

<sup>1</sup>**AGENDA**  
**OCEANSIDE DEVELOPER'S CONFERENCE**

**Wednesday, March 15th, 2017, 9:30 a.m.**  
**City Hall South, 1<sup>st</sup> Floor, Guajome Room**

1. 9:30 - 10:30 a.m.                      Proposed 9-unit condominium residential development located at 204-208 S. Myers St.

**Zoning: D-5 (High Density Residential- SF & Multi)**  
**Land Use: Downtown**  
**Neighborhood Area: Townsite**  
**Assessor Parcel Number: 150-077-01 & 150-070-02**  
**Contact Person: Tim Clifford**  
**Tel.: (714) 722-0230**  
**Email: [timc@cliffordandco.com](mailto:timc@cliffordandco.com)**

2. 10:30 - 11:30 a.m.                      Proposed mixed use development with 10 residential units located at 328 & 332 S. Coast Hwy.

**Zoning: C-2 (General Commercial)**  
**Land Use: Coastal General Commercial**  
**Neighborhood Area: Townsite**  
**Assessor Parcel Number: 150-054-07 & 150-054-08**  
**Contact Person: Abelardo Lopez & Jorge Engel**  
**Tel.: (858) 509-1899 (Jorge)**  
**Email: [abe@abedesignstudio.com](mailto:abe@abedesignstudio.com), [jorgetengel@gmail.com](mailto:jorgetengel@gmail.com)**

Attachments:

1. Parcel Map
2. Project Description Letter
3. Conceptual Site Plans
4. Vicinity/Regional Maps

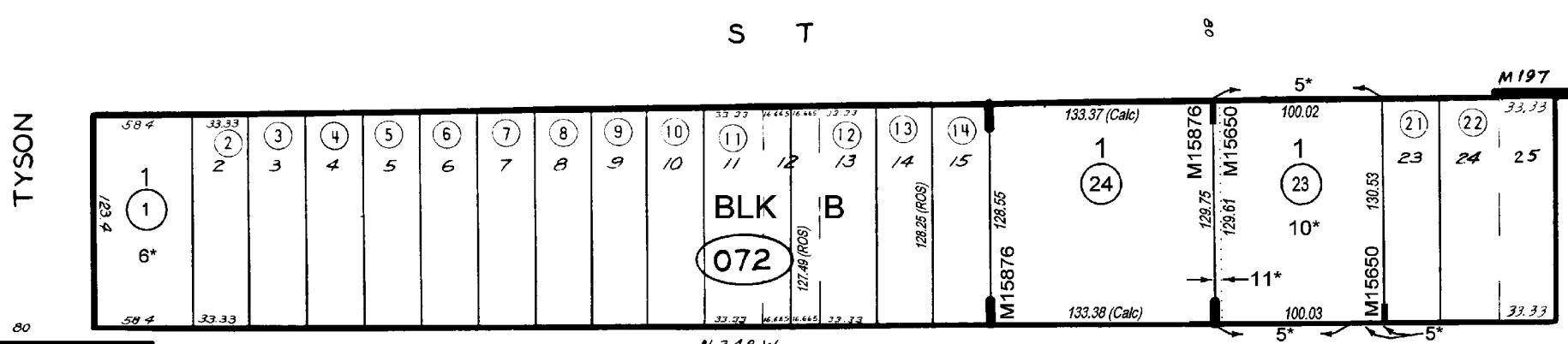
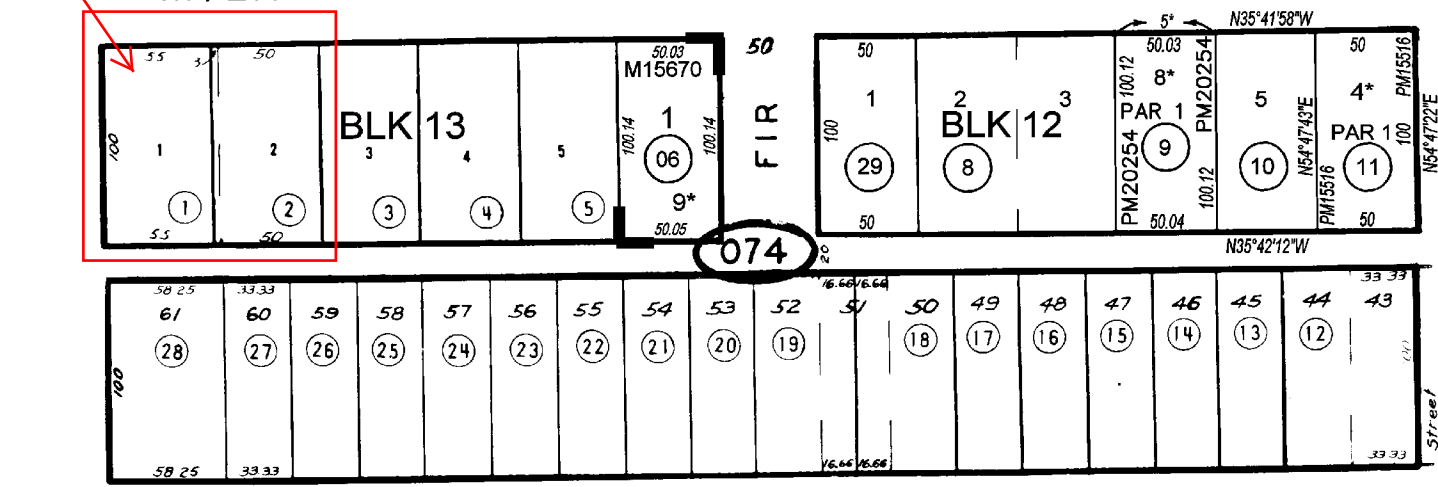
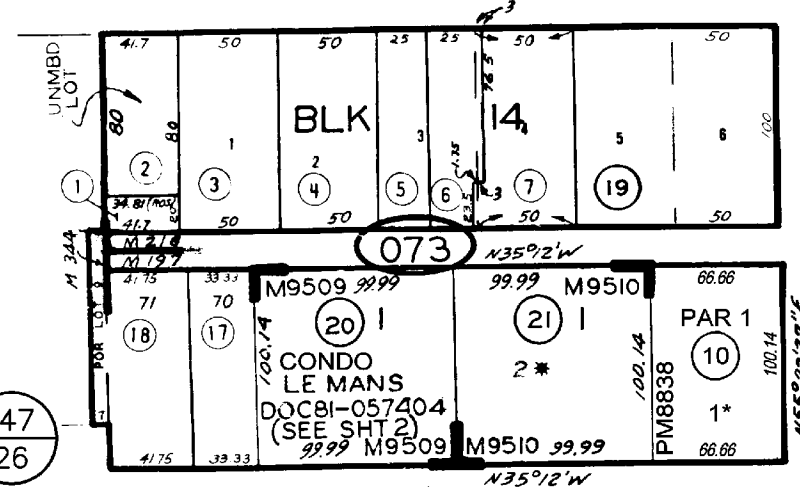
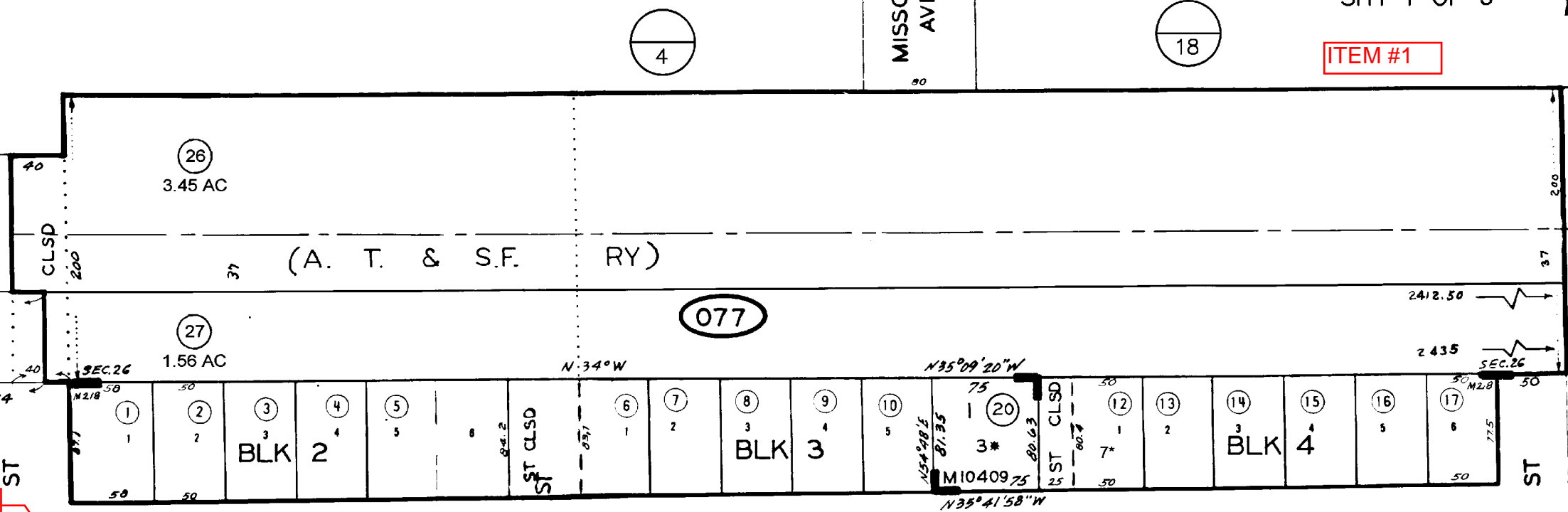
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<sup>1</sup> *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*

BLK	OLD	NEW	YR	CUT
073	849	19	72	7180
075	162	7	76	65
075	7	APP ONLY	76	5862
075	7	CONDM	79	401
073	14-16	20	80	365
073	11-13	21	80	366
073	10	CONDM	81	692
073	21	CONDM	82	540
074	74 SUB	29	82	2100
073	20	CONDM	82	591
077	11	20	83	54
076	1-7	147-350	84	10064
077	20	CONDM	85	715
077	18 & 19	SAME	86	5593
077	18 & 19	21-24	90	2382
074	11	CONDM	90	646
077	24	254 POR	91	1467
074	9	SAME & ACC RTS	07	5517
072	18-20	23	08	150
074	6	CONDC	09	550

BLK	PRIOR APN	NEW APN	YR	CUT NO
072	05	05 & SIDS 01-06	09	1679
072	05 & SIDS 05 & 06	05 & SID 07	09	1692
072	23	CONDO	12	514 CC
077	21 & 22 & 23 & 25	26 & 27	12	1130
072	15-17	24	13	23

ITEM #1



- 1\* CONDO 160 SOUTH PACIFIC ST. DOC. 80-024877 (SEE SHT 2)
- 2\* CONDO PACIFICA DEL MAR DOC. 81-019884 (SEE SHT 2)
- 3\* CONDO MYERS STREET DOC. 84-373709 (SEE SHT 2)
- 4\* CONDO SOL MAR DOC. 90-049195 (SEE SHEET 2)
- 5\* NO ACCESS
- 6\* 760-186-58 POR
- 7\* CTRL #9130 NSP CITY OF OCEANSIDE TCT TM NO T-202-04
- 8\* CONDO (PEND) SOMBRILLA DOC. 2007-0375113
- 9\* CONDO MYERS STREET DOC. 2008-0034003 (SEE SHT 3)
- 10\* CONDO 400 SOUTH THE STRAND DOC. 2008-0061688 (SEE SHT 3)
- 11\* 5' PUBLIC ACCESS

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

- MAP 15876 - SOUTHSTRAND CONDOMINIUMS
- MAP 15670 - MYERS STREET CONDOMINIUMS
- MAP 15650 - 400 SOUTH THE STRAND
- MAP 10409 - MYERS STREET CONDOMINIUMS
- MAP 9510 - PACIFICA DEL MAR (CONDM)
- MAP 9509 - LE MANS CONDOMINIUM

- MAP 8146 - OCEAN - PINE CONDMs
- MAP 1044 - TERRACE ANNEX
- MAP 344 -- A. J. MYERS ADD
- MAP 218 - TYSON'S ADD
- MAP 197 - RIVERSIDE TERRACE
- POR SEC 26 - T11S-R5W
- ROS 3406, 19997

ES  
7-29-69  
SAN DIEGO COUNTY  
ASSESSOR'S MAP  
BOOK 150 PAGE 07 SHT 1 OF 2

PACIFIC OCEAN

February, 15, 2017

City of Oceanside

Planning Division

300 North Coast Highway

Oceanside, CA 92054

Ref: Developer Conference meeting March 15<sup>th</sup> at 9:30 am

Attn: Planning Department.

Dear Tiffany,

Please find attached the submittal package for 204/206/8 Myers Street Oceanside Ca, 92054 on behalf of Clifford And Company, Inc. as Developer, for the Owners, Oceanside Beach Villas LLC. Project better referred to as

*Parasol Chalets: By The Sea.* For those of us not so French savvy.

This Means *Umbrellas & Sun Cottages: By The Sea.*

Per the city's request, as the formal submit package. Please find here summarized the information to complete the submittal:

1. **LEGAL:**

- There are Two parcels in question, 204 Myers Street APN # 150-077-01-00 and 206/8 Myers Street APN 150-077-02-00.

2. **PROPERTY DISCRPTION:**

- The project is made up of 9 condo unit's consisting 12,033 Livable sq. ft. 1,337 average per unit (Living area and Decks to unit-out/inside space) and 12,960 Common space (garages, hallways, Roof decks, elevators, stairways, etc.) located on the site that consist of 9,396 square feet "land" and building foot print of 5,896 equal to 59% Lot coverage. Detailed as:
- 5 - Two (2) Bedrooms Two car garages attached Via Parking garage on first floor and
- 4 - One (1) Bedrooms with One garages attached Via Parking garage on the first floor with
- Four (4) Visitor parking spaces Two (2) Covered and Two (2) Open.
- Parking summary: Required 11 Combined. Provided 13 combined 2+ above minimum.
- The Project is designed with Three (3) floors with a not to exceed 35 foot height except the two, (2) sections (Elevator/Stairs/and common access space) that equals 450 Sq. Ft +/- that penetrates the 35' height located on the deck area that consist of approximately, 4.25% of the entire Percentage above the 35'. This height would be at 44'.

3. **ELEVATIONS & FLOOR DISCRITIONS:**

- There are three floors of Construction being built with a roof deck on top for common space usage.
- First Floor consist of, garage parking, Lobby, Elevator, Stairway's, Lockers, and Exit/Entrance access.
- Second Floor consist of, access to 7 of the 9 units. (5)-2Bd/2.5Bth units, Two Story in design, and (2)-1Bd/2Bth Units, Single story in design.
- Third floor consist of, the remaining 2 Units access (2)-1Bd/2Bth Units, Single story in design
- Fourth Floor consist of, All common space for use by all owners including access from and to the three floors below, via elevator, (2) Sets of Stairways, and (2) bathrooms for Pool usage are deck areas.

4. **LOT COVERAGE = OPEN & "GREEN" SPACE COMBINED:**

- The Outside space has 2,371 sq. ft. provided at 25.5%. Required 25%. This space consist of the following features.
- Each Unit will come with its own garden area equal to a 10'X10' fenced in area with the ability to grow their own natural garden products.
- There is a common area that consist of a Garden area cleaning section, (Sinks, Waste cans, and disposable containers), to allow proper maintenance of the garden growth areas.
- A fenced and secured area for large toys such as Surf Boards, Bicycles, and a like Toys.
- A fenced in area for pet play area. aka (Dog run)
- A BBQ area on the first floor separated by the Garden area and the Pet area.
- Two visitor space parking stalls.

Overall the project is designed by the input of the Owners and developer to meet our personal touch's and desired development. Today four of the units are spoken for and are being custom designed with European and modern features for the project.

I hope this meets your needs for our meeting on March 15<sup>th</sup> at 9:30 am PST. If you have any questions before that date please feel free to contact me at your earliest convenience. I look forward to seeing you all in person and making Oceanside dreams come true ☺.....

Sincerely

Timothy D. Clifford

*Timothy D. Clifford*

President



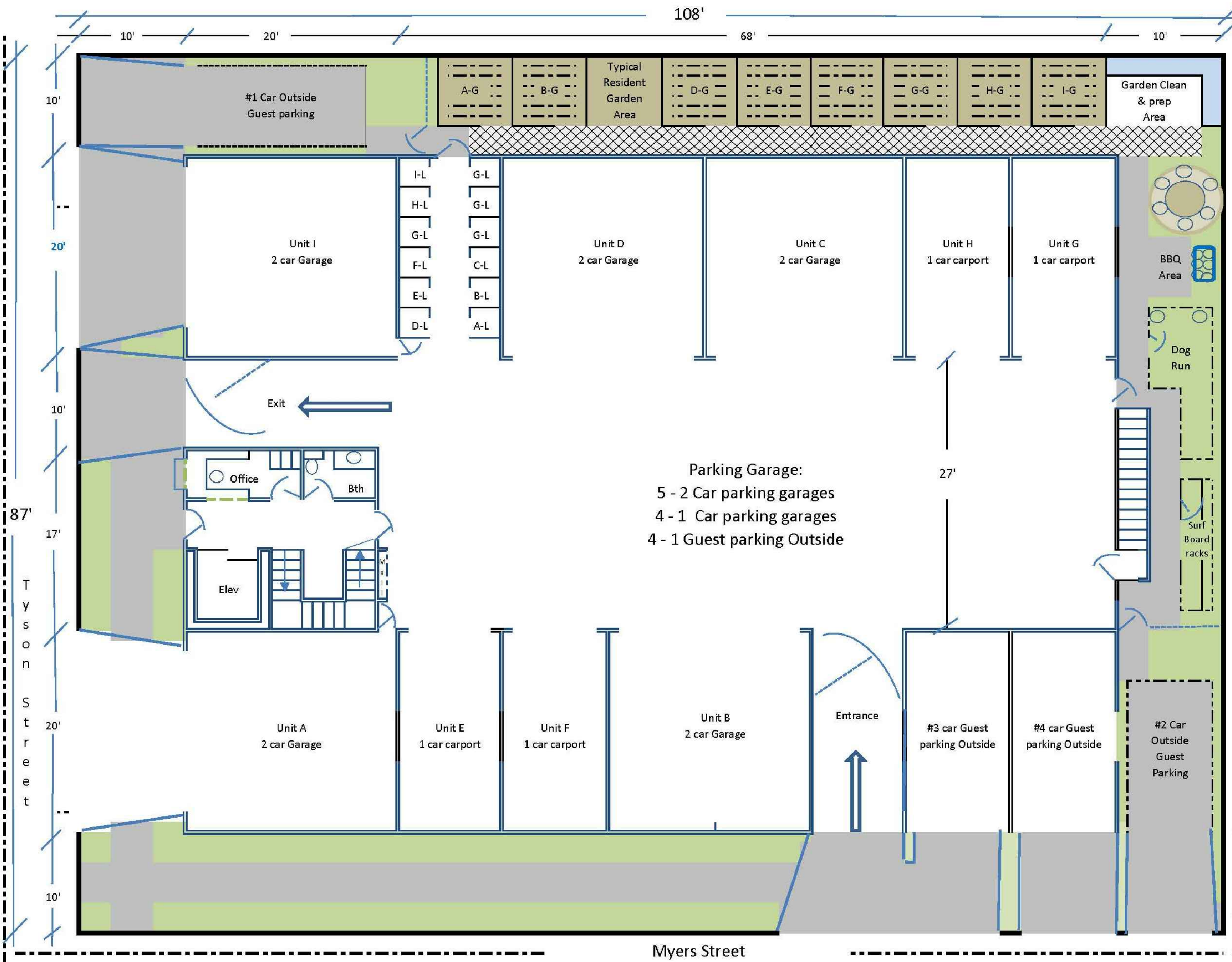
P A R A S O L

BY THE SEA



**OCEANSIDE BEACH VILLAS LLC**

CLIFFORD & COMPANY, INC. DEVELOPER



FIRST LEVEL-GARAGE LEVEL PLAN

**SUMMARY OF PROJECT LIVABLE & UNDER ROOF**

		Conditioned	Other
First Floor	Garage / Entrance	324	5,896
Second Floor	Kitchen / Dining	0	0
Third Floor	Master Bedroom	0	0
Fourth Floor	Roof Deck	0	0
Combined Square Footage Totals			
Combined Under roof after Built		0	

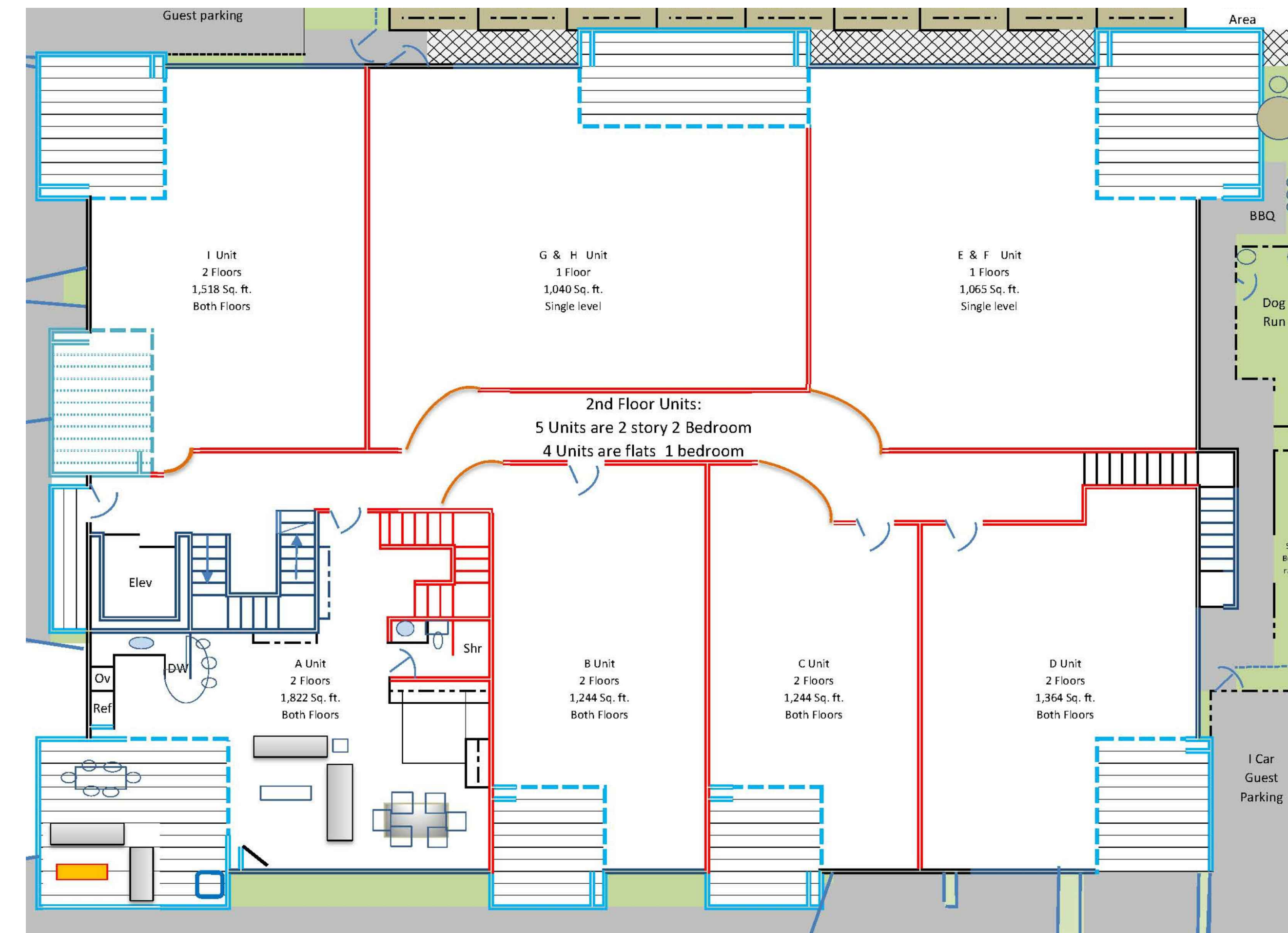
**Parking & Unit Summary**

Each Unit has 1B=One or 2B=Two car garages  
 Each Unit has 1 or 2 Bedrooms, & 2 or 2-3/4 Bathrooms  
 In rooms called Flex space a Murphy can be included  
**The features that are important to spell out are:**  
 Built in Elevator from garage to roof deck  
 Forced Heating with a Remote AC in Flex space  
 Roof deck that covers the entire space above  
 Decks on each Floor that also has disappearing doors  
 View Premiums, from Corner to Mid on Myers & Tyson

**Site Summary:**

LAND: = 9,396 Total - Lot Coverage 5,896 - allowed None% used 59%  
 Parking Required 16 - Provided 18 - "+2"  
 Building Height allowed 35' Provided 35'  
 Landscaping Softscaping required 25% provided 2,371 Sq. Ft = 25.5%

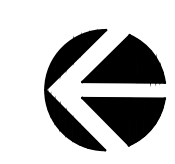
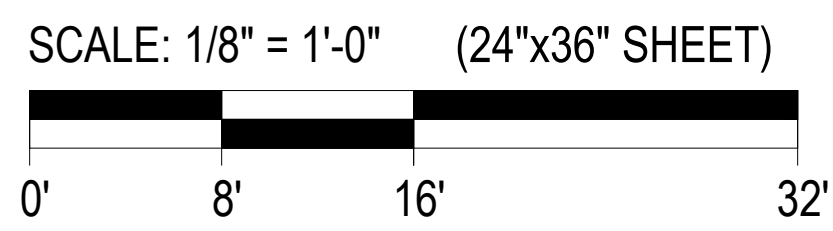
Clifford & Company, Inc.		Tim Clifford	
Oceanside Beach Villas,		(714)	
204 206 208 Myers, Oceanside, California.		722-0230	
Parcels #1 & 2, Lot 1 & 2			
Design dated	Site & 1st Floor Plan	Site = 1"	Design # 1247
1-30-2017			



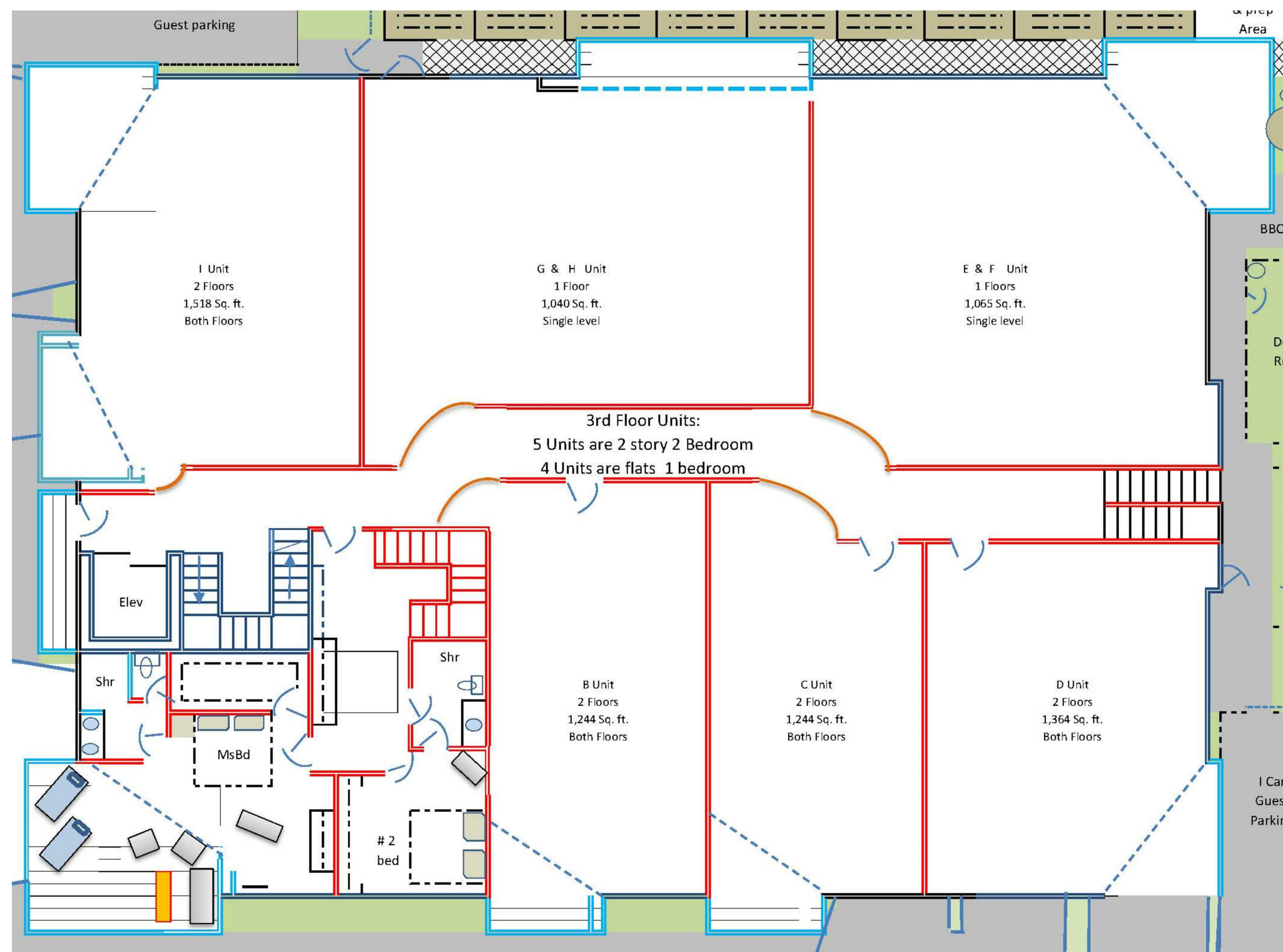
**SUMMARY OF PROJECT LIVABLE & UNDER ROOF**

		Livable & deck	Other
First Floor	Garage / Entrance	324	5,896
Second Floor	Kitchen / Dining	10,350	584
Third Floor	Master Bedroom	0	
Fourth Floor	Roof Deck	10,674	6,480
Combined Square Footage Totals			
Combined Under roof after Built		0	

SECOND LEVEL FLOOR PLAN

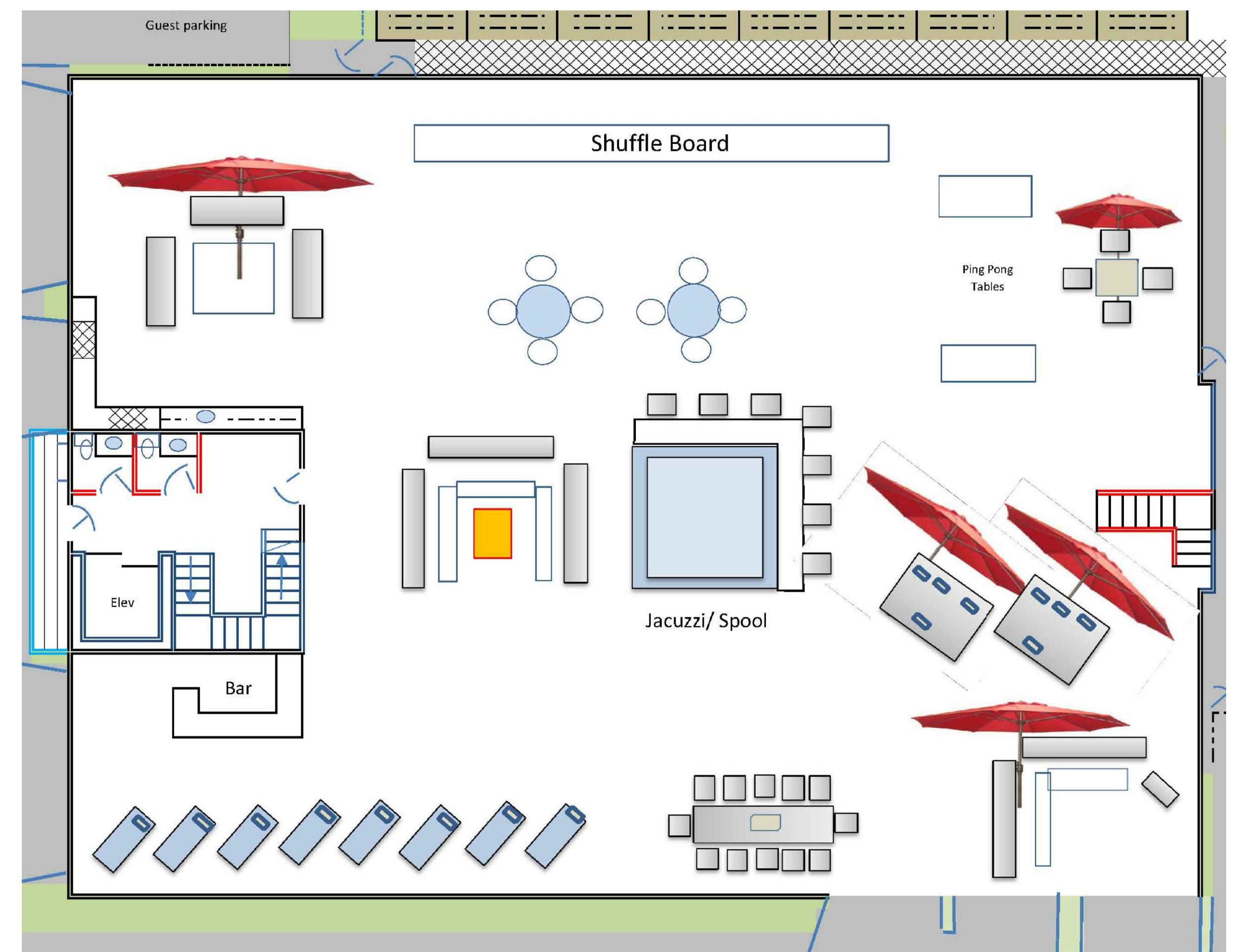


FLOOR PLANS



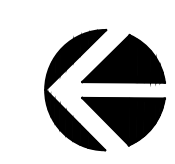
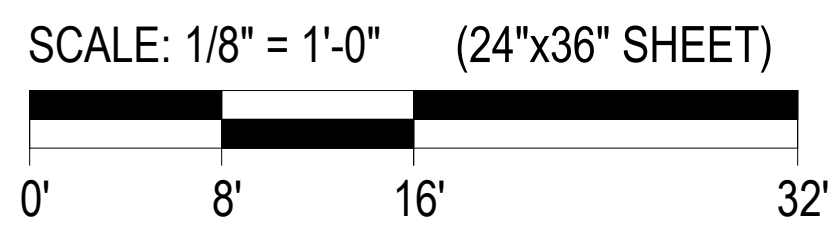
THIRD LEVEL FLOOR PLAN

SUMMARY OF PROJECT LIVABLE & UNDER ROOF			
		Livable & deck	Other
First Floor	Garage / Entrance	324	5,896
Second Floor	Kitchen / Dining	10,350	584
Third Floor	Master Bedroom	1,035	584
Fourth Floor	Roof Deck	0	0
Combined Square Footage Totals		11,709	7,064
Combined Under roof and deck		18,773	



ROOF TERRACE PLAN

SUMMARY OF PROJECT LIVABLE & UNDER ROOF			
		Livable & deck	Common
First Floor	Garage / Entrance	324	5,896
Second Floor	Kitchen / Dining	10,350	584
Third Floor	Master Bedroom	1,035	584
Fourth Floor	Roof Deck	324	5,896
Combined Square Footage Totals		12,033	12,960
Combined Under roof after Built		24,993	



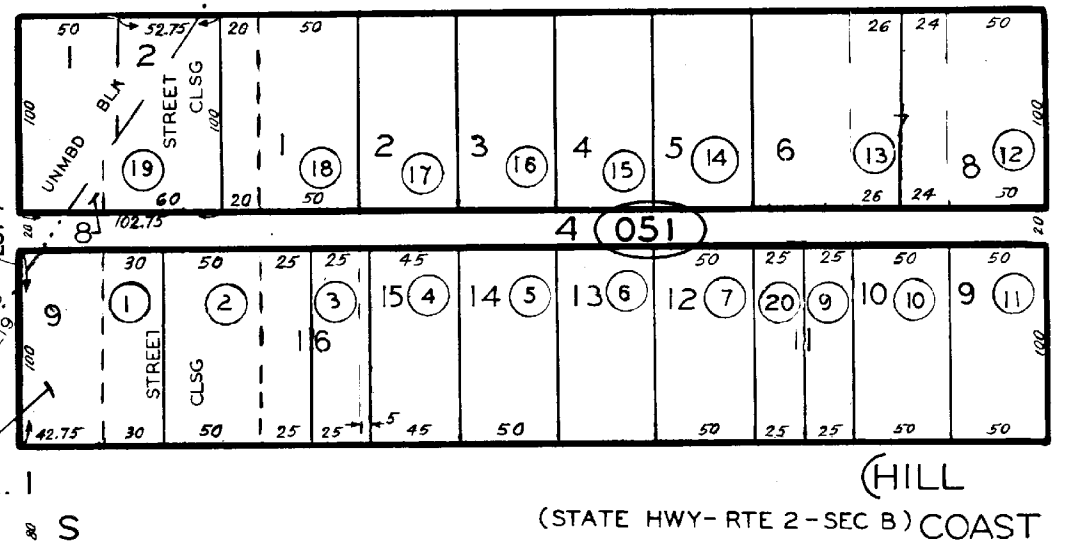
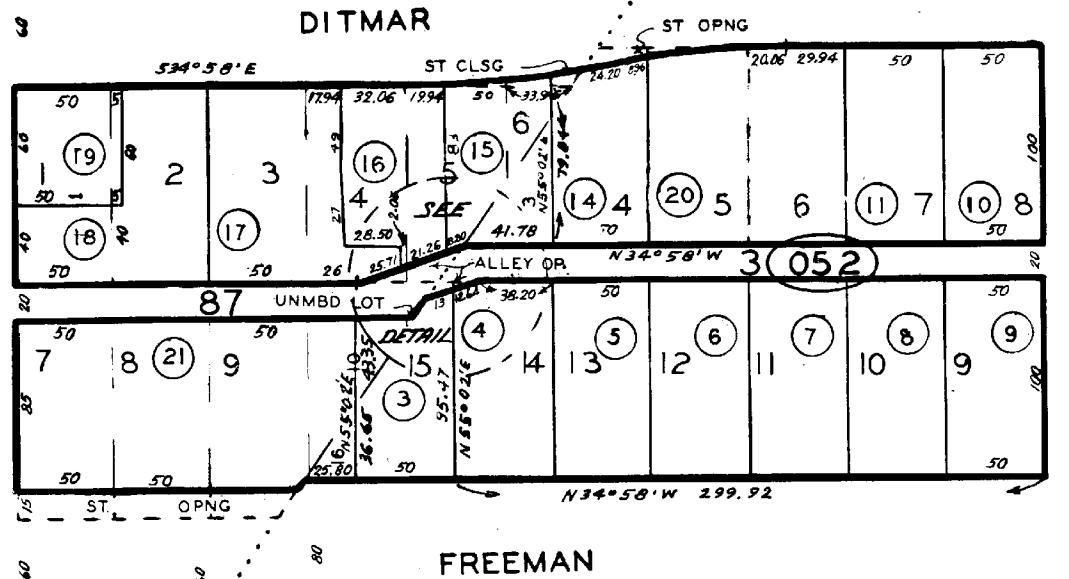
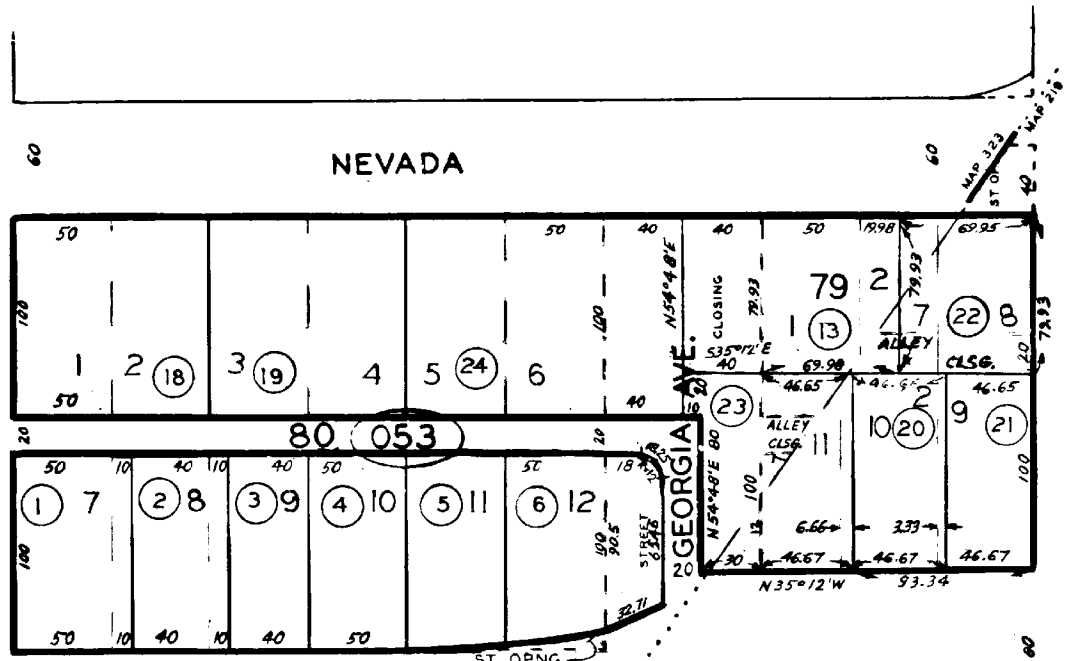
# FLOOR PLANS

150-56, 19, 11  
MAP 147  
19

323 BLK 88  
12

MAP 147  
28

MAP 147  
88  
BLK 88  
12



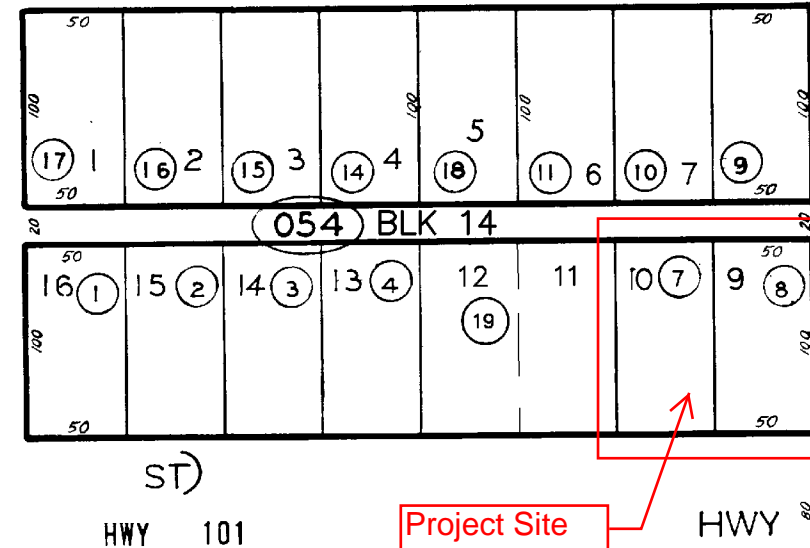
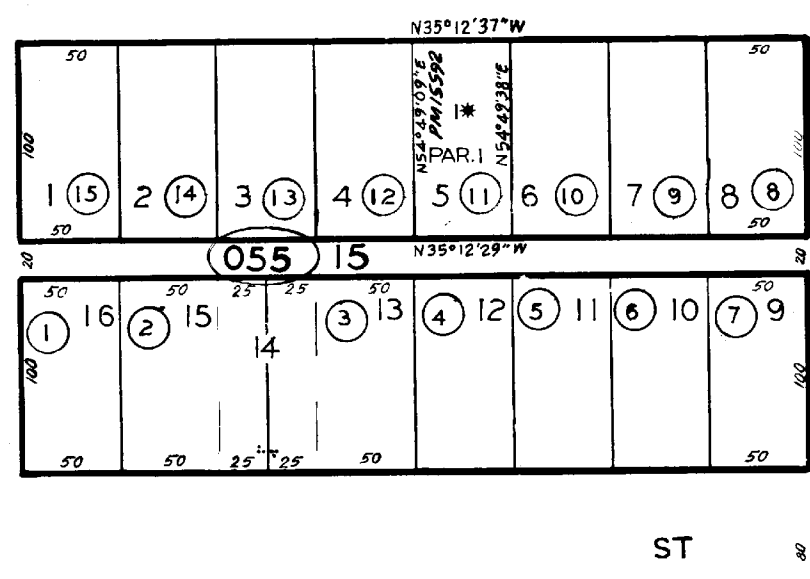
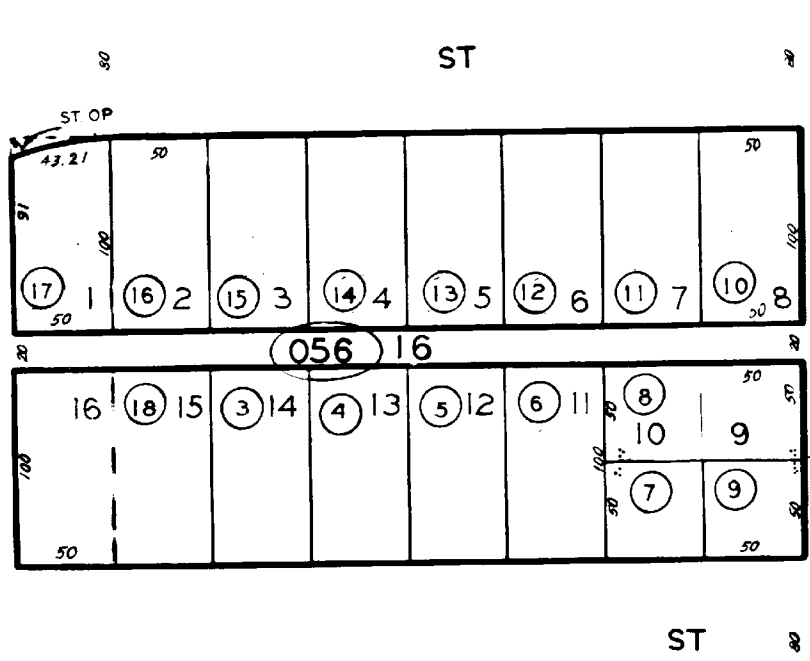
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AVE.

80

MICHIGAN

4



AVE.

80

MISSOURI

80

ITEM #2

21

20

BLK 24

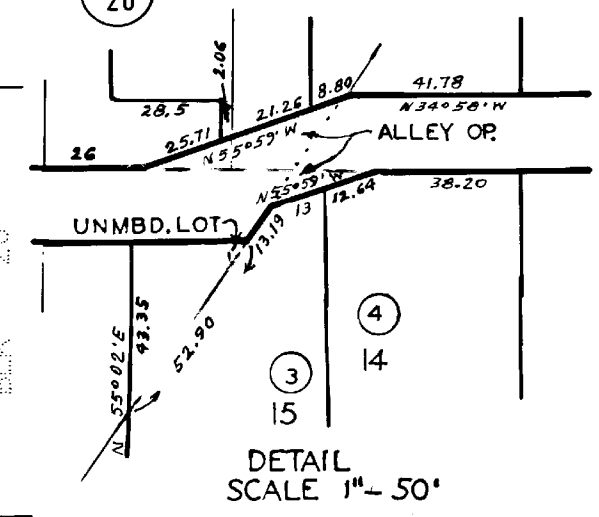
BLK 25

BLK 20

CHANGES

BLK	OLD	NEW	YR	CUT
056	142	18	70	2301
052	12-13	20	71	693
052	182	21	72	1248
053	14, 15	24	72	3766
054	12, 13	18	75	2539
051	8	20	77	1457
054	5&6	19	99	1044

\*(CONDM PEND)  
PAR 1, PM15592  
DOC92-566820



DETAIL SCALE 1" = 50'

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

ES 7-29-69

MAP 219  
BLK 5

MAP 323 - HORNE'S ADD. - UNMBD BLK & BLKS 79, 80, 87  
MAP 219 - BRYAN'S ADD. - BLKS 1-4 & 14-16

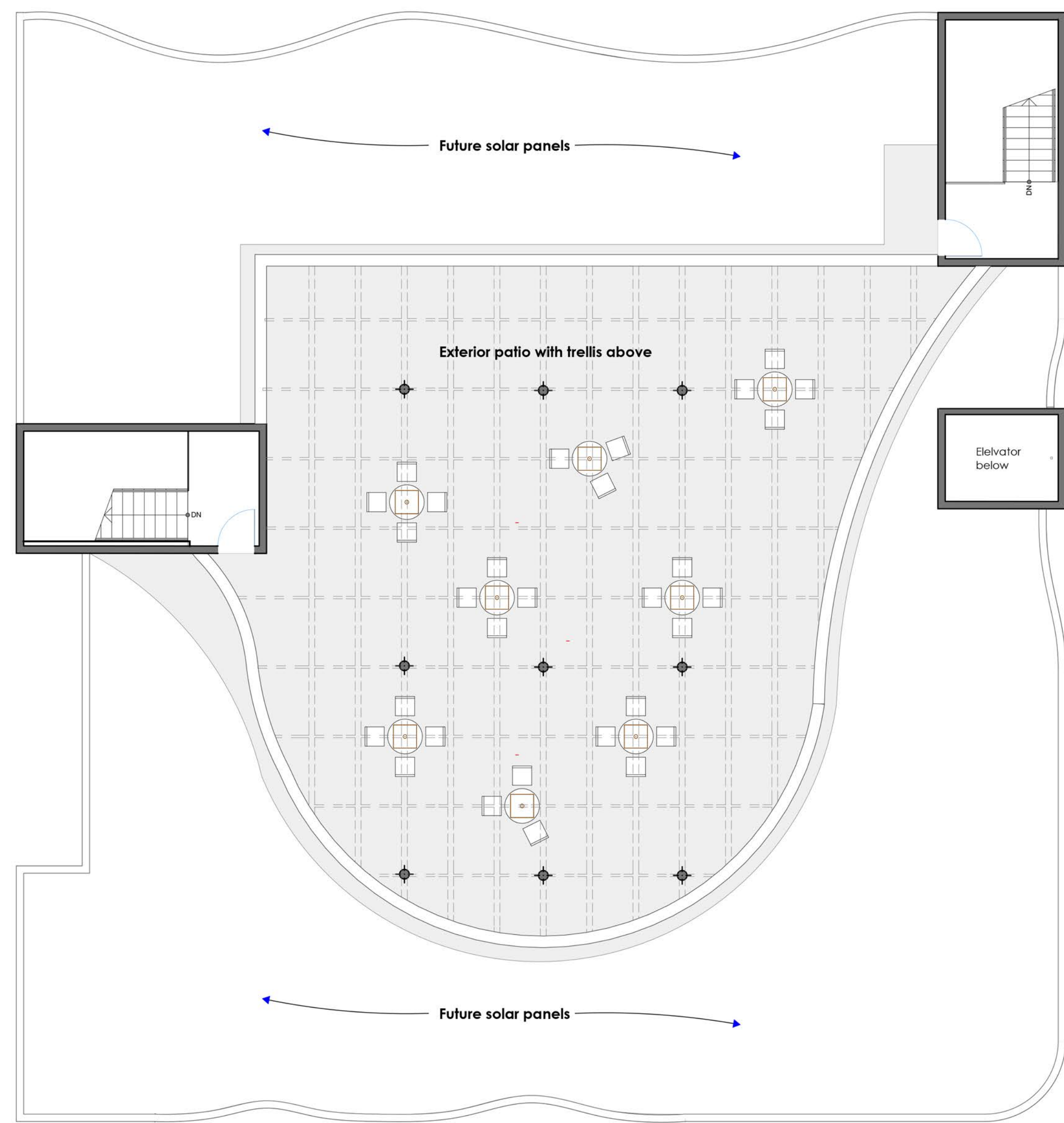




ISSUED FOR:	
Schematic design	2/23/17

SCALE: SEE PLAN  
 DRAWN BY:  
 CHECKED BY:  
 JOB NUMBER:

3rd floor / Roof plans



**Roof Plan**  
 SCALE: 1/8" = 1'-0"



**3rd Floor Plan**  
 SCALE: 1/8" = 1'-0"



○ North Elevation  
NOT TO SCALE



○ West Elevation  
NOT TO SCALE

- ⊕ +46.0 Top of building
- ⊕ +36.0 Roof level
- ⊕ +25.0 Third floor
- ⊕ +14.0 Second floor
- ⊕ +0.0 Ground floor

MAISON MODERNE  
 328 - 332 South Coast Highway  
 Oceanside CA



○ East Elevation  
NOT TO SCALE



○ East Elevation  
NOT TO SCALE

ISSUED FOR:	
Schematic design	2/23/17

SCALE: SEE PLAN  
 DRAWN BY:  
 CHECKED BY:  
 JOB NUMBER:

Exterior elevations