

**AGENDA**  
**OCEANSIDE DEVELOPER'S CONFERENCE**

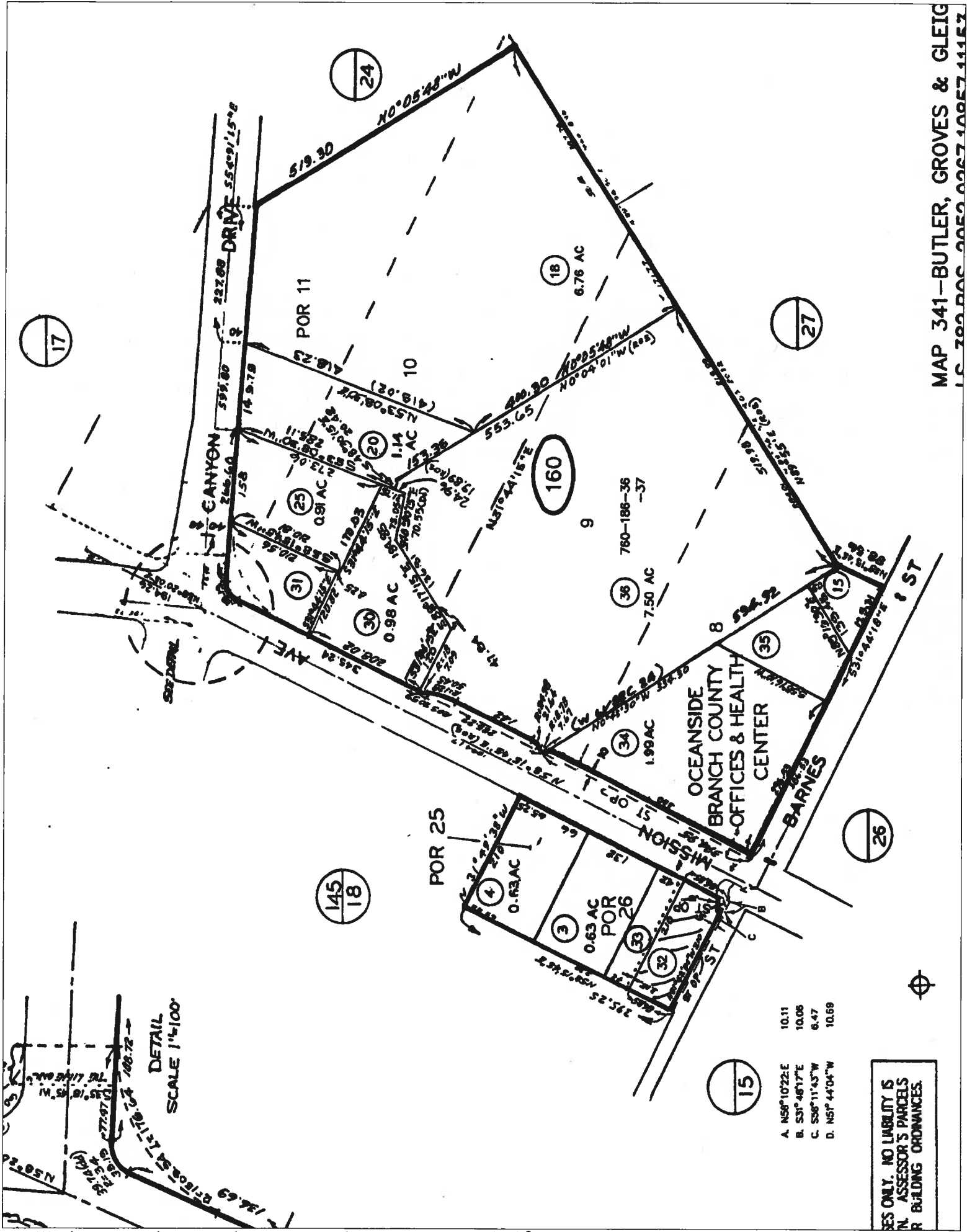
**Tuesday, April 15, 2014, 10:00 a.m.**  
**Guajome Room**

1. 10:00 a.m. - 11:00 a.m. Discussion for a proposed Starbucks drive thru development located on the northeast corner of Archer Street and Mission Avenue.

**Zoning: CG (General Commercial)**  
**Land Use: GC (General Commercial)**  
**Neighborhood Area: East Side Capistrano**  
**Assessor Parcel Number: 148-160-32**  
**Contact Person: Richard Saldano**  
**Tel: 619-520-9914**  
**Email: [rsaldano@rdconstruction.com](mailto:rsaldano@rdconstruction.com)**

**Attachments:**

1. Maps
2. Project Description Letter
3. Proposed Elevations



DETAIL  
SCALE 1"=100'

- A. N56°10'22"E 10.11
- B. S31°48'17"E 10.06
- C. S56°11'43"W 6.47
- D. N51°44'04"W 10.69

NO LIABILITY IS  
ASSASSOR'S PARCELS  
OR BUILDING ORDINANCES.



1211 S White Chapel Blvd  
Southlake, Texas 76092

April 1<sup>st</sup>, 2014

City of Oceanside  
Attn: Development Services Dept., Planning Division  
300 North Coast Highway  
Oceanside, CA 92054

Re: Proposed Starbucks Drive Thru: 1702 Mission Ave  
APN: 148160-32-00

Ms. Murrell:

Verdad Real Estate (Applicant), is in the process of acquiring the property and existing vacant building located in the NEC of Archer Street and Mission Ave (address and APN above). We are proposing to demolish the existing structure and make site modifications to develop a Starbucks Drive Thru. In general, this proposed development will include:

- Drive thru only building, without interior seating
- Updated landscape, site and building to enhance the aesthetics of this intersection
- Site design modifications for ROW taking
- Well established business with internationally recognized design and operational standards
- Opportunity to work with the city to allow extended operating hours

As the applicant, we look forward to the opportunity to discuss this project further in person during the pre-application meeting. It will help us better understand how we can mutually make this project successful for the City of Oceanside, our tenant and the community.

We look forward to Working with the City of Oceanside on this project.

Best Regards,

A handwritten signature in blue ink, appearing to read 'Jason James', is written over a light blue circular stamp.

Jason James  
Verdad Real Estate

**LEGEND:**

- PROPERTY LINE
- SETBACK
- CONCRETE DRIVEWAYS
- CONCRETE SIDEWALK
- ACCESSIBLE PATH OF TRAVEL

- (1) CONCRETE DRIVEWAYS
- (2) SOAKAWAY TRANSFORMER
- (3) ASPHALT PAVING
- (4) CURB AND SIDEWALK
- (5) PLANTING AREA
- (6) PARKING STALLS
- (7) ADA PARKING
- (8) LIGHTPOLE
- (9) TRELLIS
- (10) MONUMENT SIGN
- (11) SIGN
- (12) MENU BOARD
- (13) 12' DRIVE THRU

**WATER UTILITIES:**

THE DEVELOPER WILL BE RESPONSIBLE FOR DEVELOPING ALL WATER AND SEWER UTILITIES NECESSARY TO DEVELOP THE PROPERTY. ANY RESPONSIBILITY OF THE DEVELOPER AND SHALL BE DONE BY AN APPROVED LICENSED CONTRACTOR AT THE DEVELOPER'S EXPENSE. WATER UTILITIES LOCATED ON PRIVATE PROPERTY AND WATER SERVICES AND SEWER LATERALS CONSTRUCTED BY EXISTING CONTRACTORS AT DEVELOPER'S EXPENSE. RIGHT-OF-WAY LOCATIONS ARE TO BE CONSTRUCTED BY APPROVED LICENSED CONTRACTOR AT DEVELOPER'S EXPENSE. THE DESIGN AND CONSTRUCTION MANUAL SHALL BE SUBMITTED TO THE HEALTH AND CONSTRUCTION DIVISION OF THE SAN DIEGO COUNTY HEALTH AND CONSTRUCTION DIVISION AND APPROVED BY THE HEALTH AND CONSTRUCTION DIVISION. THE DESIGN AND CONSTRUCTION MANUAL SHALL BE SUBMITTED TO THE HEALTH AND CONSTRUCTION DIVISION OF THE SAN DIEGO COUNTY HEALTH AND CONSTRUCTION DIVISION AND APPROVED BY THE HEALTH AND CONSTRUCTION DIVISION. THE DESIGN AND CONSTRUCTION MANUAL SHALL BE SUBMITTED TO THE HEALTH AND CONSTRUCTION DIVISION OF THE SAN DIEGO COUNTY HEALTH AND CONSTRUCTION DIVISION AND APPROVED BY THE HEALTH AND CONSTRUCTION DIVISION.

THE FOLLOWING CONDITIONS OF APPROVAL SHALL BE MET PRIOR TO APPROVAL OF THE BUILDING PERMIT ISSUANCE:  
 ALL PUBLIC WATER AND/OR SEWER FACILITIES NOT LOCATED WITHIN 500 FEET RIGHT-OF-WAY SHALL BE PROVIDED WITH FACILITIES DESIGN AND CONSTRUCTION MANUAL. EASEMENT SHALL BE OBTAINED FOR ALL WATER ACCESS.  
 A SEPARATE IRRIGATION METER AND APPROVED BACKFLOW PREVENTION DEVICE IS REQUIRED AND SHALL BE INSTALLED ON THE PLANS. AN APPROVED LICENSED CONTRACTOR SHALL BE PROVIDED WITH FACILITIES DESIGN AND CONSTRUCTION MANUAL. EASEMENT SHALL BE OBTAINED FOR ALL WATER ACCESS.  
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CONSTRUCTION HOURS SHALL BE LIMITED TO 7AM TO 8PM MONDAY THRU FRIDAY.  
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**PROJECT SUMMARY**

CONDITIONAL USE PERMIT FOR PROPOSED STARBUCKS DRIVE THRU COFFEE SHOP

**PROJECT DATA**

PROJECT NAME: STARBUCKS  
 PROJECT ADDRESS: 1702 MISSION AVE, OCEANSIDE, CA  
 OWNER'S NAME: VERDAD REAL ESTATE  
 OWNER'S ADDRESS: 1011 VERDAD DRIVE, SUITE 2-A, DENVER, COLORADO 80203  
 ZONING: CG (GENERAL COMMERCIAL)  
 APN: 148-00-32-00  
 OCCUPANCY: RETAIL STORE: M  
 CONSTRUCTION TYPE: TYPE V NON-RATED  
 HOURS OF OPERATION: LIMITED

**SITE INFORMATION**

WALL OF CONCRETE SHOP: 800 SQ. FT.  
 WALL OF CONCRETE SHOP: 10' X 4'  
 NUMBER OF STORES: 1

**SETBACKS**

FRONT: 15'-0"  
 CORNER: 15'-0"  
 SIDE: 5'-0"  
 REAR: 5'-0"  
 LAND AREA: 14,280 SQ. FT.  
 ZONING: CG (GENERAL COMMERCIAL)

**PARKING CALCULATIONS**

REQUIREMENTS: 800 SQ. FT.  
 PROVIDED: 800 SQ. FT.

**LEGAL DESCRIPTION**

LOT 26, PORTION OF OCEANSIDE MAP #341

**SHEET INDEX**

C1: PROPOSED SITE PLAN

**SCOPE OF WORK**

ARCHITECTURAL

**APPLICANT**

CONTEL  
 Project Development, Inc.  
 1682 NORTH MICHIGAN AVE., SUITE 1  
 TEL: (619) 448-8773  
 CONTACT: (619) RICHARD SALDANO

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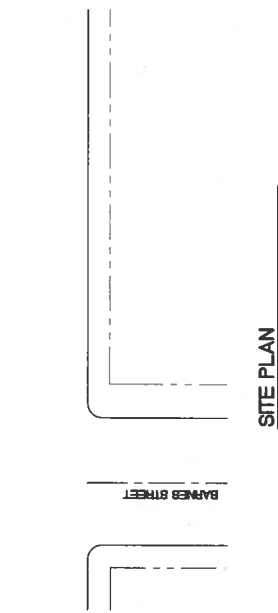
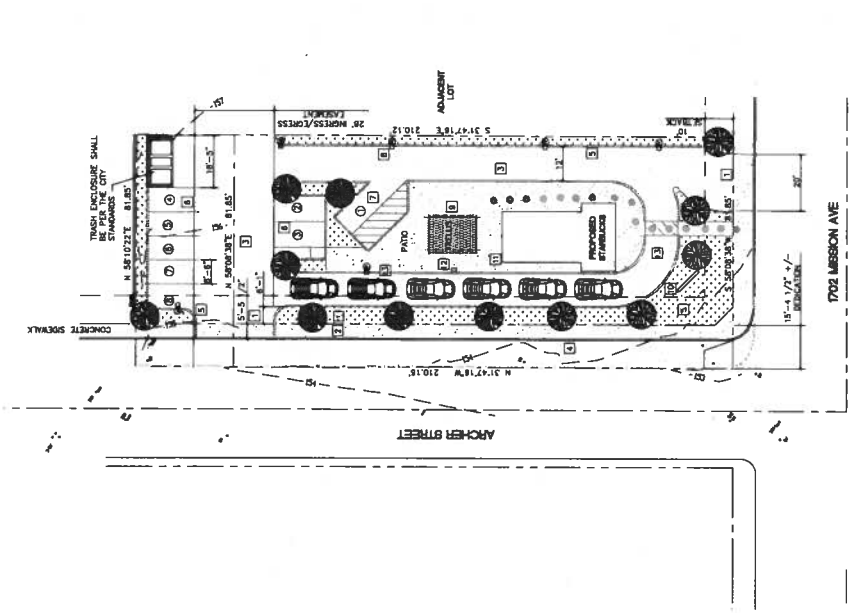
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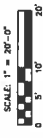
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**SITE PLAN**  
 SHEET 148-00-32-00

PRELIMINARY 3-25-14



SCALE: 1" = 20'-0"

SHEET C1

**Verdad**  
 REAL ESTATE  
 502 NORTH CARROLL AVENUE SUITE 120  
 SOUTHPLAKE, TEXAS 76092 PH# (817) 912-0524

**SITE PLAN**  
 702 MISSION AVE  
 OCEANSIDE, CA

**CONTEL**  
 Project Development, Inc.  
 1682 N. MICHIGAN AVE SUITE 1  
 OCEANSIDE, CA 92020 PH# (619) 448-8773

DATE ISSUED	2-2-14
PROJECT	14-003
DRAWN BY	R.SALDANO
DATE	
DESCRIPTION	

**CONTEL**



DRIVE THRU

371



WINDMILL COFFEE





