

AGENDA
OCEANSIDE DEVELOPER'S CONFERENCE

Tuesday, February 19, 2013, 9:00 a.m.
Guajome Conference Room

1. 9:00 a.m. - 10:00 a.m. Discussion of a car wash and starbucks restaurant located at the northwest corner of Temple Heights Drive and Oceanside Boulevard.

Zoning: CL (Limited Commercial)
Land Use: GC (General Commercial)
Neighborhood Area: Peacock
Assessor Parcel Number: 161-540-21
Contact Person: Jose Martinez
Tel.: 619-634-3847
Email: josemartinezarch@hotmail.com

2. 10:00 a.m. - 11:00 a.m. Discussion to develop a 61-unit condominium complex with an approximate 6,000 square foot retail/office space located at the southwest corner of Tremont Street and Seagaze.

Zoning: OP (Office Professional)
Land Use: General Commercial
Neighborhood Area: Townsite
Assessor Parcel Number: 147-273-01 thru 04
Contact Person: Ric Brown
Tel.: 760-994-8500
Email: rdbcoinc@sbcglobal.net

Attachments:

1. Maps
2. Project Description Letter
3. Proposed Elevations

Marlang Planning and Design

4645 Ruffner Street, Ste Q.
San Diego, California. 92111

Tel. (858) 427-4161, Fax (619) 342-8553, e-mail: josemartinezarch@hotmail.com

JANUARY 22, 2013

CITY OF OCENSIDE
PLANNING DEPARTMENT
Att'n: City Personal
300 N. Coast Hwy.
Oceanside, Ca. 92054

Job Address:
4770 Oceanside Boulevard (Parcel 2)
Oceanside, Ca. 92056

Subject: Letter of intention.

The intention is to build a single building 2.937 square feet for a Car Wash Service and a Starbucks Coffee in this Lot, there will be modified existing pad, we are eliminating 24 parking spaces, 8 spaces belong to lot 1, of the 16 spaces we are adding 6 with the new design.

My client owns the two parcels 2 and 3 at this location,

The intent is to create a source of income and jobs for revenue to the city of Oceanside.

The location of this corner is a focus for vehicles traveling between Avenues Oceanside boulevard and Temple Heights Drive.

Upon meeting will provide a plan showing parking analysis for all three parcels

We need your support to make this project a wish for my client

any questions please do not hesitate to call
(619) 634-3847



Jose M. Martinez
Marlang Planning and Design

*Samier
Sama*

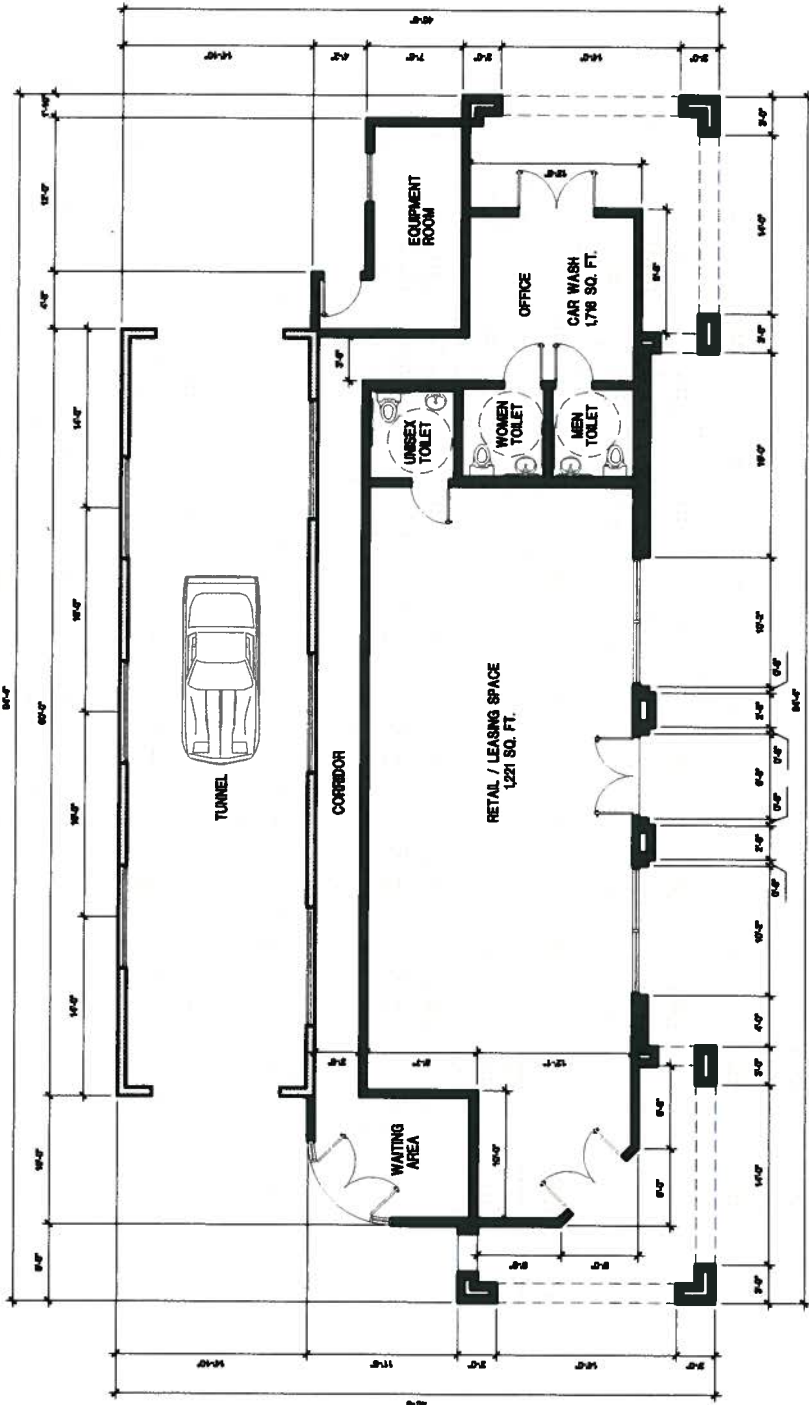
**A NEW
OUR WASH**

4770 Oceanside Blvd.
Oceanside, Ca. 92056

MARKING
PLANNING AND DESIGN

4000 Wilshire Blvd. Suite 2000 Los Angeles, CA 90048 Tel: (310) 407-0771 Fax: (310) 407-4222

No.	DATE	DESCRIPTION
1	10/15/10	FINAL PLAN SET
2	10/15/10	FINAL PLAN SET
3	10/15/10	FINAL PLAN SET
4	10/15/10	FINAL PLAN SET
5	10/15/10	FINAL PLAN SET
6	10/15/10	FINAL PLAN SET
7	10/15/10	FINAL PLAN SET
8	10/15/10	FINAL PLAN SET
9	10/15/10	FINAL PLAN SET
10	10/15/10	FINAL PLAN SET
11	10/15/10	FINAL PLAN SET
12	10/15/10	FINAL PLAN SET
13	10/15/10	FINAL PLAN SET
14	10/15/10	FINAL PLAN SET
15	10/15/10	FINAL PLAN SET
16	10/15/10	FINAL PLAN SET
17	10/15/10	FINAL PLAN SET
18	10/15/10	FINAL PLAN SET
19	10/15/10	FINAL PLAN SET
20	10/15/10	FINAL PLAN SET



FLOOR PLAN
RETAIL / LEASING SPACE 1221 SQ. FT.
CARWASH 1718 SQ. FT.

*Samier
Sama*

A NEW
OUR WISH

4770 Oceanside Blvd.
Oceanside, Ca. 92056

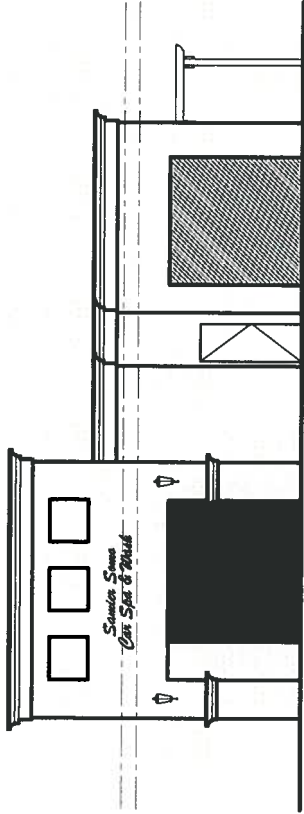
MARLENGA
PLANNING AND DESIGN

4855 Harbor Dr. Ste. 2, San Diego, Ca. 92161 Tel: 619-451-0100 Fax: 619-451-0100

DATE: 11/11/11
DRAWN BY: J. S. SAMA
CHECKED BY: J. S. SAMA
PROJECT: 11-0001

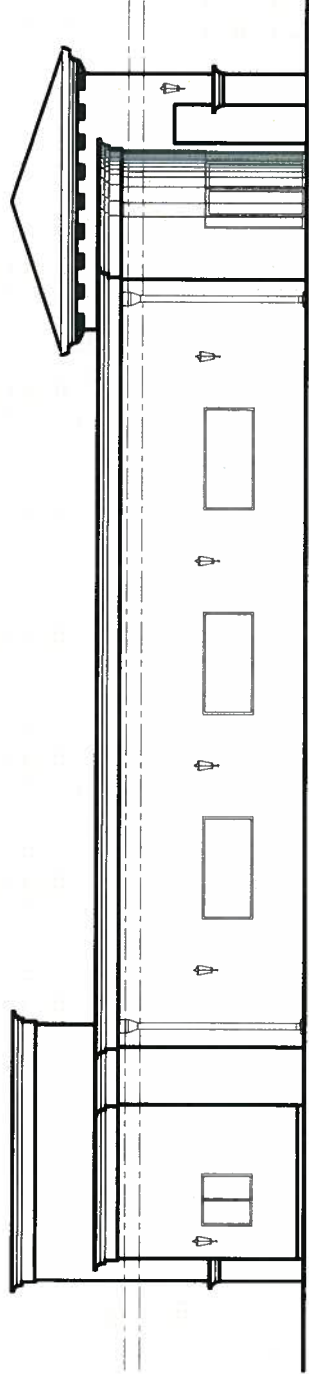
DATE: 11/11/11
DRAWN BY: J. S. SAMA
CHECKED BY: J. S. SAMA
PROJECT: 11-0001

AS-2



NORTH ELEVATION

SCALE 1/8"=1'-0"



WEST ELEVATION

SCALE 1/8"=1'-0"

Samier Somo

Car Wash

4770 Oceanside Blvd.
Oceanside, Ca. 92056

Samier Somo

**A new
Our Work**

4770 Oceanside Blvd.
Oceanside, Ca. 92056

PROJECT DIRECTORY

OWNER
TO BE SELECTED

OWNER
SOMIER SOMO
4770 OCEANSIDE BLVD.
OCEANSIDE, CA. 92056

ARCHITECT
SOMIER SOMO

ARCHITECT
JOSE N MARTINEZ
1100 S PLYMOUTH ST.
SAN DIEGO, CA 92108
PHONE: (619) 527-2500
FAX: (619) 542-2555

ELECTRICAL

ELECTRICAL

SHEET INDEX

ARCHITECTURAL

- T-1 TITLE SHEET
- T-2 ABBREVIATIONS, GENERAL NOTES AND SYMBOLS
- A-0 DEMO SITE PLAN
- A-1 PROPOSED / NEW SITE PLAN
- A-3-1 PROPOSED FLOOR PLAN
- A-3-1 EXTERIOR ELEVATIONS
- A-3-2 EXTERIOR ELEVATIONS
- B-1 ELECTRICAL PLAN
- B-1 STANDARD DETAILS, NOTES AND SCHEDULES
- S-1-2 STANDARD DETAILS, NOTES AND SCHEDULES

OTHER DISCIPLINES

- T24-1 TITLE 24 ENERGY CALCULATIONS
- T24-2 TITLE 24 ENERGY CALCULATIONS

PROJECT INFORMATION

PROJECT ADDRESS: 4770 Oceanside Blvd.
Oceanside, Ca. 92056

BUILDING TYPE: TYPE V, SPRINKLER

ASSESSOR PARCEL No: 84-540-30

BUILDING CODE: 2010 IBC / 2007 CBC.

OCCUPANCY: S-2

LOT SIZE: 28,385 SF / .58 AC.

ZONE: CL / LIR

SCOPE OF WORK

Design and construct a 1716 square foot car wash and a 1221 square foot retail / commercial loading space

LEGAL

CITY OF OCEANSIDE PAR 2 MAP REF. PHM030

MARTINEZ
PLANNING AND DESIGN

4770 Oceanside Blvd. - Oceanside, CA 92056 - Tel: (619) 527-2500 - Fax: (619) 542-2555

DATE	10/15/2010
BY	JM
SCALE	AS SHOWN
PROJECT	PHM030
SHEET	1
TOTAL SHEETS	1
DATE	10/15/2010
BY	JM
SCALE	AS SHOWN
PROJECT	PHM030
SHEET	1
TOTAL SHEETS	1

VICINITY MAP



R.D.Brown Co. Inc.
1850 Willowhaven rd.
Encinitas, Ca. 92024
Ph: 760-994-8500 Fx: 760-753-7654
Email: rdbcoinc@sbcglobal.net

City Of Oceanside
Attn: Vida Murrell
Development Services Dept.
Planning Division

January 25, 2013

Re: APN's: 147-273-01, 02,03, & 04

Project Description Letter

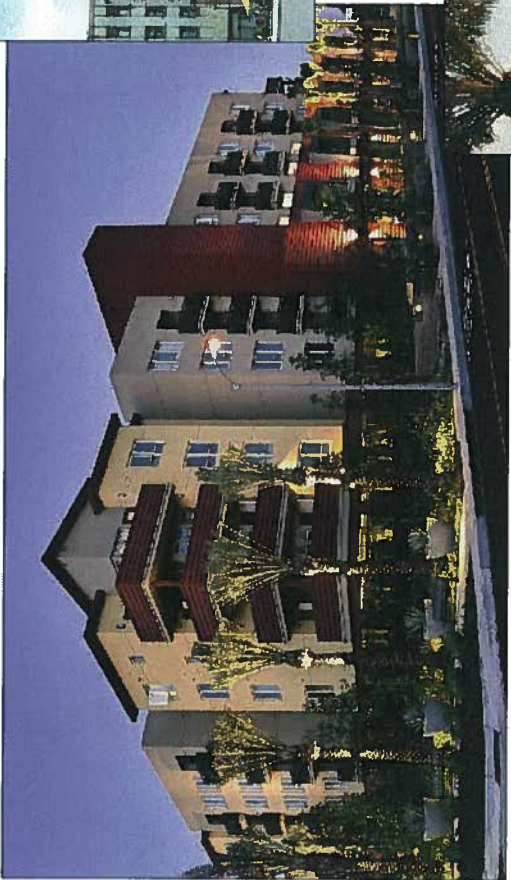
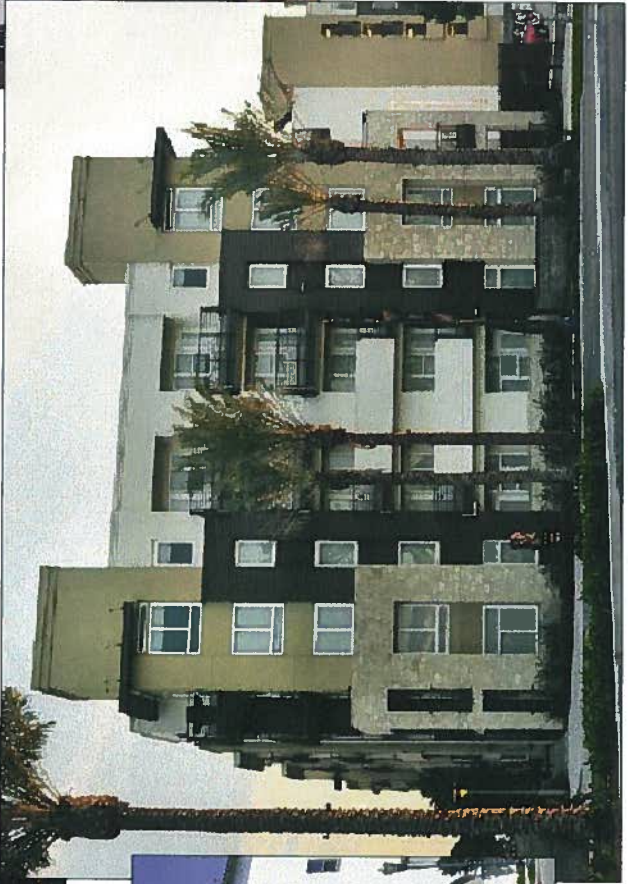
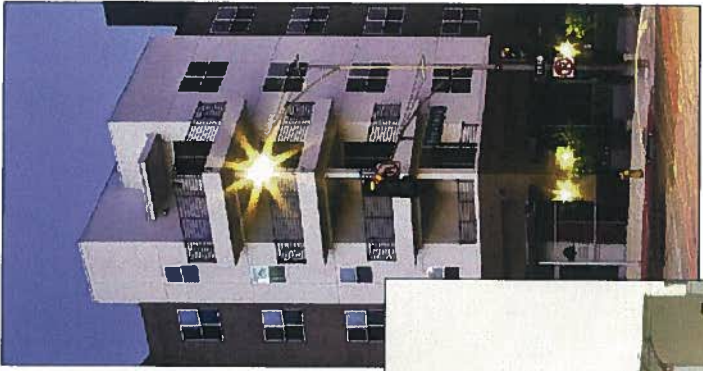
I am scheduled to have a Developers Conference on March 5, 2013. At that meeting I will have my Civil Engineer and Architect present to assist with the presentation of the proposed Tremont St. Project. This Project consists of 5 parcels, totaling, approximately 25,000 sq. ft., located at the corner of Tremont and Seagaze. I am proposing to develop a 61 Unit, Up-Scale Condominium Complex. This Building will be Six-Stories high from grade level, and will have a one level Subterranean parking area. This Project will also incorporate an approx. 5-6,000 sq. ft. Retail/Office space with frontage on Seagaze. This space will be the able to be split into four 1200-1500 sq. ft. Retail Units. The Project will consist of mostly 2 Bdrm 2 Bath Units, there may be a few 1-Bdrm Units in the mix. There will be a host of amenities included in the Structure to go along with the Up-Scale concept. The goal of the Development Team will be to make this Project a First-Class Development that will be a compliment to the direction the City of Oceanside is heading (I think we all know which direction that is). I hope this letter adequately describes the proposed Project.

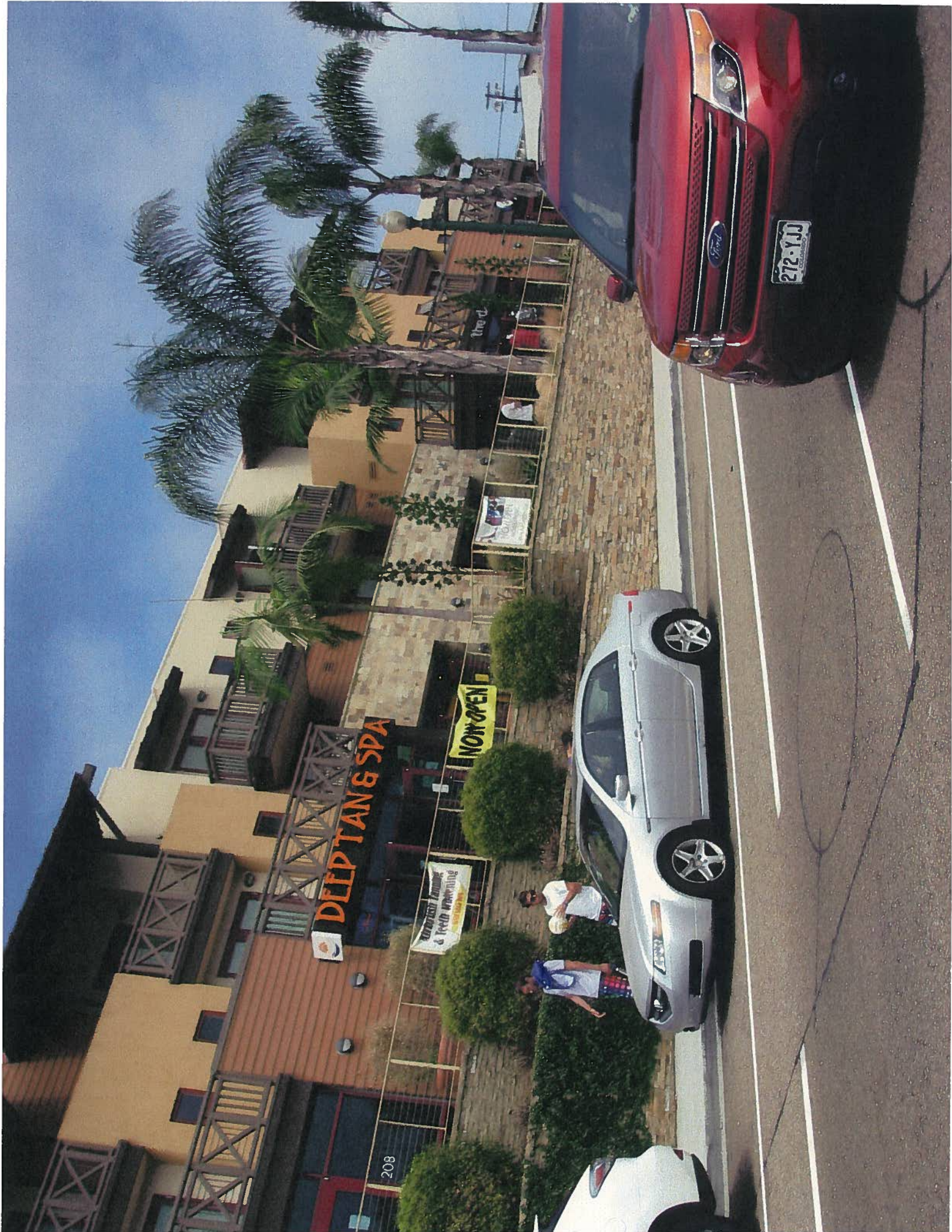
Thank you for your time, I will see you on March 5th.

Respectfully

Ric Brown
R.D. Brown Co. Inc.







DEIPTANG SPA

NOW OPEN

Relaxation & Health Services

208

212 YJJ



IMAGINE SALON

Low Office of Hospitality

Low Office of Hospitality

the