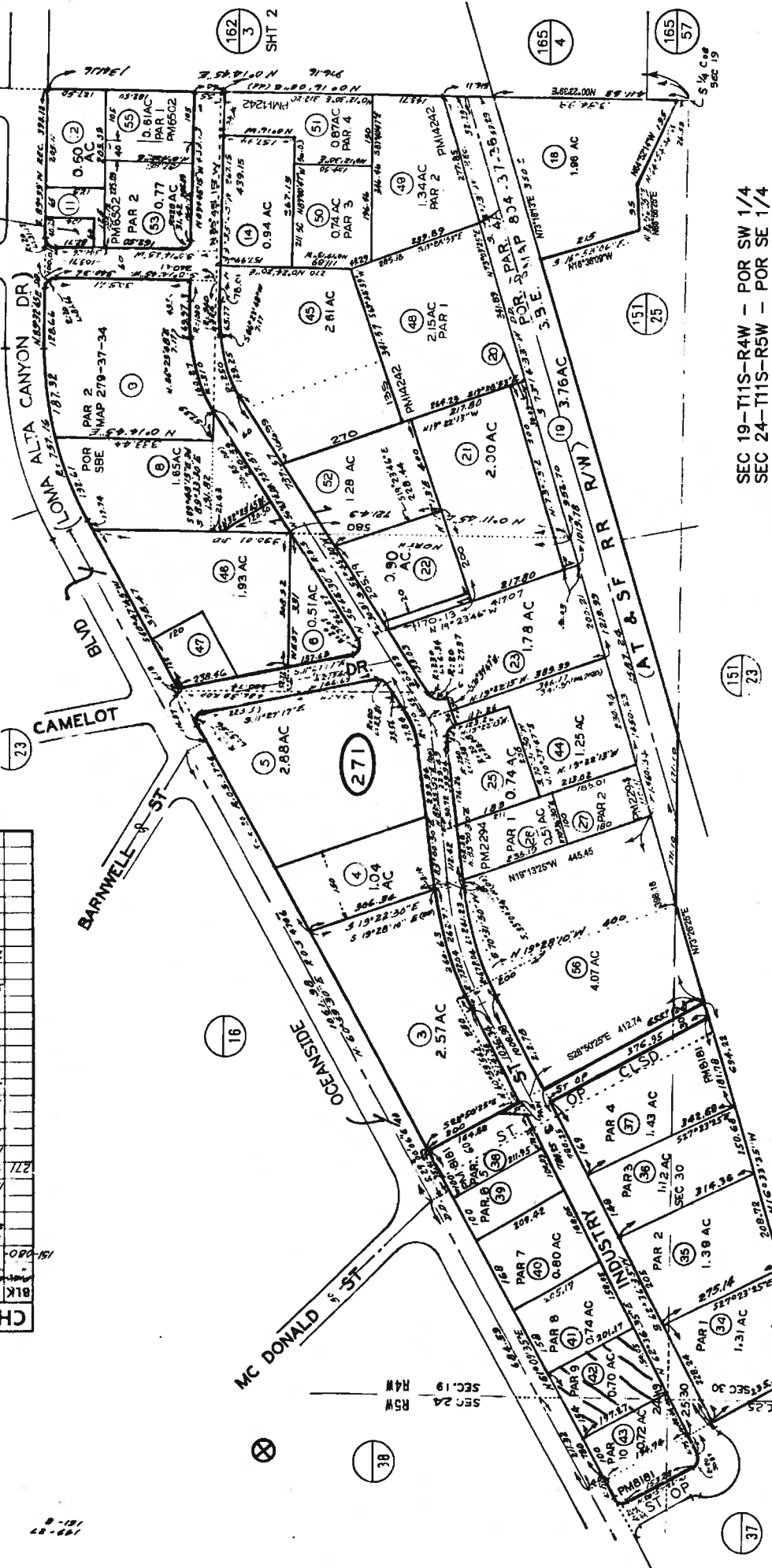
EDGEHILL LN

1"=200'

N

CHANGES	BLK	OLD	NEW	YR	CUT
	151-000	73	70	0055	
	30	74	70	6086	
	53	75	73	4940	
	63	76	74	3357	
	12-10	108	79	5987	
	271	Nov 03	1-30	78	1044
	Ac Comp	14	77	52	75
	16.2	31	77	284	
	13	12	78	200	
	44	79	4	403	
	44	79	4	403	
	91.9	80	20	22	
	15.16	80	20	22	
	7	80	9	34	
	17	80-82	87	1432	
	33	53	96	1189	
	55	96	1189		
	18	55	02	5580	
	28829	56	04	2087	

2/10/2004 SM



- SEC 19-T11S-R4W - POR SW 1/4
- SEC 24-T11S-R5W - POR SE 1/4
- SEC 25-T11S-R5W - POR NE 1/4
- SEC 30-T11S-R4W - POR NW 1/4
- LS 389
- ROS 4706, 14970, 16596, 16833

THIS MAP WAS PREPARED FOR THE CITY OF SAN DIEGO AND IS ASSUMED TO BE ACCURATE FOR THE PURPOSES OF THE CITY OF SAN DIEGO. THE CITY OF SAN DIEGO DOES NOT WARRANT THE ACCURACY OF THIS MAP. THE USER MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

SAN DIEGO COUNTY
ASSESSOR'S MAP
BOOK 149 PAGE 27

2365 Oceanside Blvd. Oceanside, CA 92054

Project description: Demolition of existing building, replacement with new building, new wash rack, storage yard improvement.

Volvo Rents, one of the leading construction equipment rental companies in the United States, occupies the yard and buildings at 2365 Oceanside Blvd. The site was occupied by Gorilla Rentals for many years until 2008, and then by Max Equipment Rental from 2008 until 2012.

The current site includes an equipment yard where equipment is stored when not on rent, and an office and shop with work bays approximately in the middle of the property with the office facing Oceanside Blvd. to the North and the shop behind it to the South. The yard is asphalted on the East side of the office and gravel on the West side. There is an asphalt parking lot on the North side of the property facing Oceanside Blvd.

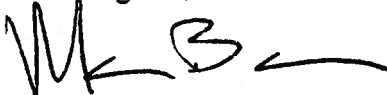
The project envisions demolishing the existing office, shop, and bays, and constructing a modern attractive, integrated office, shop, and bays in approximately the same location as the existing buildings. The plan also includes a fully self-contained wash rack which recycles and filters water used for washing equipment. The parking area will also be improved.

The new construction will have a much more attractive appearance than the existing buildings. Volvo Rents prides itself on having "showroom" quality rental facilities as evidenced by the over 150 Volvo Rents locations across the United States. As this is a relatively new location for Volvo, the new construction will bring the site up to Volvo's world class standards. The new construction will also allow for the removal of unsightly temporary storage containers. Additionally, the new work bays will allow for more equipment preparation to be done inside, reducing exterior noise and improving the appearance of the site.

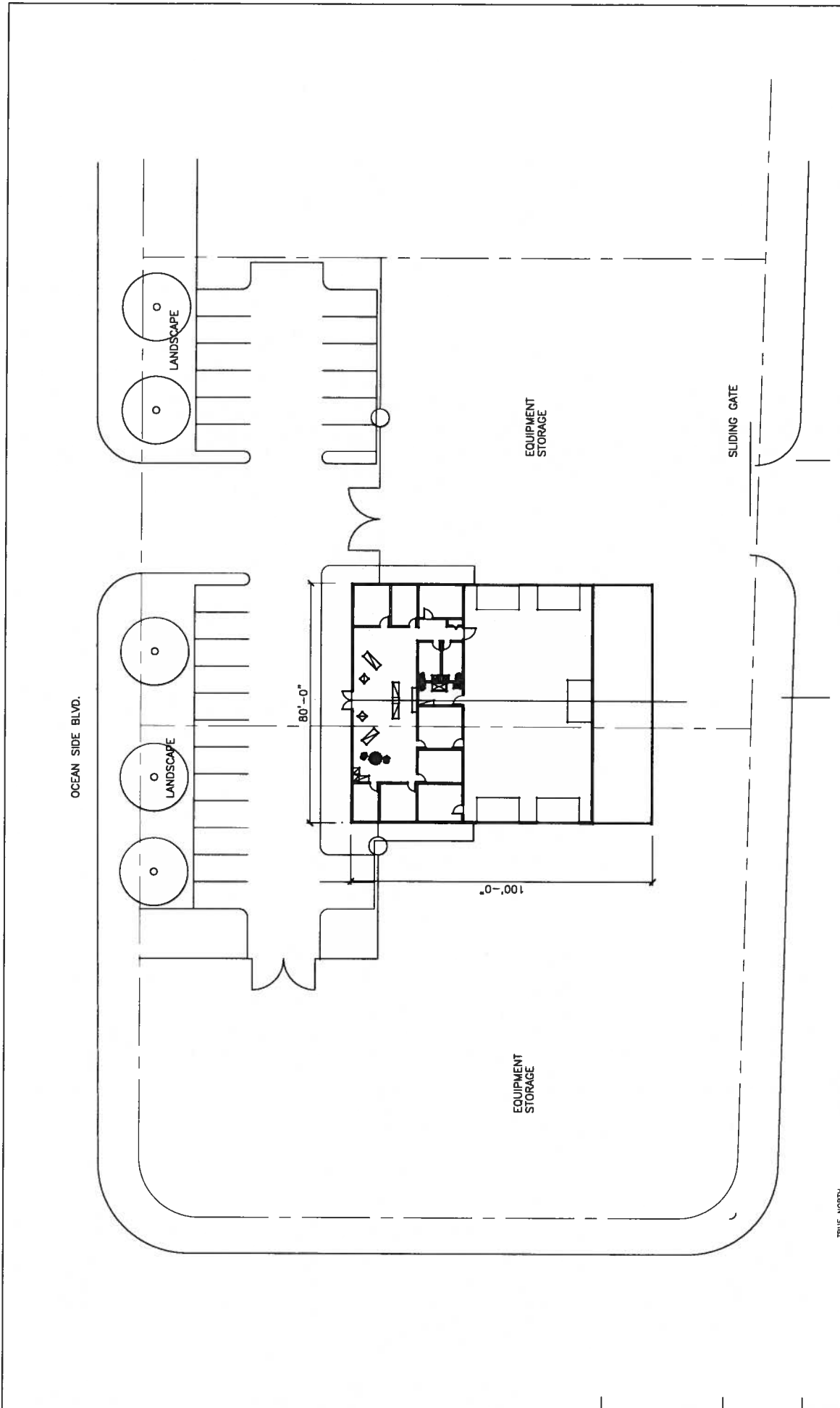
Please see "Volvo Design Standards" in the accompanying elevations, and the attached sample photos for preliminary detail of the construction specifications used for previous Volvo branch remodels.

Please direct any questions or comments to Mason Bailey at (619) 572-3506 or masonbailey@yahoo.com. We look forward to the meeting on February 5th.

Best regards,

A handwritten signature in black ink, appearing to read 'Mason Bailey', with a long horizontal line extending to the right.

Mason Bailey



1 SITE PLAN
SCALE: 1"=30'-0"

VOLVO

ocean side, ca.

Rents

A-1

VOLVO DESIGN STANDARDS

Floors

The standard floor specification for the showroom and customer restrooms of a Volvo Rents store is clear sealed concrete with 6" x 6" scoring at 45 degree both ways. When this application is not possible, the use of a vinyl floor should be specified. The vinyl floor should be the 12" x 12" type of Armstrong brand tile, Pattern # 51911, Chelsea White. All tile should be of the highest quality and should be installed with a quality commercial grade, short loop carpet to be used in the office areas. A light gray carpet is the best color to coordinate with the other colors and design materials used throughout the store.

Baseboards

The standard baseboard material in all customer areas is a flexible rubber cove baseboard material applied to the wall surface with adhesive. The color of the baseboard should be the same as the wall color. It is not recommended that wood baseboard be used in any area of the facility, as they are not durable and are very high maintenance.

Paint

All painted areas in, and on, the building should be off-white in color. This includes all interior and exterior doors, as well as all wood trim. Aluminum framed windows and aluminum framed doors, and any associated aluminum trim, should not be painted. The specification for the paint color is a "match to Sherwin Williams # 2123 White. It is very important that this color be used in all paint applications. Interior walls should be painted with a flat wall paint, but with a satin, or semi-gloss enamel. Exterior quality paint should be used on all exterior wall surfaces. The Volvo design criteria require that all exterior wall surfaces be of the approved white color. The Volvo blue color cannot be used in any way when the Volvo logo is not a part of the painted surface. Any use of the Volvo Blue color must be approved!

Wall Decor

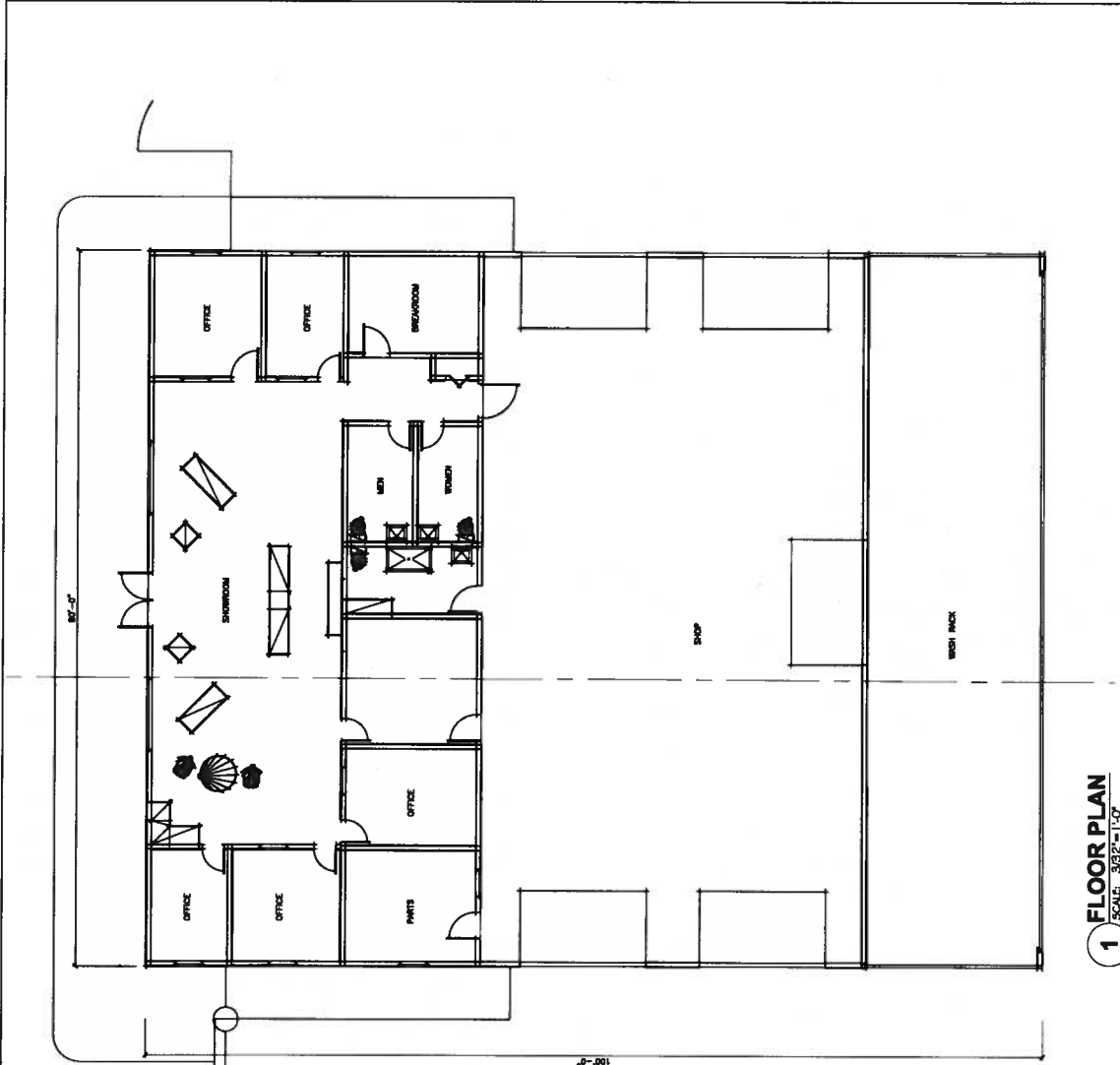
The wall decor package provided by Volvo Rents consists of a Volvo clock and a set of Volvo machinery pictures. The horizontal pictures should be hung approximately 55" from the finished floor, and the vertical pictures should be hung approximately 65" from the finished floor. The Volvo Clock and pictures should be the only materials used on the walls in the showroom area. No calendars, banners, notices, or any other type of wall-hung materials should ever be placed on the showroom walls.

Ceiling

To enhance the "construction" appearance of the Volvo Rents facility, an open, unobstructed ceiling application is suggested. Bar joists, electrical conduit, plumbing and ductwork should be exposed and run, where possible, at the ceiling level. The ceiling should be painted throughout the building. When this design element is not possible, the standard white tile is 24" x 24" with a white grid system. It is recommended that the typical tile ceiling be at a minimum of 10' above the finish floor.

Electrical / Lighting

All interior and exterior illumination must be of a white color, as opposed to yellow. (The only exception to this rule is in the case of emergency lighting.) The lighting should be of the recessed type. The Volvo branding wall is to be highlighted with the use of recessed lighting. When the 4" branding wall is used, two recessed lights should be used, installed 12" - 18" from the wall, 1" in from each side. When the 6" branding wall is used, three recessed can lights should be used, once again 12" - 18" from the wall, one light being centered in the wall, the remaining two lights 1" in from each side of the branding wall. When an exposed ceiling design is used, all showroom illumination should be accomplished with the use of mercury vapor "warehouse-type" lighting fixtures. These fixtures should have ribbed glass shades, with chrome color ceiling coordination rods and socket covers. The lighting system is used, either 2' x 2' or 2' x 4' lay-in, flush-to-ceiling-airframe, fluorescent fixtures should be recessed. The trim for this type of fixture must always be white, and the plastic diffuser must be translucent white in color. All electrical plugs and switches found in customer areas must be white, as well as the associated plug and switch covers.



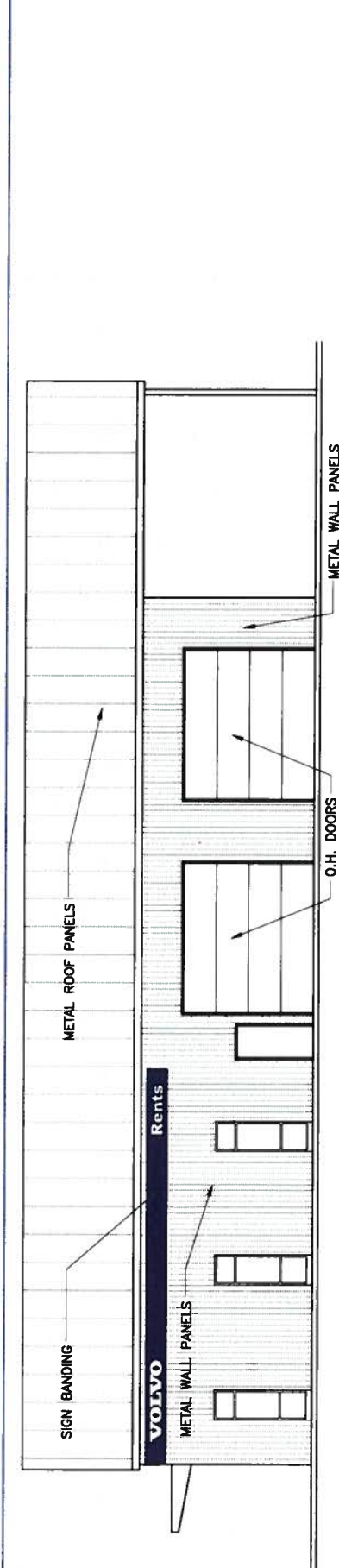
1 FLOOR PLAN
SCALE: 3/62"=1'-0"

VOLVO

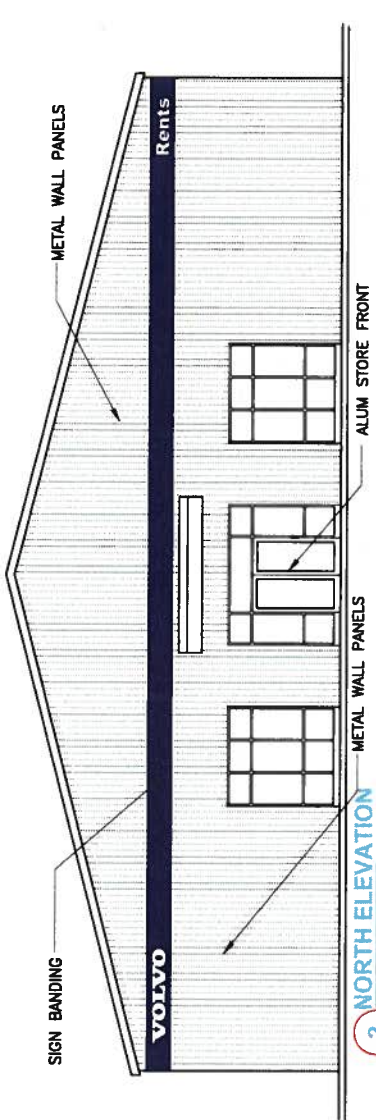
Rents

ocean side, ca.

A-2



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

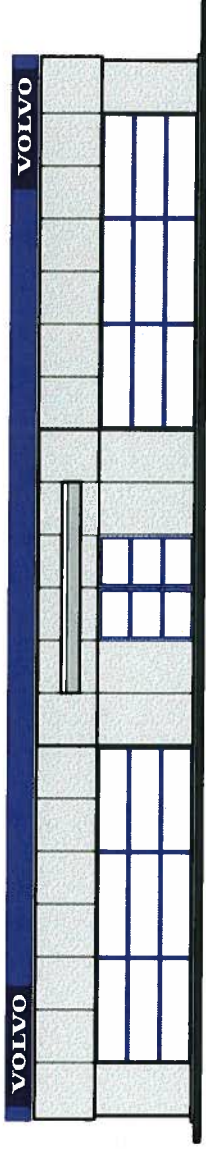


3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

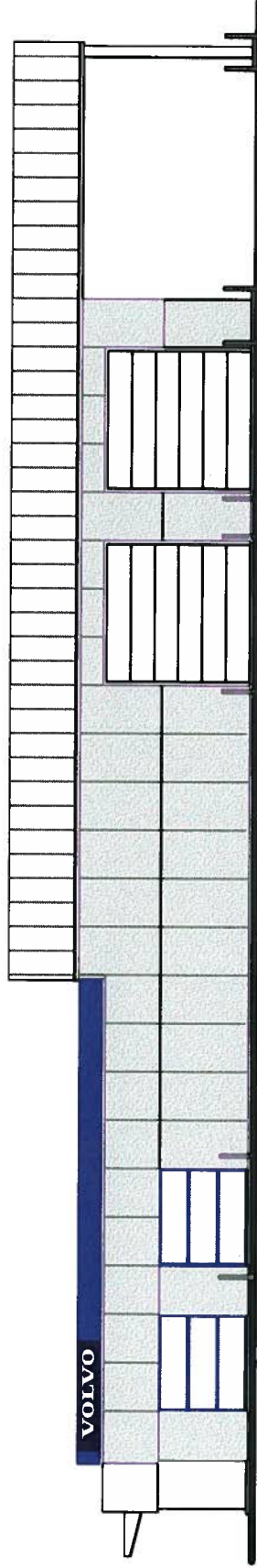
Rents

A-3

ocean side, ca.



Front Elevation



Right Side Elevation

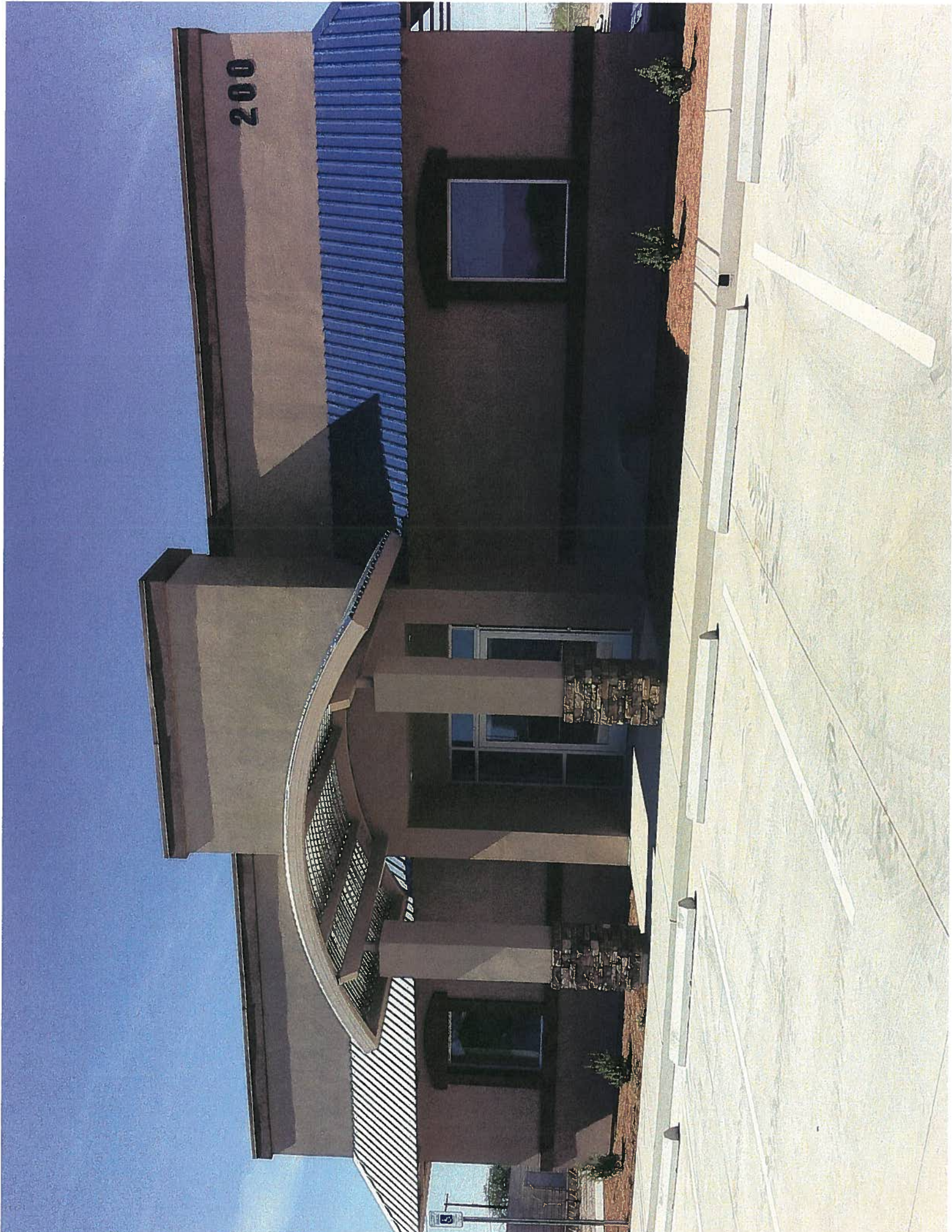
SCALE 1/8" = 1'-0"

Prototype - Volvo Rents

Elevation

VOLVO





200





Architecture/Development

MEMO

TO: City of Oceanside
Vida Murrell, Administrative Secretary
Development Services Department
Planning Division
Tel: 760.435.3528

FROM: Angel Robinson

DATE: January 23, 2013

PROJECT: Buffalo Wild Wings, 2685 Vista Way, Oceanside, CA - Developer's Conference

Please let this letter serve as notification of the desired Developer's Conference scheduled February 5, 2013 at 10 a.m. for the address listed above. Attached are the following:

- Conceptual site plan, floor plan and color renderings
- An outline of questions for staff input

The project description is as follows: demolition existing red Lobster and construct a new Buffalo Wild Wings.

Should you have further questions or need additional information, feel free to contact me directly. Otherwise, I look forward to visiting with staff on February 5th regarding this project.

Sincerely,

A handwritten signature in green ink, appearing to read 'ARobinson', written over a horizontal line.

Angel Robinson
Property Development Manager
Direct: 214-461-9627

Planning Questions

1. What is the zoning of the site?
 - a. If site has an overlay or existing entitlement please provide copy.
2. Is a restaurant with the sale of a full line of alcoholic beverages for onsite consumption and a bar a permitted use?
3. Is an outdoor patio on private property a permitted use?
 - a. If no to any of the above, can a CUP permit these uses?
 - b. If CUP is required what is the process to obtain a CUP?
4. Are video game machines permitted in a restaurant with the sale of alcohol?
5. Can you confirm the site is not within a historic district?
6. Will Architectural Review or Certificate of Appropriateness be required?
7. Will any form of Site Plan Review be required?
 - a. Will any other submittals be required other than building plan check submittal?
 - b. How long does any required planning review process typically require?
 - c. Can we submit into building plan check concurrent with the planning review process?
 - d. Does the planning review process also review the aesthetics of exterior elevations?
 - i. Is signage required to be submitted with planning review?
 - e. Are landscape plans required to be submitted with the planning review application?
8. What would trigger the requirement for preparation of an environmental questionnaire?
9. What are the setback requirements for this zone?
 - a. Front & Side
10. What City requirements or guidelines exist regarding the proposed colors, materials and finishes of the buildings? Please provide copy.
11. What are the parking requirements for the subject site? Are the number of stalls required based upon total square footage or number of restaurant seats?

- a. Is a specific truck loading zone required for an 8,000sq. ft. building required in the subject zoning?
- b. What would trigger the requirements for a parking or traffic study to be completed?
- c. Are bicycle racks required to be installed?

12. What code section dictates signage requirements?

13. Is only a sign permit required to be obtained from the building department or is any sort of planning/discretionary review required?

- d. Is a freestanding sign permitted at this location?
 - i. What is the maximum size?
 - ii. What is the maximum area?
 - iii. size and setback requirement?
- e. How is permitted square footage of wall signage determined at this location?
- f. How many signs are permitted per building elevation?
- g. On how many elevations, or side of the building is signage permitted?
- h. How will the square footage for each sign be calculated, boxed together as one large sign or calculated as three separate individual signs?
- i. Is exposed neon permitted in wall signage?
- j. Is a 'Take Out' sign considered directional signage or will it count against total permitted wall signage square footage?
- k. Are murals without text considered signage?
- l. Does the City require privately funded projects to install 'art in public places' or pay into an 'in-lue' fund for City public art beautification? If so

can you please provide the contact info for the department in charge of this?

- 2. What are the landscape requirements for the subject site?**
 - a. What landscape code is applicable to this site?**
 - b. Will a separate landscape plan review be required, if so please provide the details of such a separate review?**
- 3. Will you please provide a breakdown of any Planning Fees or Impact Fees for development of a tenant improvement 6,800 sq. ft. restaurant building with 1,500 sq. ft. outdoor patio at the subject location.**

Building Questions

1. Plan check submittal:
 - a. How many plan sets are required for submittal?
 - b. Are any separate outside submittals required to Health, Utility, Fire or Engineering departments?
 - c. Can plumbing, mechanical & electrical drawings be included into the architectural drawings for one submittal, or must they be submitted separately?
 - d. Are fire sprinkler and fire plans to be deferred sub contractor submittals or included with the building plan check submittal?
 - e. Must the property owner sign off on the building plan check submittal application?
 - f. Can building submittal be made concurrent with any planning process/review?
 - g. Can plans be submitted into plan check without a contractor being named?
 - h. Are landscape drawings required to be submitted into plancheck with the architectural drawings?
 - i. Or, is a separate landscape drawing submittal required?
 - i. How long does first round plan check typically require to receive 1st round comments?
 - i. When we resubmit to address comments how long does 2nd round plan check typically require?
 - j. Is any form of accelerated plan check available? If so, how long does 1st round accelerated plan check require?
2. Is a separate grading permit required to be obtained?
3. Is a separate landscape permit required to be obtained?
4. Can a separate demolition permit be obtained?
5. Can a separate foundation or underground plumbing permit be obtained?
 - i. If so is a separate submittal required through the typical plan check process?
6. Is a separate employee only restroom required?
 - a. We will have male and female restrooms which may be accessed by both guests and employees with fixtures to meet the occupancy requirements of both guest and employee areas. Will a separate employee only restroom be required?
7. What codes are currently used by the City?
 - a. Building
 - b. Electric
 - c. Fire
 - d. Plumbing
 - e. Energy
 - f. Mechanical
 - g. Handicap
 - h. Local City Amendments?
8. What is the structural snow load requirement, lbs//sf.?
9. What is the wind load requirement, mph or lbs./sf.?

10. What is the frost line inches?
11. What is the earthquake zone?
12. How long does 1st round plan check for a foundation only or underground plumbing permit typically take?
 - a. With such a permit can the slab be poured back?
13. Does the City allow the use of third party plan checkers?
14. Can Health plan check be concurrent with building plan check?
15. Will separate submittal for state electric be required?
16. Are green building requirements enforced for commercial construction?
17. Please provide breakdown of estimated (ballpark) plan check, permit fees and impact fees for development of a 6,800 sq. ft. restaurant building with 1,500 sq. ft. patio. A2 occupancy Type VB FS construction.

Public Works / Engineering

1. Will Public Works require a separate submittal of plans?
 - a. If so what is the process of this submittal? What must be submitted and how long is the review process? What fees are associated with such a plan review?
2. Can you please provide copy of your existing water and sewer service maps showing location and size of existing water and sewer services in this area.
3. Is the sewer and water servicing this site public or private?
 - a. Will any new easements be required?
 - b. If new taps are required do we make the taps or does the city/county?
 - c. If a new meter is required, does the county provide and set the meter and we make connections? How does this work?
4. Fees:
 - a. Will we be required to purchase a new water meter?
 - b. What water and sewer fees will be required to pay for connection of the following utilities to our new building?
 - i. 4" sanitary line
 - ii. 3" domestic water meter
 - iii. 1" irrigation water meter
 - iv. 6" dedicated fire sprinkler service
 - c. Will storm drainage fees be assessed?
5. Is any type of water treatment required for a restaurant use?
6. Can you provide a map of existing storm water collection system?
 - a. Is this system public or private?
 - b. Provide sizing of existing storm water system?
7. Does a hydrology study exist for this site?
 - a. Will the existing study be required to be amended for the proposed development?
 - b. What threshold would trigger such amendment?
8. Will a Storm Water Pollution Prevention Plan be required?
9. Is a rational method of computing runoff acceptable?
10. What is storm design interval (years) used by the City?
11. Will submittal to a state department be required for storm drainage?

Fire Questions:

1. Is the subject site located in a fire zone?
2. What is the maximum distance to the nearest fire hydrant as the hose lays to the furthest point on the building?
 - a. Will a new hydrant be required for the subject location?
3. What are the distance requirements for FDC?
4. Fire lane:
 - a. What is the required fire land width?
 - b. Inside turning radius?
 - c. Outside turning radius?
5. Will Fire Department require separate submittal of building plans at time of building plan check submittal or are plans routed from Building to Fire?
6. May we submit into Building plan check without fire sprinkler and fire alarm drawings?
 - a. I assume fire sprinkler and fire alarm drawings may be deferred sub contractor submittals to be completed after we pull our building permit, is this correct?
7. What is the maximum cubic footage of compressed gas (Co2 and Nitrogen) which may be stored onsite without a separate permit?



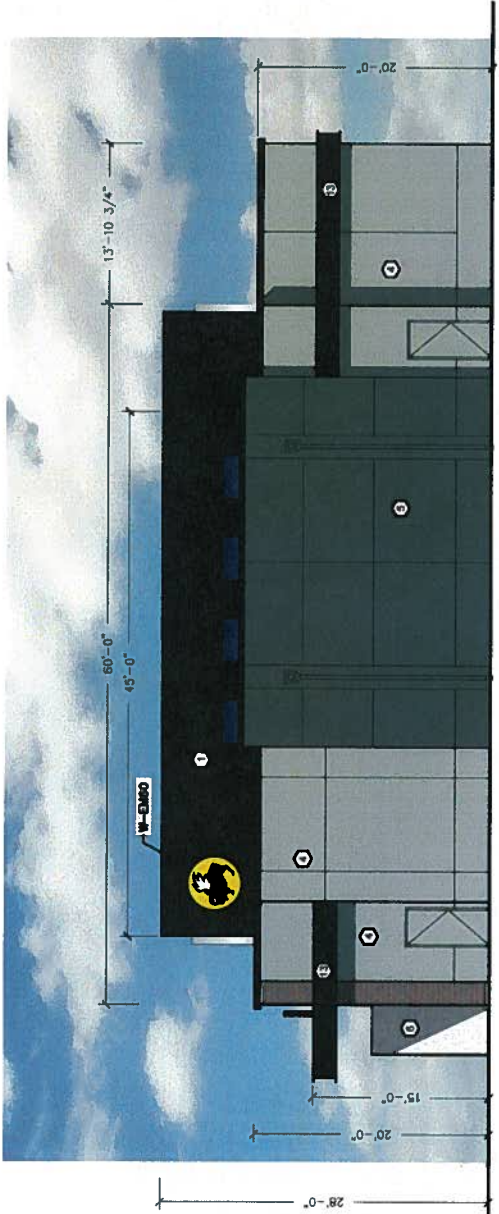
STORE ELEVATIONS

OCEANSIDE, CA

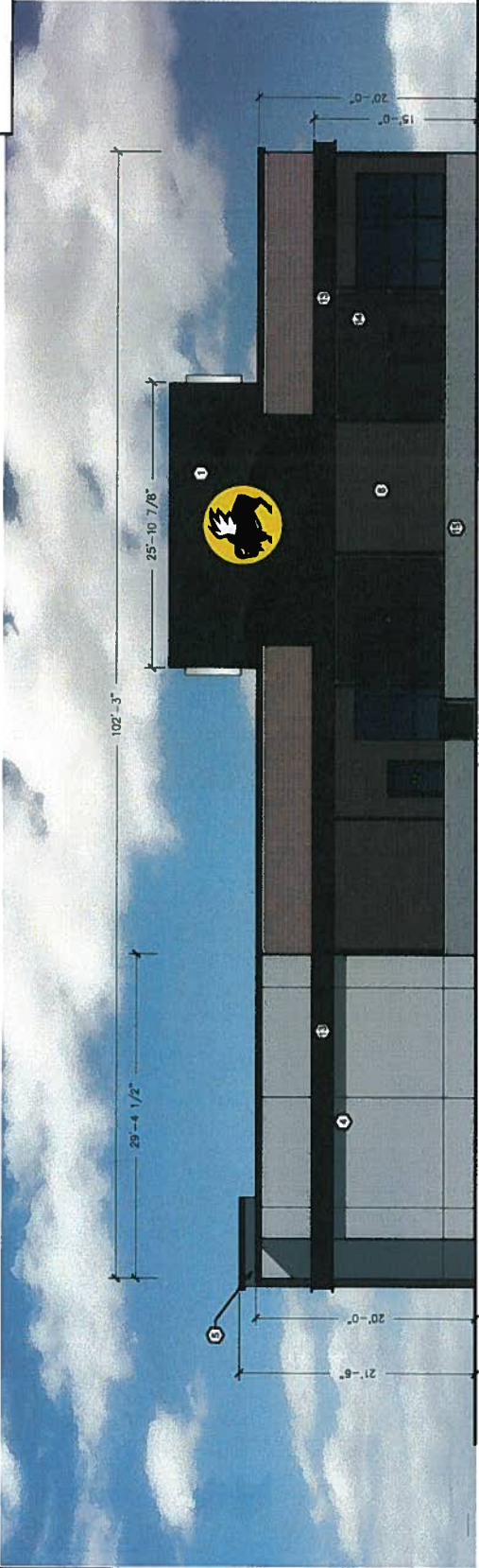
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LOCATION:

SCALE: 3/32"=1'-0"
MEDIA: SIZE LEDGER
DRAWN BY: X
DATE: 12/11/12
FILE: BuckleUp Wild WInds.dwg
REVISION #: 1

- LEGEND**
1. METAL WALL PANELING
 2. VERTICAL (M/P) PAC-CLAD FLUSH PANEL-18", OR APPROVED EQUIVALENT. MATTE BLACK-KYNAR 500.
 3. METAL WALL PANELING
 4. HORIZONTAL (M/P) PAC-CLAD REVEAL PANEL-11", OR APPROVED EQUIVALENT. MATCH PAINT COLOR(C) CRUISE.
 5. METAL WALL PANELING 3-VERTICAL/FLAT PANEL (M/P) PAC-CLAD FLUSH PANEL-12" VERTICAL/FLAT PANEL-11" HORIZONTAL. MATTE BLACK-KYNAR 500.
 6. PORTLAND CEMENT PLASTER-PART COLOR
 7. PORTLAND CEMENT PLASTER-PART COLOR
 8. VENETIAN STUCCO(PLS)-WHITE FINISH.
 9. NOT USED
 10. ADHERED, THIN-BRICK, VENEER(VB)-HC MUDDOX MODULAR, RUNNING BOND, MONTEREY BAY FLASHER.
 11. NOT USED
 12. NOT USED
 13. BLACK SPANDREL GLAZING.
 14. STEEL CHANNEL BEAM-PAIN(T)CS)-IRON ORE.
 15. PERFORATED METAL PANEL-PAIN(T)CS)-IRON ORE.
 16. CONCRETE-"F" CAST IN PLACE WALL-WALL TYPE (C)(CONC-A)-SEALED BOARD FORM FINISH.
 17. NOT USED
 18. NOT USED
 19. NOT USED
 20. NOT USED



① WEST ELEVATION



② SOUTH ELEVATION



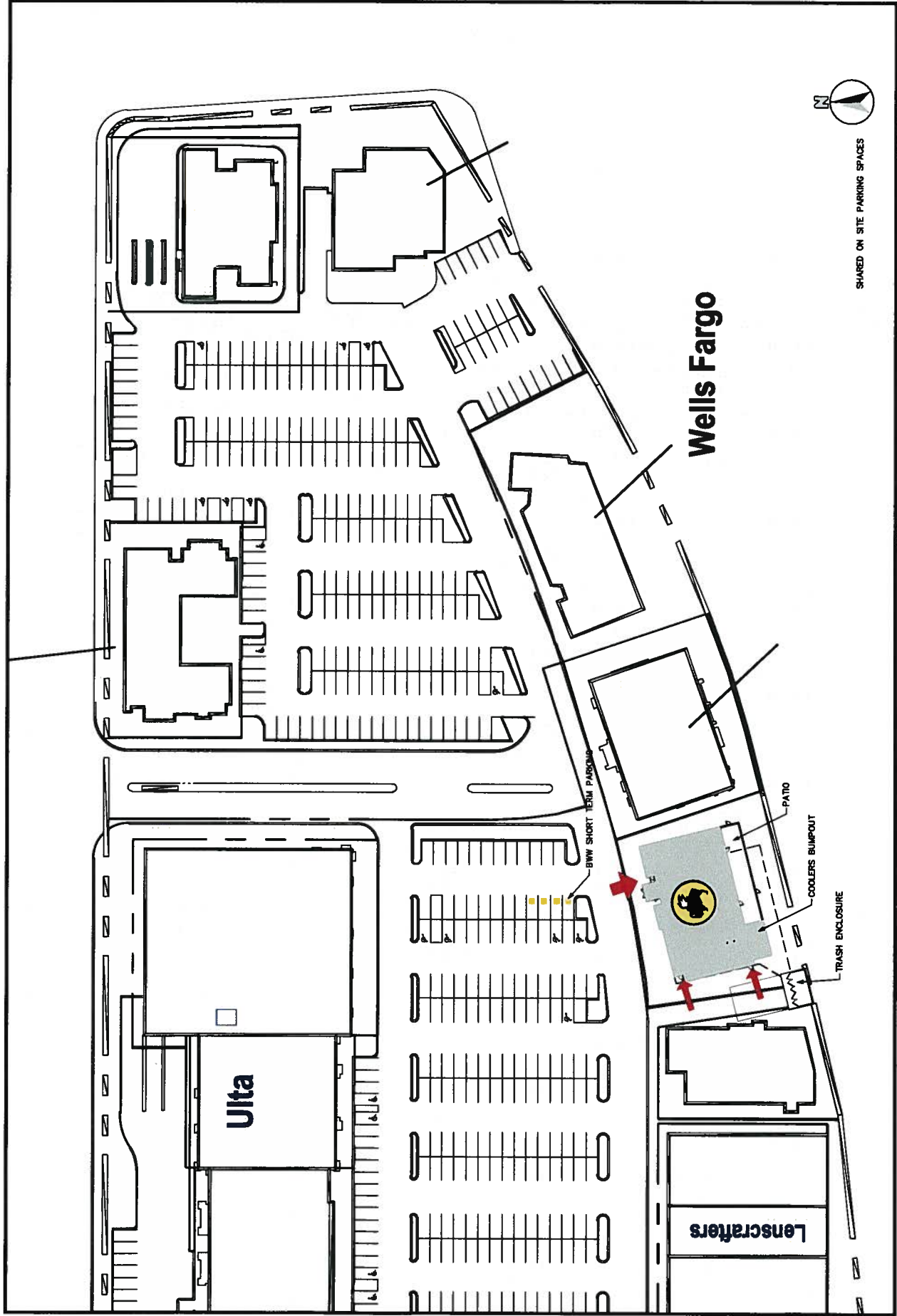
PROTECTING
WILDLIFE
WINGS

OCEANSIDE, CA

SITE OVERVIEW

PAGE TITLE:
LOCATION:

SCALE:	1:64" = 1'-0"
MEDIA SIZE:	LEDGER
DRAWN BY:	X
DATE:	12/13/12
FILE:	North Hill Urban, 12-13-12.dwg
REVISION #:	1



SHARED ON SITE PARKING SPACES



PAGE TITLE:
STORE FLOORPLAN
LOCATION:
OCEANSIDE, CA

SEATING

DINING "A"	36 SEATS
DINING "B"	42 SEATS
DINING TOTAL	78 SEATS
BAR "A"	25 SEATS
BAR "B"	42 SEATS
BAR TOTAL	67 SEATS
FLEX "C"	48 SEATS
TAKEOUT	5 SEATS
DINING ALCOVE	0 SEATS
PATIO	80 SEATS
TOTAL	278 SEATS

AREA USAGE

1000 SQ. FT.	DINING "A" AND "B"
1122 SQ. FT.	BAR "A" AND "B"
564 SQ. FT.	FLEX "C"
1665 SQ. FT.	KITCHEN
524 SQ. FT.	RESTROOMS
1502 SQ. FT.	OTHER
6377 SQ. FT.	TOTAL AREA

SCALE:	Custom	DRAWN BY:	X
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FILE:	TS-Oceanside-Red Lobster-CA-3000-Reddell	REVISION #:	1

