

**AGENDA**  
**OCEANSIDE DEVELOPER'S CONFERENCE**

**Tuesday, March 4, 2014, 9:00 a.m.**  
**Guajome Room**

1. 9:00 a.m. - 10:00 a.m.      Discussion to construct a service station and car wash on a vacant lot located south of Airport Road and north of the interstate Hwy. 76.

**Zoning: IL (Limited Industrial)**  
**Land Use: LI (Light Industrial)**  
**Neighborhood Area: Airport**  
**Assessor Parcel Number: 146-031-19, 146-050-89, 90**  
**Contact Person: Yousry Ghoneim**  
**Tel.: 818-962-0004**  
**Email [yagcon@gmail.com](mailto:yagcon@gmail.com)**

2. 10:00 a.m. - 11:00 a.m.      Discussion of a 12,000-square foot commercial retail center located on the northeast corner of Melrose Drive and Cannon Road.

**Zoning: CG-PBD (General Commercial-Planned Block Development)**  
**Land Use: GC (General Commercial)**  
**Neighborhood Area: Ocean Hills**  
**Assessor Parcel Number: 169-011-44**  
**Contact Person: Gus Haddad**  
**Tel.: 714-600-0395**  
**Email: [gushanna@hotmail.com](mailto:gushanna@hotmail.com)**

**Attachments:**

1. Maps
2. Project Description Letter
3. Proposed Elevations





## YAG GROUP

Architecture, Engineering, Construction, management

Date February 10, 2014  
To City of Oceanside, Planning department  
Subject **Vacant land located at the South of Airport Road  
And north of 76 Highway**

### Project description letter

This is a vacant lot with the parcel(s) number:  
**APN: Parcels (A) & (B) 146-031-19/146-050-89/146-050-90 (See the attached)**

The proposed development is located south of Airport Road and North of the interstate highway 76, North B.

Total land area is 36,450 sq. ft. and to be constructed at follows:

- 5 new auto fuel gas islands (2 fuel dispensers at each island)
- 3 new truck fuel (Diesel) islands (Single fuel dispenser at each island)
- New 16'x44' self-service (Auto-wash) car wash tunnel
- New canopies over fuel islands (35'x218' over auto fuel – 35'x52' over diesel fuel islands)
- Underground storage tanks (30K Gal. diesel fuel + 40K Gal. Unleaded fuel)
- 3 story building includes new 2,000 sq. ft. convenience store at ground floor, private office for Mohsen Oil Inc. at 1<sup>st</sup> & 2<sup>nd</sup> floor, 2,000 sq. ft. each floor
- Propane Sales (Located at paring area)
- Parking

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**Project owner:**  
**Mohsen Oil Inc.**  
**3213 Mission Ave, Oceanside, CA**  
**(760) 757-3587**

If you have any questions or concerns regarding the above project description, please do not hesitate to contact me at **(818) 962-0004**

Thank you and looking forward to meeting with you in in the near future

Sincerely,

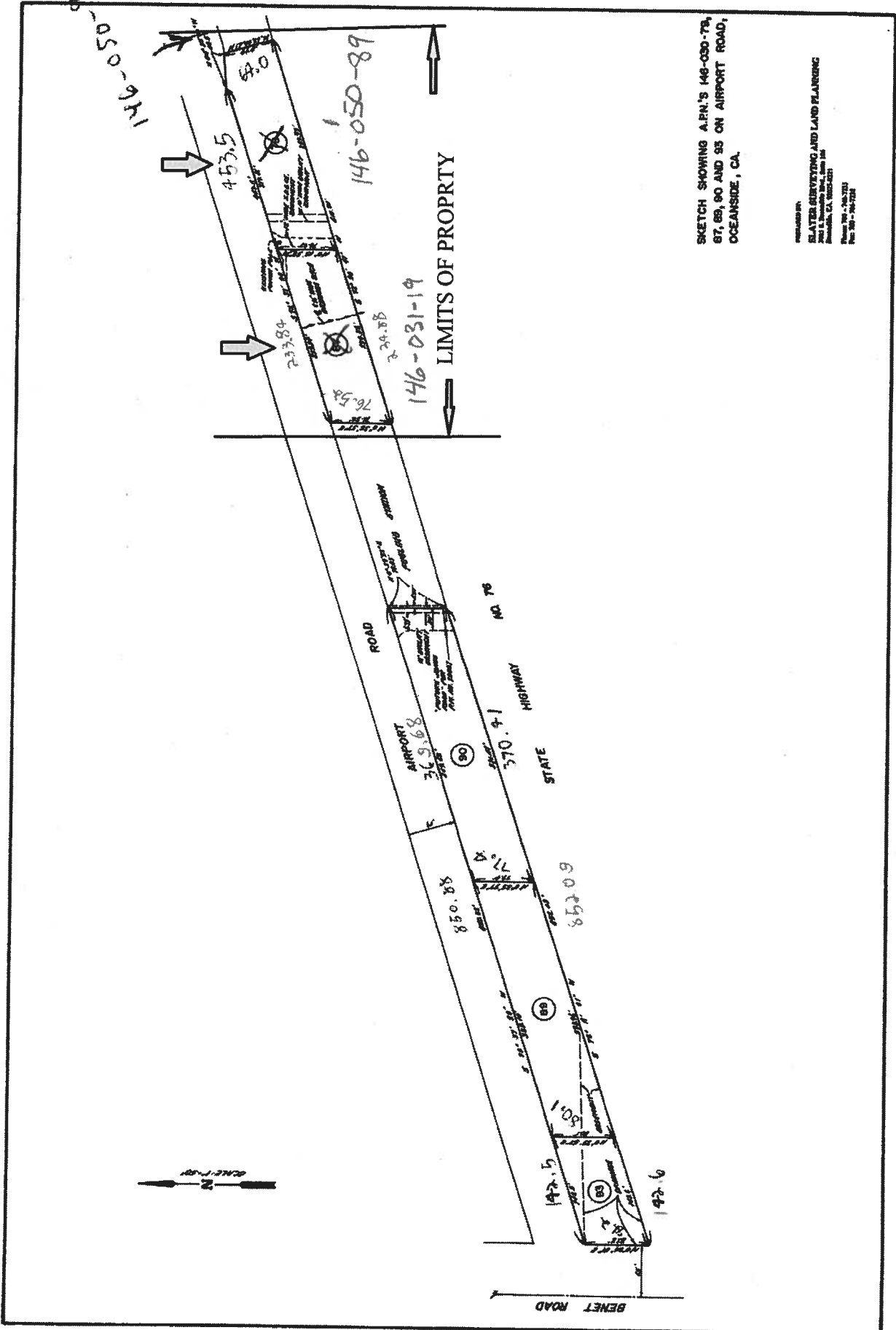
**YAG**

Yousry Ghoneim – YAG Group

Cc: Mohsen Arabshahi – Mohsen Oil Inc.,

Page 1 of 1





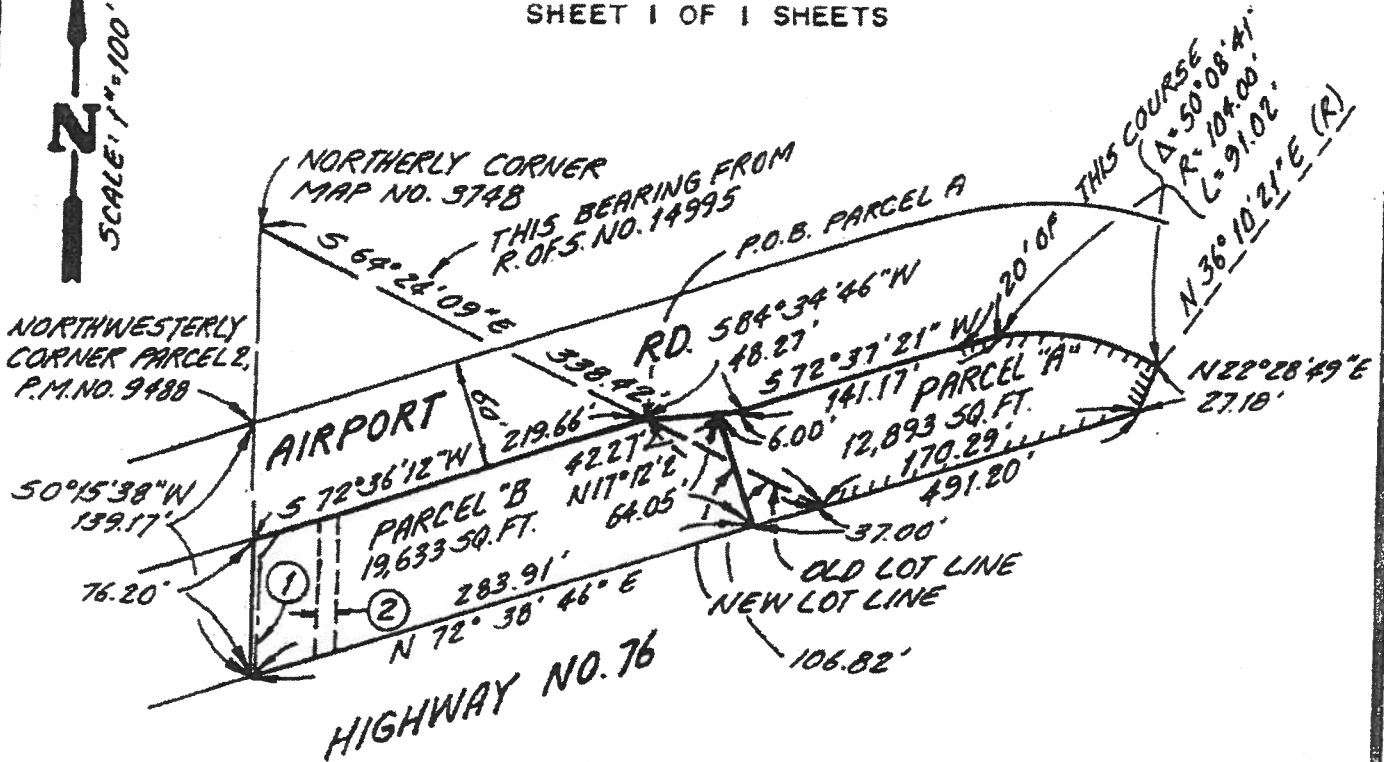
SKETCH SHOWING A.P.N.'S 146-030-78,  
 87, 89, 90 AND 95 ON AIRPORT ROAD,  
 OCEANSIDE, CA.

PREPARED BY:  
 SLATER SURVEYING AND LAND PLANNING  
 2000 S. GARDEN ST.  
 ANAHEIM, CA. 92802-4233  
 PHONE 714-746-7233  
 FAX 714-746-7234

CITY OF OCEANSIDE  
ENGINEERING DEPARTMENT  
PLAT FOR PLA-18-05

EXHIBIT B

SHEET 1 OF 1 SHEETS



**NOTES**

1. EXISTING A.P. NO.'S AND DEEDS  
146-030-95 / DOC. NO. 2005-0876938  
146-050-79 / Nov 89
2. LOT LINE DIMENSIONS ARE DERIVED FROM DEEDS NOTED IN 1.
3. LULL INDICATES ACCESS RELINQUISHED

**EASEMENT LEGEND**

- ① INDICATES 2' OF 12' WIDE S.D.G. 4'E. EASEMENT RECORDED 3/04/63 AS INSTRUMENT NO. 37222
- ② INDICATES A 10' WIDE UTILITY EASEMENT RECORDED 4/25/66 PER DOC. NO. 68941 OF O.R.

PARCEL 'A' AREAS:  
OLD: 12,872 SQ. FEET  
NEW: 12,893 SQ. FEET

PARCEL 'B' AREAS:  
OLD: 19,654 SQ. FEET  
NEW: 19,633 SQ. FEET

WATER & SEWER DEPT. APPROVAL  
*[Signature]*  
DATE: 4/3/07

CITY TREASURER'S APPROVAL  
*[Signature]*  
DATE: 4/2/07

PLANNING DEPARTMENT APPROVAL  
*[Signature]*  
DATE: 3/29/07

*[Signature]* 5/03/06  
MIKE R. SLATER P.L.S. 6706 DATE

APPLICANT WILLIAM K. BERNARD  
ADDRESS 2789 CREST DRIVE  
CITY CARLSBAD, CA. ZIP 92008  
PHONE NO. 760-518-9965

MAP PREPARED BY: SLATER SURVEYING  
ADDRESS 2065 S. ESCONDIDO BLVD. SUITE 106  
CITY ESCONDIDO, CA. ZIP 92025  
PHONE NO. 760-746-7335

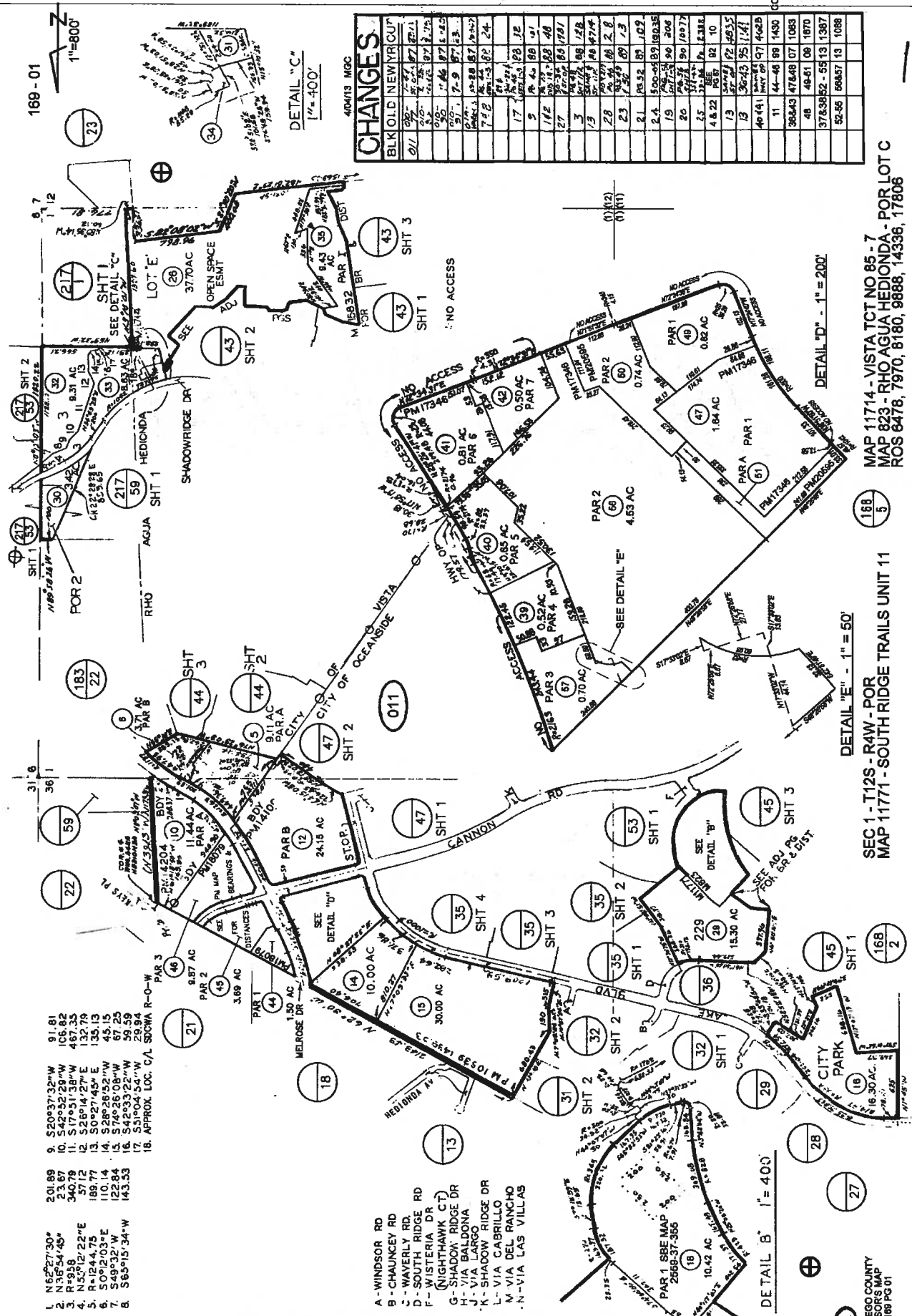
07

169-01

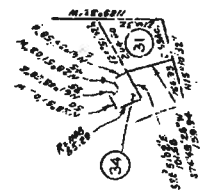
THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

- 1. N62°27'30" 201.89
- 2. N36°54'45" 23.67
- 3. R=958 340.79
- 4. N53°12'22"E 37.12
- 5. R=1244.75 189.77
- 6. S0°12'03"E 110.14
- 7. S49°32'W 22.84
- 8. S65°15'34"W 143.53
- 9. S20°37'32"W 91.81
- 10. S42°52'29"W 106.62
- 11. S17°51'38"W 467.35
- 12. S26°14'27"E 132.79
- 13. S0°27'45"E 135.13
- 14. S26°26'52"W 45.15
- 15. S74°26'08"W 67.25
- 16. S42°33'22"W 59.94
- 17. S39°04'54"W 59.94
- 18. APPROX. LOC. C/L SOCMA R-O-W

- A - WINDSOR RD
- B - CHAUNCEY RD
- C - WAVERLY RD
- D - SOUTH RIDGE RD
- F - WISTERIA DR
- G - (NIGHTHAWK CT)
- H - SHADOW RIDGE DR
- I - VIA BALDONIA
- J - VIA LARGO
- K - SHADOW RIDGE DR
- L - VIA CABRILLO
- M - VIA DEL RANCHO
- N - VIA LAS VILLAS



169-01



DETAIL "C"  
1" = 400'

CHANGES	
BLK/O	NEW/RY/CITY
0/1	0/1
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ITEM 2

MAP 11714 - VISTA TCT NO 85 - 7  
MAP 823 - RHO AGUA HEDIONDA - POR LOT C  
ROS 6478, 7970, 8180, 9888, 14336, 17808

SEC 1 - T12S - R4W - POR  
MAP 11771 - SOUTH RIDGE TRAILS UNIT 11

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SAN DIEGO COUNTY  
ASSESSOR'S MAP  
BOOK 169 PG 01

Dear City of Oceanside,

February 11, 2014

**Subject: Developer's Conference Meeting Description Letter for Plot APN 169-011-44-00**

I write to you as the developer and manager of a commercial property in the City of Oceanside. The property APN number is APN 169-011-44-00. This property is approximately 65,000 Sq. Ft. of commercial land located at 1430 S. Melrose Drive. The location map and satellite image of this plot have been provided with this letter.

The intended use of this property remains as per the City Of Oceanside's January 14, 2008 planning commission staff report whereupon Development Plan D-35-06 and Comprehensive Sign Program CSP-2-07 were recommended for approval under Planning Commission Resolution No. 2008-P04.

In summary, the approved plan consisted of two commercial retail structures. Building 1 (10,032 Sq. Ft.) was to have 7 retail units and Building 2 (2,020 Sq. Ft.) being a single tenant.

The Site Plan, Elevations, and Architectural Renderings have been provided with this letter.

Please let us know if you require any additional documents or information prior to the meeting. We look forward to working with you towards a successful completion of this development.

Majd Hosn





REVISIONS BY:


(ARCHITECT) - UC NBR. C20152  
 W.M. PERRY  
 P.O. BOX 781  
 RANCHO SANTA FE, CA. 92067 TEL: (760) 809-8810

SITE PLAN

STRIP SHOPPING CENTER FOR:  
 MR. STEVE METSOVAS  
 1430 S. MELROSE DRIVE  
 OCEANSIDE, CA. 92056  
 TEL: (949) 463-3227

SHEET NO. A-1

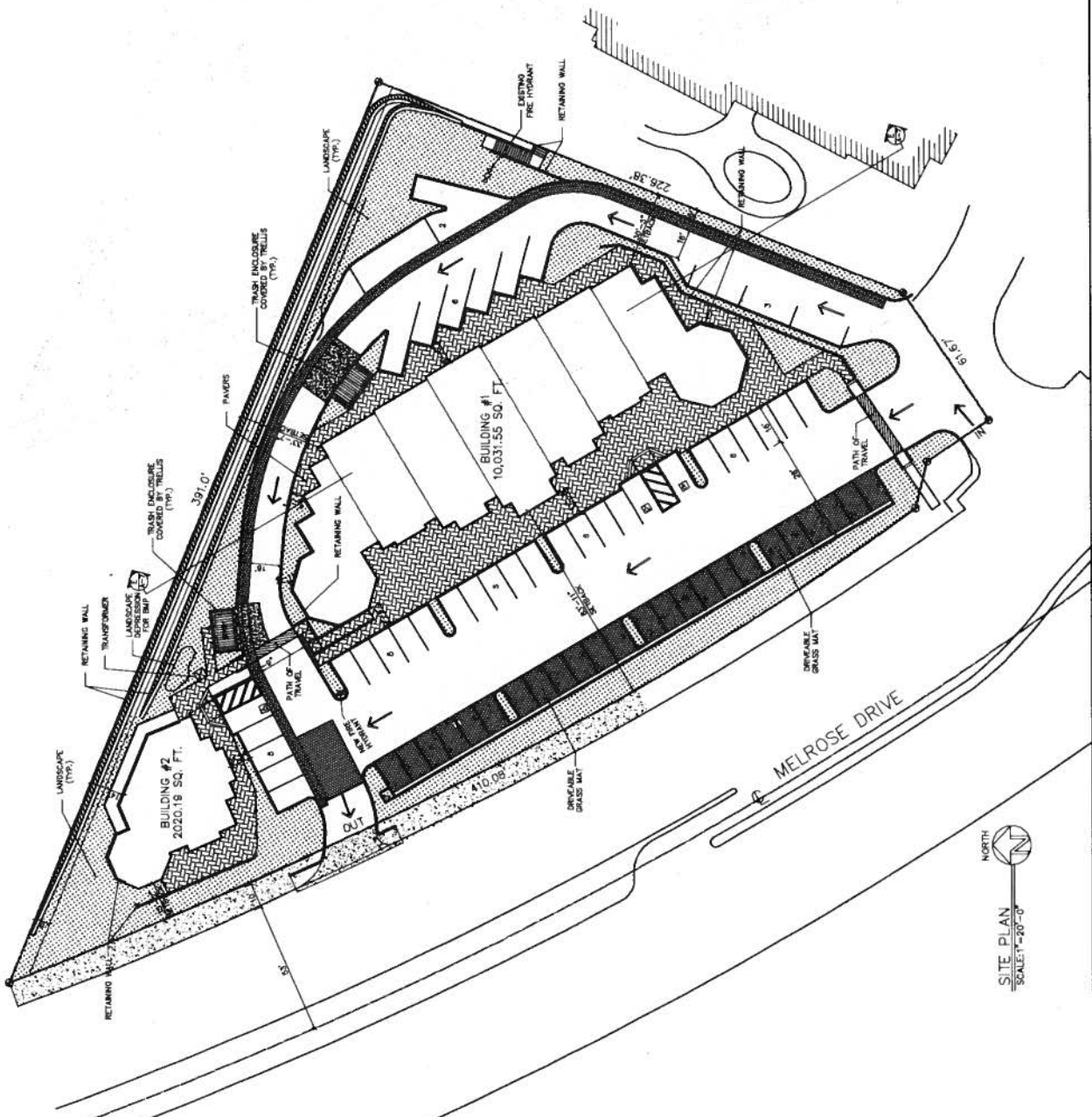
**LEGAL DISCRETION:**  
 PARCEL 1 OF PARCEL MAP No. 18078, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, ON JULY 26, 1998 AS INSTRUMENT NO. 98-468616 OF OFFICIAL RECORDS, EXCEPTING THEREFROM THOSE PORTIONS SHOWN AND DELINEATED AS "CANNON ROAD" AND "MELROSE AVENUE" OFFERED AND ACCEPTED ON SAID PARCEL MAP No. 14100.

**SITE DATA:**  
 OWNER : STEVE METSOVAS  
 PROJECT ADDRESS: 1430 MELROSE DRIVE  
 OCEANSIDE, CA 92056  
 PHONE : (949) 463-3227

PARCEL NO. : 169-011-44  
 LOT SIZE : (65165.76 SQ. FT.) 1.496 ACRES  
 LOT COVERAGE BY BUILDING : 19.55%  
 PARKING REQUIRED : 51 ( 1 SPACE/250 SQ. FT. FOR COMMUNITY SHOPPING CENTER)  
 PARKING PROVIDED : 61 (3 HANDICAPPED)

**BUILDING DATA:**  
 OCCUPANCY CLASSIFICATION : GROUP M  
 ZONING : C2 (GENERAL COMMERCIAL)  
 CONSTRUCTION TYPE : VN  
 STRUCTURE : 1 STORY

**NEW:**  
 MAIN BUILDING AREA : 9,989.55 SQ. FT.  
 SECOND BUILDING AREA : 2,020.19 SQ. FT.  
 TOTAL : 12,009.74 SQ. FT.



NORTH  
 SITE PLAN  
 SCALE: 1/8"=1'-0"





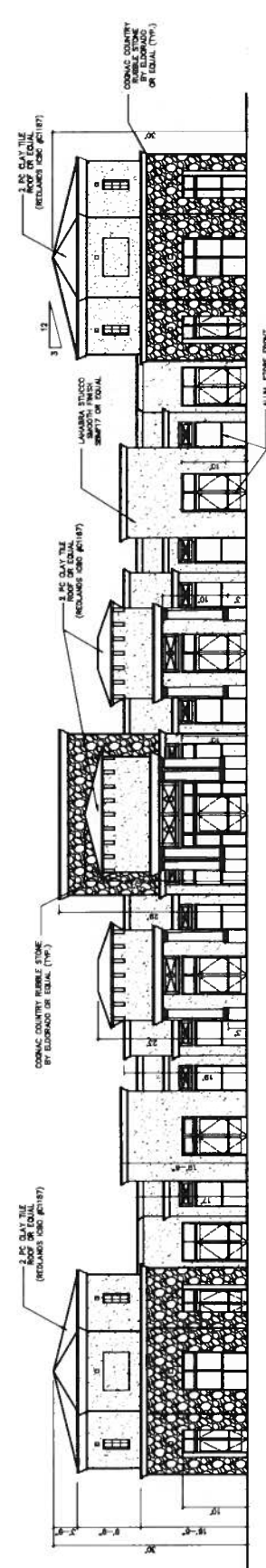
REVISIONS BY	

W.M. PERRY  
 (ARCHITECT) - LIC. NBR. C20152  
 P.O. BOX 781  
 RANCHO SANTA FE, CA. 92067 TEL. (760) 809-8910

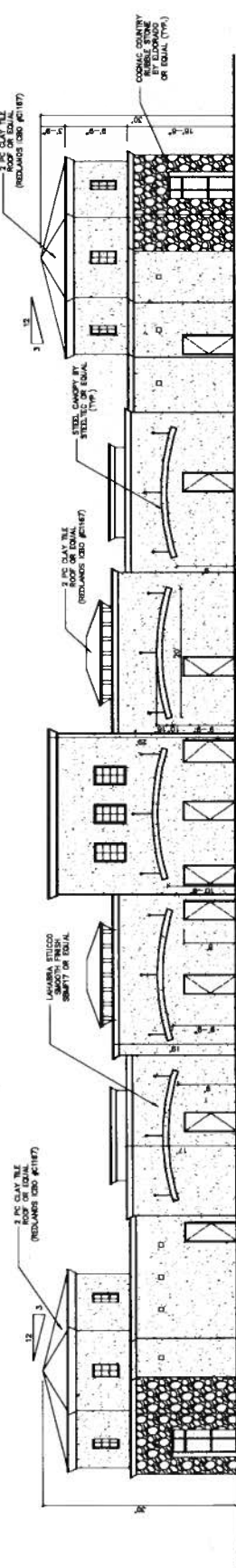
BUILDING #1  
 ELEVATIONS

SRRP SHOPPING CENTER FOR:  
 M.R. STEVE METSOVAS  
 1430 S. MARISSA DRIVE  
 OCEANSIDE, CA. 92056  
 TEL: (949) 463-3227

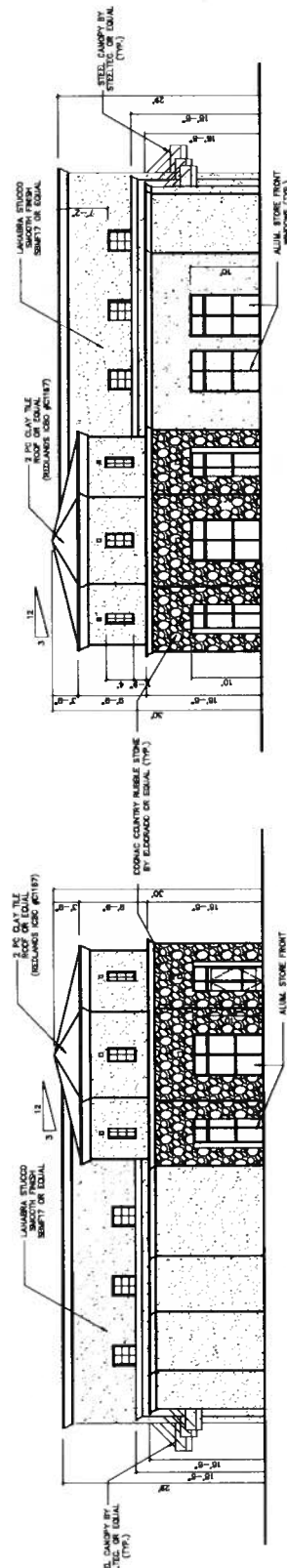
SHEET NO.  
 A-4



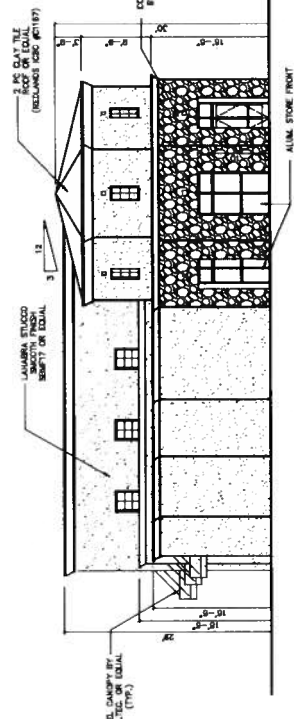
SOUTH WEST ELEVATION (FRONT ELEVATION)  
 SCALE: 1/8"=1'-0"



NORTH EAST ELEVATION (REAR ELEVATION)  
 SCALE: 1/8"=1'-0"



SOUTH EAST ELEVATION  
 SCALE: 1/8"=1'-0"



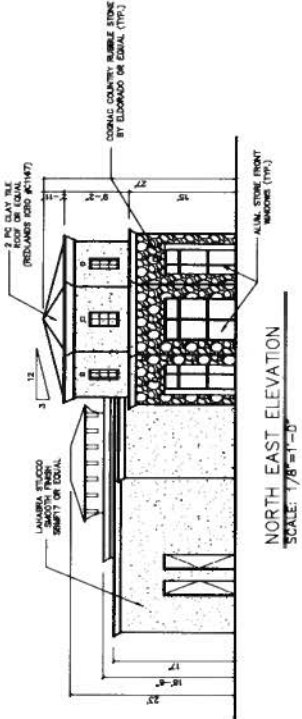
NORTH WEST ELEVATION  
 SCALE: 1/8"=1'-0"

REVISIONS	BY

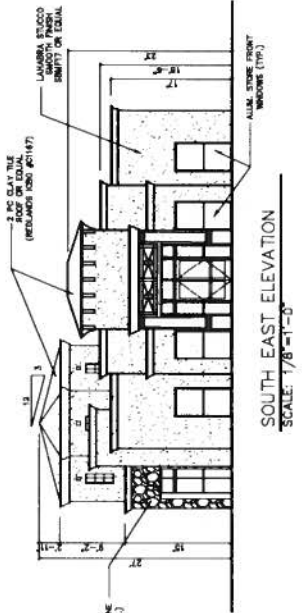
ARCHITECT - LIC. NBR. C20152  
 W.M. PERRY  
 P.O. BOX 781  
 RANCHO SANTA FE, CA. 92067 TEL: (760) 809-8810

STRIP SHOPPING CENTER FOR :  
 MR. STEVE METSOVAS  
 1430 S. MEYER DRIVE  
 OCEANSIDE, CA. 92056  
 TEL: (949) 463-3227

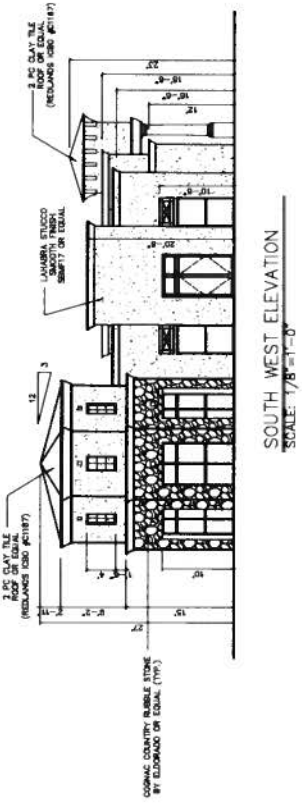
SHEET NO.  
 A-5



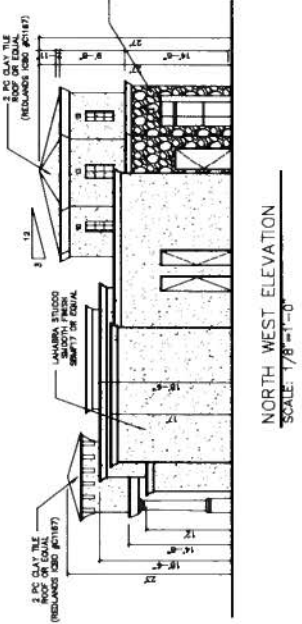
NORTH EAST ELEVATION  
 SCALE: 1/8"=1'-0"



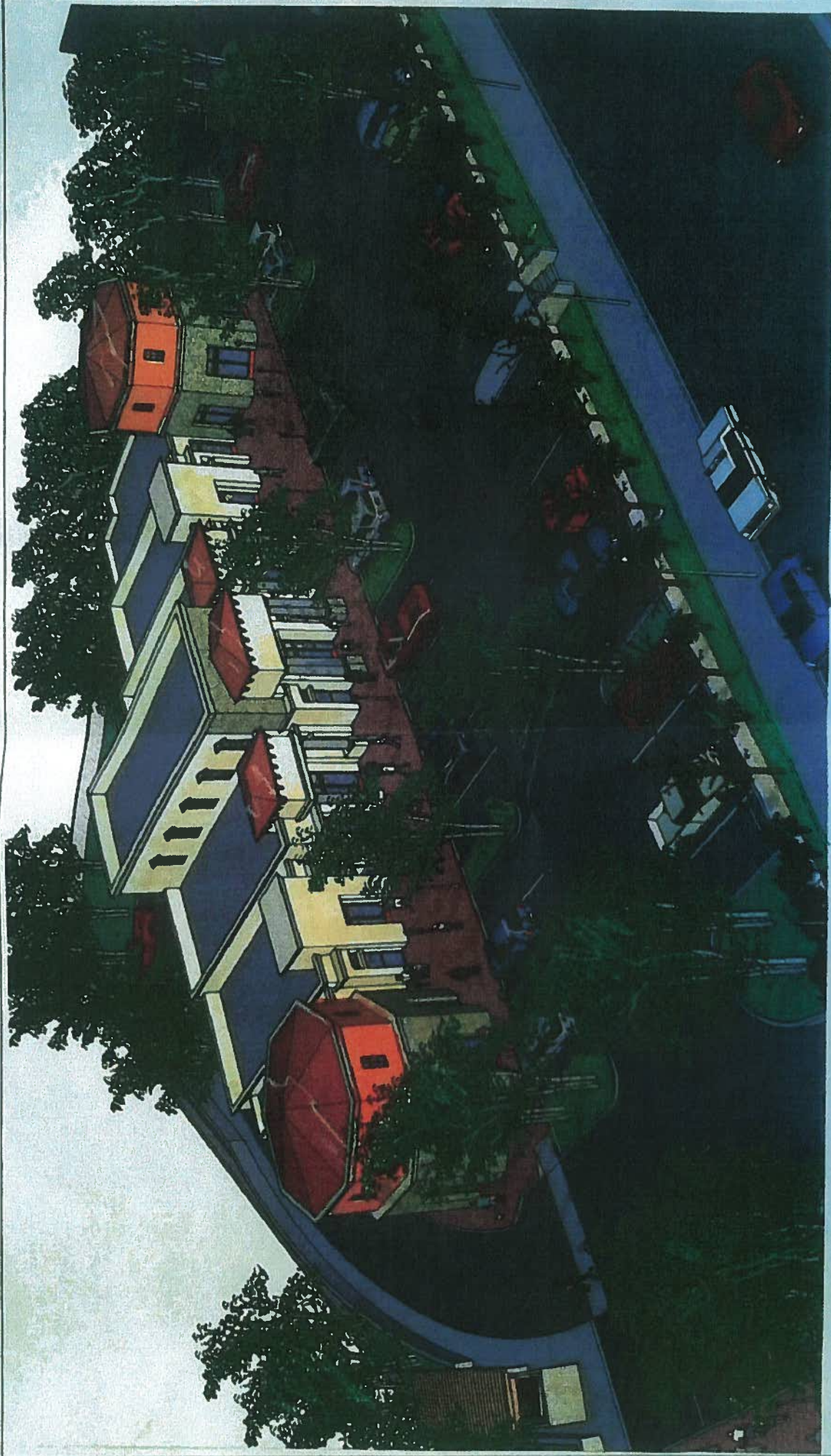
SOUTH EAST ELEVATION  
 SCALE: 1/8"=1'-0"



SOUTH WEST ELEVATION  
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NORTH WEST ELEVATION  
 SCALE: 1/8"=1'-0"



STRIP SHOPPING CENTER FOR:  
Mr. STEVE METSOVAS

1430 S. MELROSE DRIVE  
OCEANSIDE CA 92056

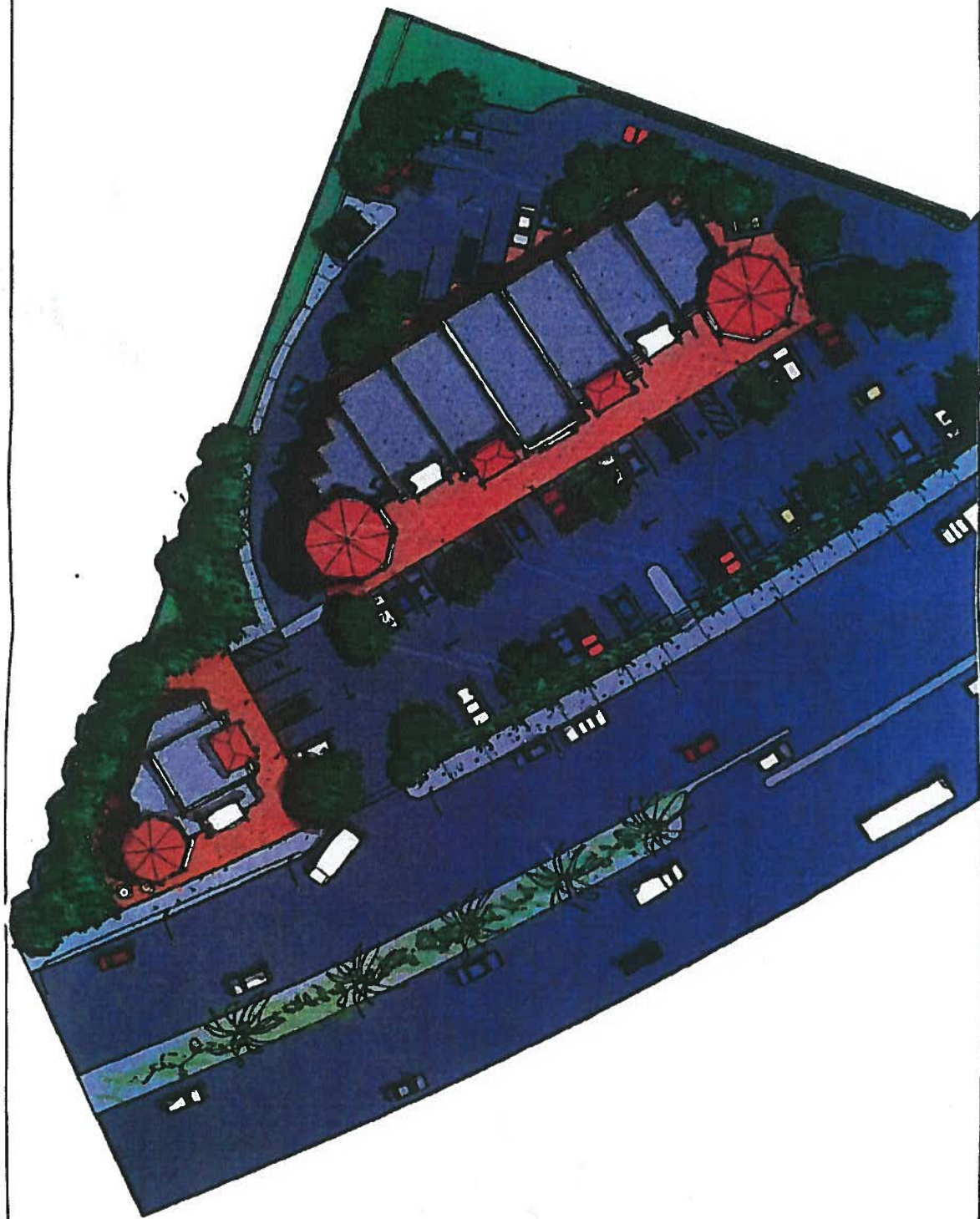
TEL: (949) 463-3227

TALYA DESIGN CONSULTANTS

1233 SUNNYSIDE AVE.

REDLAND, CA 92373

TEL: (909) 792-6004



STRIP SHOPPING CENTER FOR:  
**Mr. STEVE METSOVAS**  
1430 S. MELROSE DRIVE  
OCEANSIDE, CA 92056 TEL: (949) 463-3227



SITE PLAN

TALYA DESIGN CONSULTANTS  
1233 SUNNYSIDE AVE.,  
REDLAND, CA 92373  
TEL: (909) 792-6004



TALYA DESIGN CONSULTANTS  
1233 SUNNYSIDE AVE  
REDLAND, CA 92373  
TEL. (909) 792-6004

STRIP SHOPPING CENTER FOR  
MR. STEVE METSOVAS  
1430 S MELROSE DRIVE  
OCEANSIDE, CA 92056 TEL. (949) 463-3227



1430 S Melrose Dr, Oceanside, CA 92056

1430 S Melrose Dr, Oceanside, CA 92056

Explore this area · Traffic · Bicycling

1430 S Melrose Dr

McDonald's

AutoZone

Taco Bell

Ralphs

