

¹AGENDA
OCEANSIDE DEVELOPER'S CONFERENCE

Wednesday, April 5th, 2017, 9:30 a.m.
City Hall South, 1st Floor, Guajome Room

1. 9:30 - 10:30 a.m. Proposed gas station, convenience store, car wash and retail space located at 1888 Oceanside Blvd (previous CHP building)

Zoning: CS-HO (Special Commercial Highway Oriented)

Land Use: Special Commercial

Neighborhood Area: Loma Alta

Assessor Parcel Number: 151-010-19

Contact Person: Jian Kerendian

Tel.: -

Email: jiank26@yahoo.com

2. 10:30 - 11:30 a.m. Proposed mixed-use residential development (possibly live/work and restaurant) located at 212 N. Clementine St.

Zoning: D-2 (Financial Center/Office Professional)

Land Use: Downtown

Neighborhood Area: Townsite

Assessor Parcel Number: 147-195-05

Contact Person: Ken Chriss

Tel.: (760) 913-5556

Email: kchriss@4designarch.com

Attachments:

1. Parcel Map
2. Project Description Letter
3. Conceptual Site Plans
4. Vicinity/Regional Maps

¹ *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

CHANGES		12/03/10 DEP	
BLK	OLD NEW YR CUT	BLK	OLD NEW YR CUT
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	1	53	53

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SHT 1

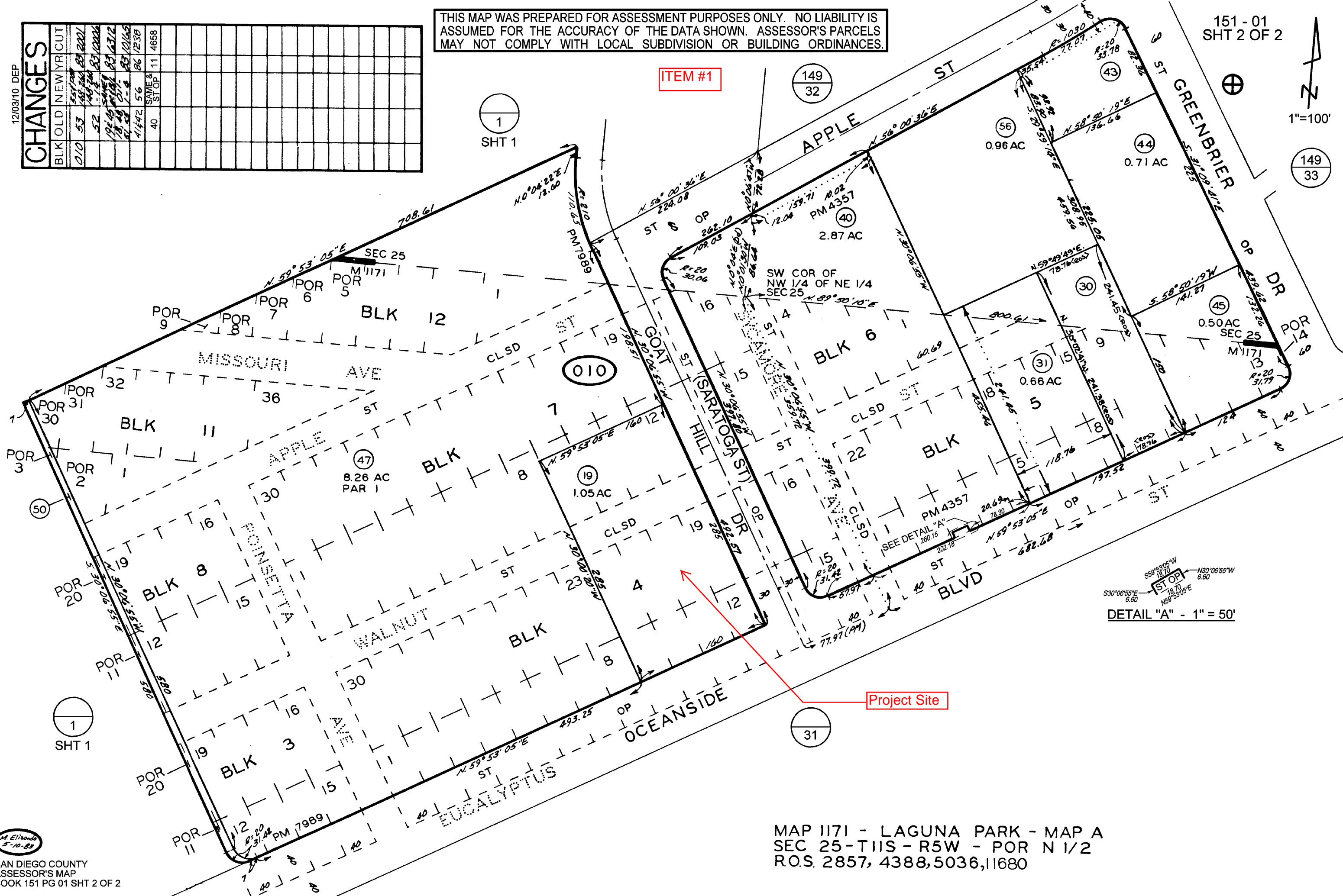
ITEM #1

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32

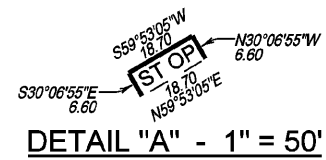
151-01
SHT 2 OF 2



149
33



Project Site

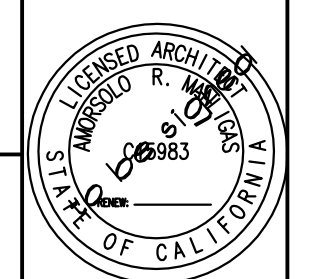


GAS STATION, CONVENIENCE STORE MARKET, RETAIL & CARWASH

JOB AT: 1888 OCEANSIDE BLVD OCEANSIDE CA 92054

1/2/2011
owner: cma
1/10/2011
owner approved
1/31/2011
owner file own T I

JK
Architect
Amorsolo R. Manligas
LIC#C15983
1756 Barry Ave
Los Angeles California
90025
(310) 920-2626



GAS STATION CONVENIENCE STORE MARKET,
JOB AT: 1888 OCEANSIDE BLVD
OCEANSIDE CA 92054

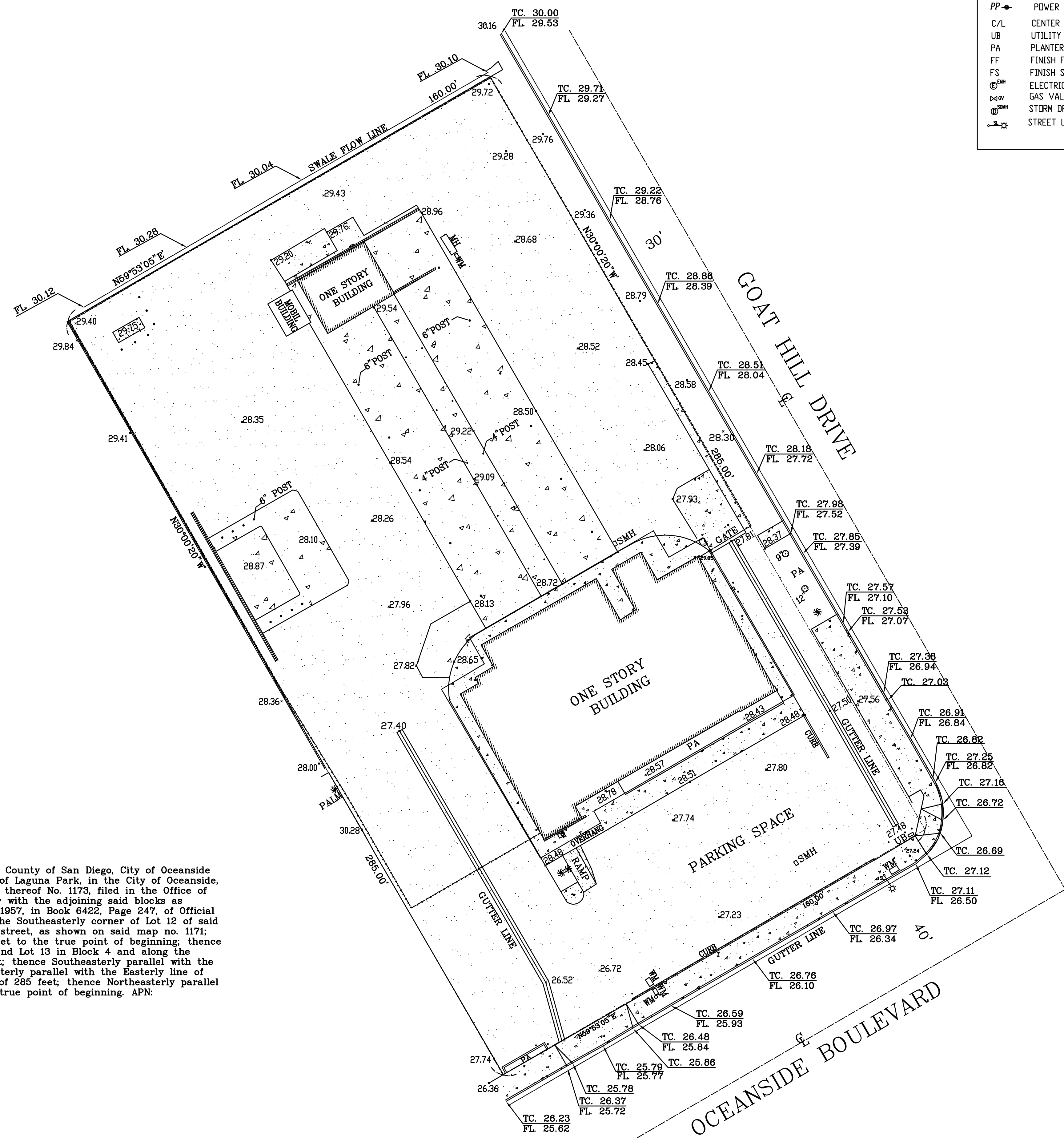
11/2/2016

VICINITY MAP	PROJECT SUMMARY	PROJECT SUMMARY	SHEETS INDEX
	<p>OWNER Oceanside 1888 LLC JOB ADDRESS 1888 OCEANSIDE BLVD OCEANSIDE, CA 92054 LEGAL DESCRIPTION TDC08864REC61 IN ST CLSD 4IN BLK 44IN BLK T TR 111 15-010-19-000 PROPOSED NEW GAS STATION, CONVENIENCE STORE MARKET FOR GAS STATION, NEW CANOPY FOR FUELING DISPENSERS, SELF SERVICE CARWASH LAND AREA 109 AC, 48,738 SQFT BUILD'G TO BE DEMOED 5210 + 505 = 5715 SQFT</p> <p>TOTAL BUILD'G SQFT 5715 SQFT TOTAL MARKET SQFT UNIT 101 3000 SQFT TOTAL RETAIL/FASTFOOD UNIT 102 SQFT 1300 SQFT TOTAL CARWASH AREA 1400 SQFT TOTAL CANOPY SQFT 4942 SQFT BUILDING COVERAGE 12.5% TOTAL PARKING SPACES REQUIRED FOR RETAIL 4300/200+22 22 SPACES TOTAL PARKING SPACES REQUIRED FOR CARWASH 1400/600+2 2 SPACES TOTAL PARKING SPACES REQUIRED FOR LAND 45738/2500+18 18 SPACES PARKING SPACES REQUIRED 42 SPACES PARKING SPACES PROVIDED 47 SPACES STANDARD 45 SPACES (8.5'X18') COMPACT N/A SPACES (1.5'X15') DISABLE 2 SPACE (11'X18') TOTAL BICYCLE PARKING SPACES PROVIDED 4 SHORT TERM SPACES</p>	<p>ZONE CS-HO TYPE OF CONST' V B OCCUPANCY GROUP OCCUPANCY GROUP MARKET M OCCUPANCY GROUP RETAIL M OCCUPANCY GROUP GAS STATION S1 OCCUPANCY GROUP CANOPY S3 OCCUPANCY LOAD MARKET 75 PERSON MARKET RETAIL AREA IS 2161 SQFT/30+12 PEOPLE OCCUPANCY WALK-IN COOLER AREA IS 350 SQFT/300+1 PERSON OCCUPANCY KITCHEN AREA IS 409 SQFT/100+2 PERSON OCCUPANCY LOAD MARKET 47 PERSON LANDSCAPING REQUIRED 45738X15%=6861 SQFT LANDSCAPING PROVIDED 6861 SQFT STORIES ONE HEIGHT 32'-3" FIRE DISTRICT NO 1 LOADING SPACES PROVIDED ONE FLAME SPREAD CLASSIF' III 76-200</p> <p>THIS PROJECT SHALL COMPLY WITH THE CODES OF 2013 CALIFORNIA BUILDING CODE, (IBC) MECHANICAL CODE, PLUMBING CODE & ELECTRICAL CODE (CEC) & CITY ORDINANCE + 2014 LA GREEN BUILDING CODE</p>	<p>A-1 INDEX SHEET SURVEY MAP A-2 PLOT PLAN A-3 FLOOR PLAN A-4 ROOF PLAN A-5 ELEVATIONS A-6 ELEVATIONS A-7 ELEVATIONS A-8 CANOPY ELEVATIONS</p>

THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS/DETAILS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE CONSULTANTS, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CONSULTANTS. VISUAL CONTACT WITH THESE DRAWINGS/DETAILS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSION. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, THIS OFFICE AND/OR ANY OF OUR CONSULTANTS MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS (IF ANY) MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

CONTRACTOR SHALL VERIFY THE THICKNESS OF ALL NEW AND/OR EXISTING WALLS.



LEGEND			
WM □	WATER METER	---	BOUNDARY LINE
EM □	ELECTRO METER	---	CENTERLINE
GM □	GAS METER	---	CONCRETE SWALE
MH □	MANHOLE	12"	TREE
PP →	POWER POLE	12"	PALM
C/L	CENTER LINE	+	CONC. BLOCK WALL
UB	UTILITY BOX	+	SPOT ELEVATION
PA	PLANTER AREA	---	CHAINLINK FENCE
FF	FINISH FLOOR	---	WOOD FENCE
FS	FINISH SURFACE	---	IRON FENCE
EMH	ELECTRIC MANHOLE	---	CONCRETE PATTERN
GMH	GAS VALVE	---	ASPHALT PATTERN
SDMH	STORM DRAIN MANHOLE		
SL	STREET LIGHT		

TOPOGRAPHIC SURVEY

PREPARED FOR:

- NOTES:
1. THE LEGAL DESCRIPTION, BOUNDARIES AND EASEMENT SHOWN HEREON ARE PER RECORD DATA
 2. MISC. DATA
TOTAL PROPERTY AREA: 45600 SQ.FT.

BENCH MARK:

BENCHMARK No. : D-8
 DATUM: NGVD 29
 FD BRASS DISC TOP OF C.N.P.C NW C RETURN
 SARATOGA ST & OCEANSIDE BLVD
 ELEV. = 27.28

No.	Revision/Issue	Date

Firm Name and Address

MOLAI LAND & DESIGN
 24308 BURBANK BLVD
 WOODLAND HILLS, CA 91367
 818-325-9225
 MOLAI22@YAHOO.COM

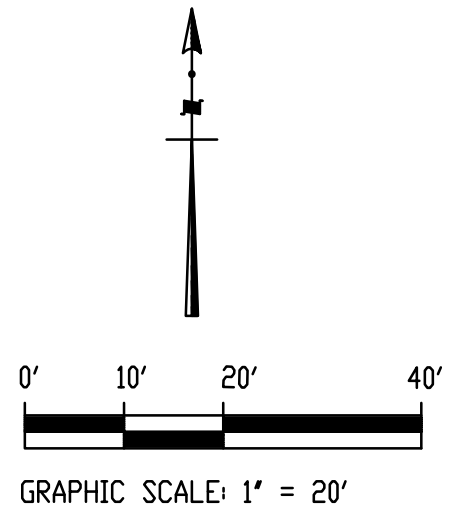
Project Name and Address

1888 OCEANSIDE BLVD
 OCEANSIDE, CA. 92054

Project	3057	Sheet
Date	10-22-2016	1 OF 1
Scale	1' = 20'	

LEGAL DESCRIPTION

The land referred to herein is situated in the State of California, County of San Diego, City of Oceanside and described as follows: Those portions of Block 4 and Block 7 of Laguna Park, in the City of Oceanside, in the County of San Diego, State of California, according to map thereof No. 1173, filed in the Office of the County Recorder of San Diego County, March 6, 1909, together with the adjoining said blocks as vacated and cloned by Resolution No. 2005, recorded January 17, 1957, in Book 6422, Page 247, of Official Records, more particularly described as follows: Commencing at the Southeastly corner of Lot 12 of said Block 4, which corner is on the Northwestly line of Eucalyptus street, as shown on said map no. 1173; thence Northwestly along the Northeastly line of Lot 12, 40 feet to the true point of beginning; thence continuing Northwestly along the Northeastly lines of Lot 12 and Lot 13 in Block 4 and along the Northeastly line of Lot 12 of Block 7, for a distance of 285 feet; thence Southeastly parallel with the Northwestly line of Eucalyptus Street, 160 foot; thence Southeastly parallel with the Easterly line of Lot 12 in Block 7 and Lots 12 and 19 in Block 4, for a distance of 285 feet; thence Northeastly parallel with the Northwestly line of Eucalyptus Street, 160 feet to the true point of beginning. APN: 151-010-19-00 (End of Legal Description)



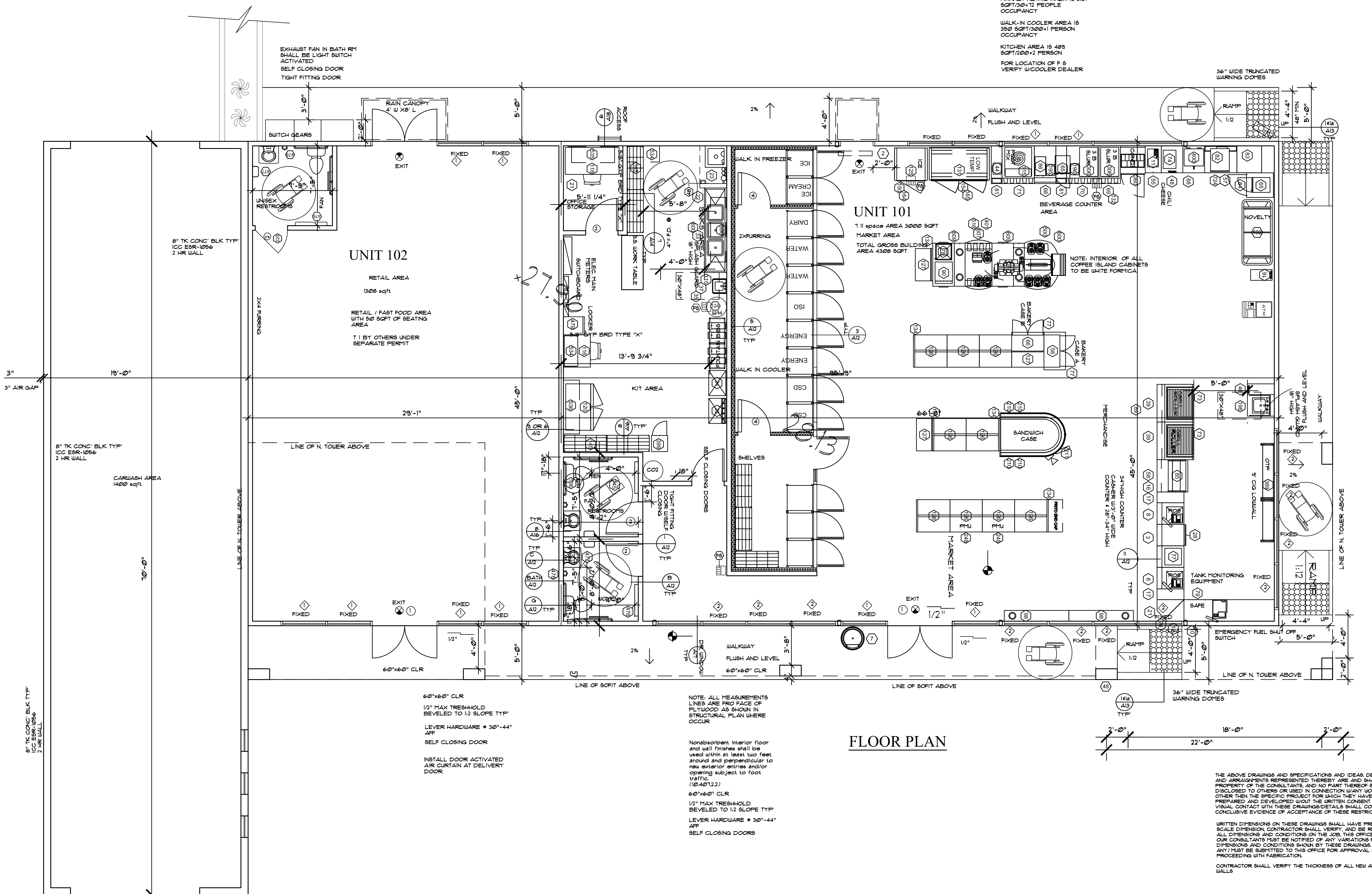
HILL PHOENIX WALK-IN
 4 FREEZER LA RRY/4553
 6" DOW FREEZER MATE
 0/6 mm VAPOR BARRIER

MARKET RETAIL AREA IS 2161
 SQFT/30+12 PEOPLE
 OCCUPANCY

WALK-IN COOLER AREA IS
 350 SQFT/30+1 PERSON
 OCCUPANCY

KITCHEN AREA IS 489
 SQFT/20+2 PERSON

FOR LOCATION OF F 5
 VERIFY W/COOLER DEALER



FLOOR PLAN

60"x60" CLR
 1/2" MAX TRESHHOLD
 BEVELED TO 1:2 SLOPE TYP
 LEVER HARDWARE • 30"-44"
 AFF
 SELF CLOSING DOOR
 INSTALL DOOR ACTIVATED
 AIR CURTAIN AT DELIVERY
 DOOR

NOTE: ALL MEASUREMENTS
 LINES ARE FRO FACE OF
 PLYWOOD AS SHOWN IN
 STRUCTURAL PLAN WHERE
 OCCUR

Nonabsorbent interior floor
 and wall finishes shall be
 used within at least two feet
 around and perpendicular to
 new exterior entries and/or
 opening subject to foot
 traffic.
 (10.407122)
 60"x60" CLR
 1/2" MAX TRESHHOLD
 BEVELED TO 1:2 SLOPE TYP
 LEVER HARDWARE • 30"-44"
 AFF
 SELF CLOSING DOORS

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 AND ARRANGMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE
 PROPERTY OF THE CONSULTANTS, AND NO PART THEREOF SHALL BE COPIED,
 DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT
 OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN
 PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CONSULTANTS.
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 SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR
 ALL DIMENSIONS AND CONDITIONS ON THE JOB, THIS OFFICE AND/OR ANY OF
 OUR CONSULTANTS MUST BE NOTIFIED OF ANY VARIATIONS FROM THE
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CONTRACTOR SHALL VERIFY THE THICKNESS OF ALL NEW AND/OR EXISTING
 WALLS

1/2/2011
 owner: JMK
 1/10/2011
 owner approved
 new site plan
 1/31/2011
 owner No own T I

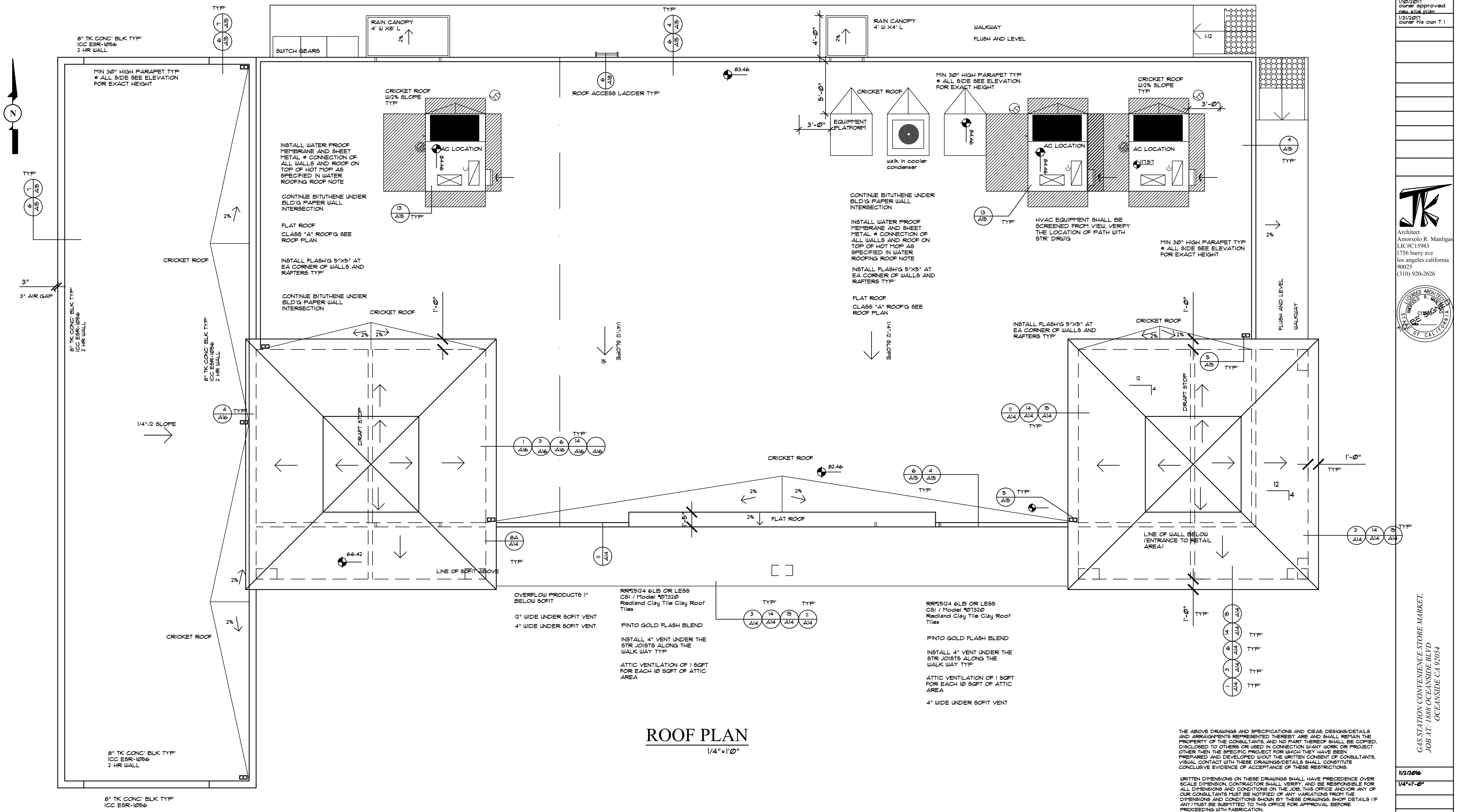
JK
 Architect
 Amorsolo R. Manligas
 LIC#C15983
 1756 barry ave
 los angeles california
 90025
 (310) 920-2626

REGISTERED ARCHITECT
 AMORSOLO R. MANLIGAS
 STATE OF CALIFORNIA

GAS STATION CONFERENCE STORE MARKET.
 JOB AT: 1888 OCEANSIDE BLVD
 OCEANSIDE CA 92054

1/7/2016
 1/4"x1'-0"

A 3



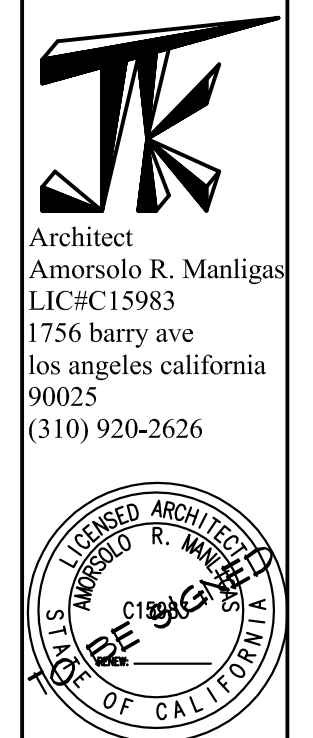
ROOF PLAN
1/4" = 1'-0"

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1/2/2011
Owner: CH2M
1/10/2011
Owner approved
1/11/2011
New site plan
1/31/2011
Owner file own T I



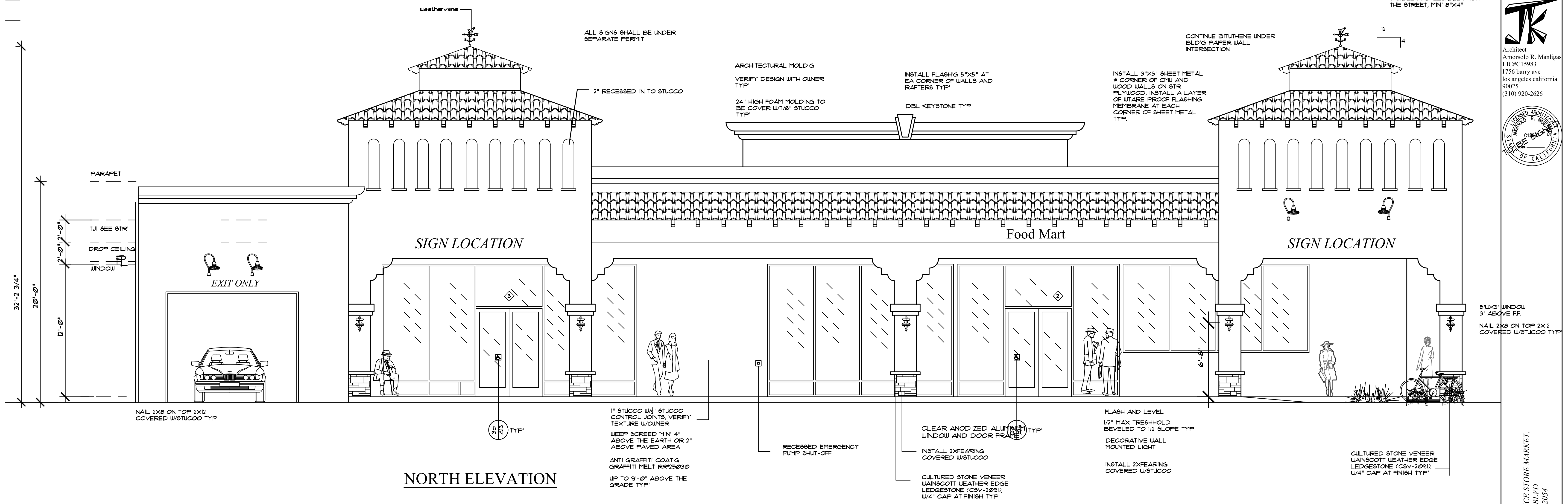
GAS STATION CONFERENCE STORE MARKET,
JOB AT: 1888 OCEANSIDE BLVD
OCEANSIDE CA 92054

1/2/2011
1/4" = 1'-0"

1/2/2011
 owner cma
 1/10/2011
 owner approved
 new site plan
 1/31/2011
 owner his own T I

RR#25124 6LB OR LESS
 CBI / Model #21320
 Redland Clay Tile Clay Roof
 Tiles
 PINTO GOLD FLASH BLEND
 ATTIC VENTILATION OF 1 SQFT
 FOR EACH 10 SQFT OF ATTIC
 AREA
 INSTALL 2X2 SHEET METAL
 AT ALL ROOF EDGES
 2" REASSESSED IN TO THE
 STUCCO
 APPROVED NUMBERS AND
 ADDRESS SHALL BE
 PROVIDED FOR THE
 BUILDING IN SUCH A
 POSITION AS TO BE PLAINLY
 VISIBLE AND LEGIBLE FROM
 THE STREET, MIN' 8"X4"

JK
 Architect
 Amorsolo R. Manligas
 LIC#C15983
 1756 barry ave
 los angeles california
 90025
 (310) 920-2626



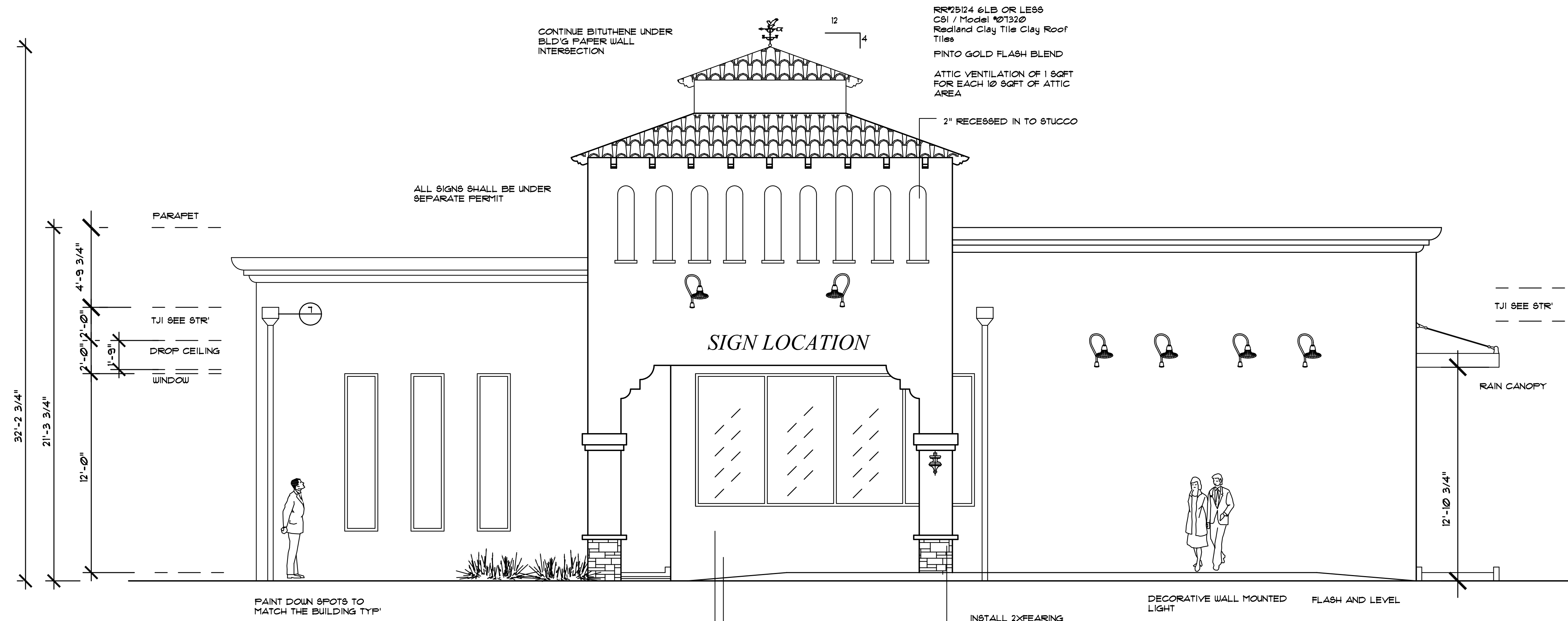
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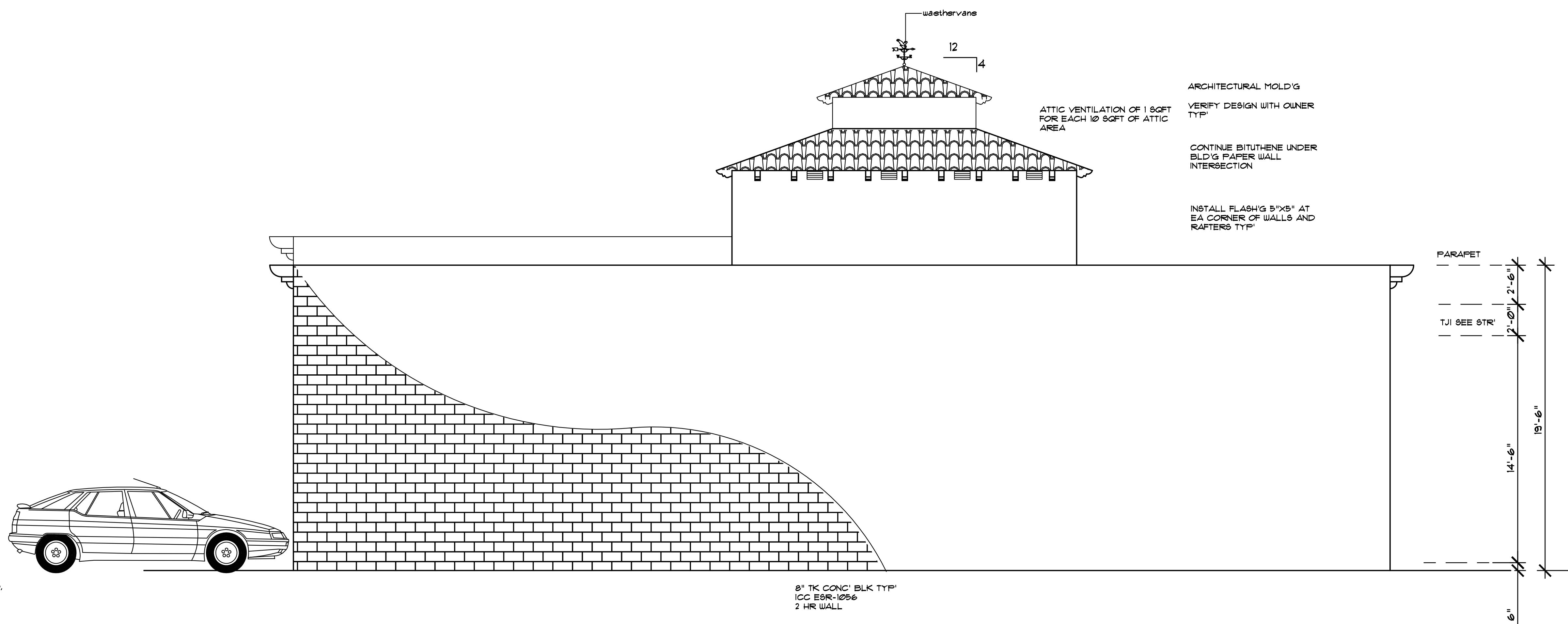
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GAS STATION CONVENIENCE STORE MARKET.
 JOB AT: 1888 OCEANSIDE BLVD
 OCEANSIDE CA 92054

1/2/2011
 1/4"=1'-0"



WEST ELEVATION



EAST ELEVATION

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1/2/2011
owner's sign
1/10/2011
owner approved
new sign plan
1/31/2011
owner his own T I

JK
Architect
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1/2/2016
1/4"=1'-0"

GENERAL NOTES

- ALL ITEMS ABOVE ROOF DECK SHOWN WITH SOLID LINES
ALL ITEMS BELOW ROOF DECK SHOWN WITH DASHED LINES
- ALL RACEWAYS ABOVE ROOF DECK TO BE EMT. EXCEPT WHERE NOTED. ALL JUNCTION BOXES, CONNECTORS, COUPLINGS, AND FITTINGS SHALL BE RAIN-TIGHT. RACEWAYS SHALL COMPLY WITH LATEST EDITION OF NATIONAL ELECTRICAL CODE. MINIMUM CONDUIT SIZE 3/4". MINIMUM SIZE OF JUNCTION BOX 4"x4"x2".
- PROVIDE & INSTALL #10 EQUIPMENT GROUNDING CONDUCTOR IN ALL RACEWAYS. BOND EQUIPMENT GROUNDING CONDUCTOR TO EACH LIGHTING FIXTURE AND SIGN FRAME.
- LIGHT FIXTURES ARE RECESSED MOUNTED, 320 WATT SUPER METAL HALIDE, LSI MODEL EC-S-320-LG-MT-WHT-TH, SUPPLIED BY OTHERS. UNLESS OTHERWISE NOTED.
- ALL WIRING SHALL BE #10 AWG. COPPER, THWN. SEE E03 AND ES1.
- REFER TO SIGN AND CANOPY REFERENCE DRAWINGS FOR INSTALLATION DETAILS.
- VSAT ANTENNA IS LOCATED ON REMOTE MARKETER INSTEAD OF CANOPY.
- PROVIDE ACCESS COVER PLATE FOR SEAL-OFFS TO MATCH CANOPY COLUMN CLADDING. IF SPECIAL ARCHITECTURE, TREATMENT COLOR TO BE PROVIDED BY G.C.

COLOR LEGEND

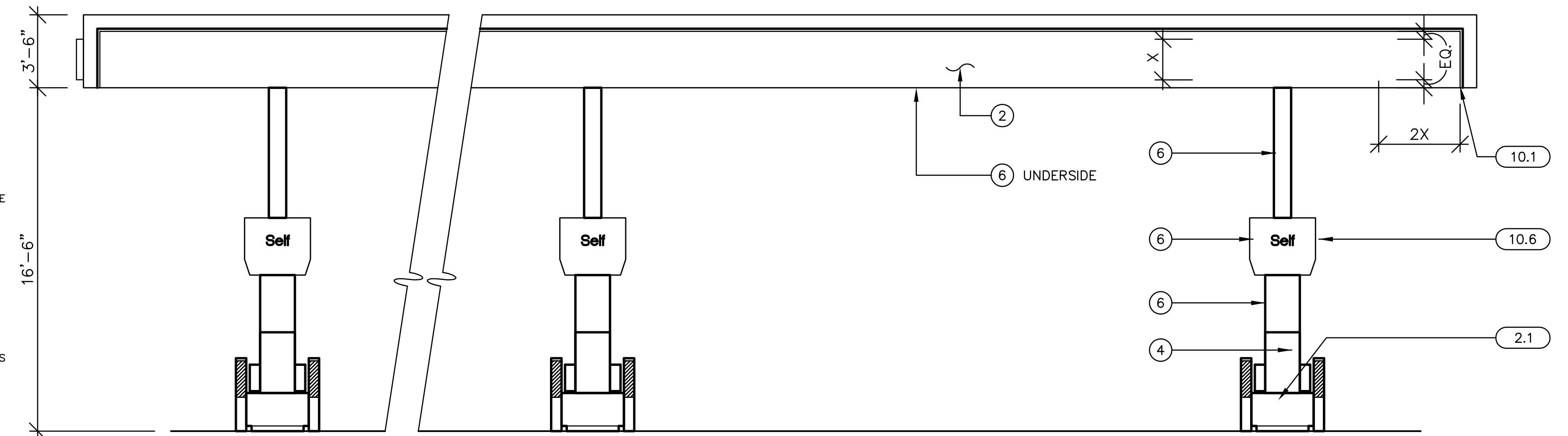
OFF-WHITE	(WH740)	①
BLUE	(BL370)	②
LIGHT GRAY	(GY450)	③
DARK GRAY	(GY210)	④
RED	(RE360)	⑤
WHITE	(WH835)	⑥

ALL PAINT TO BE V.O.C. COMPLIANT URETHANE

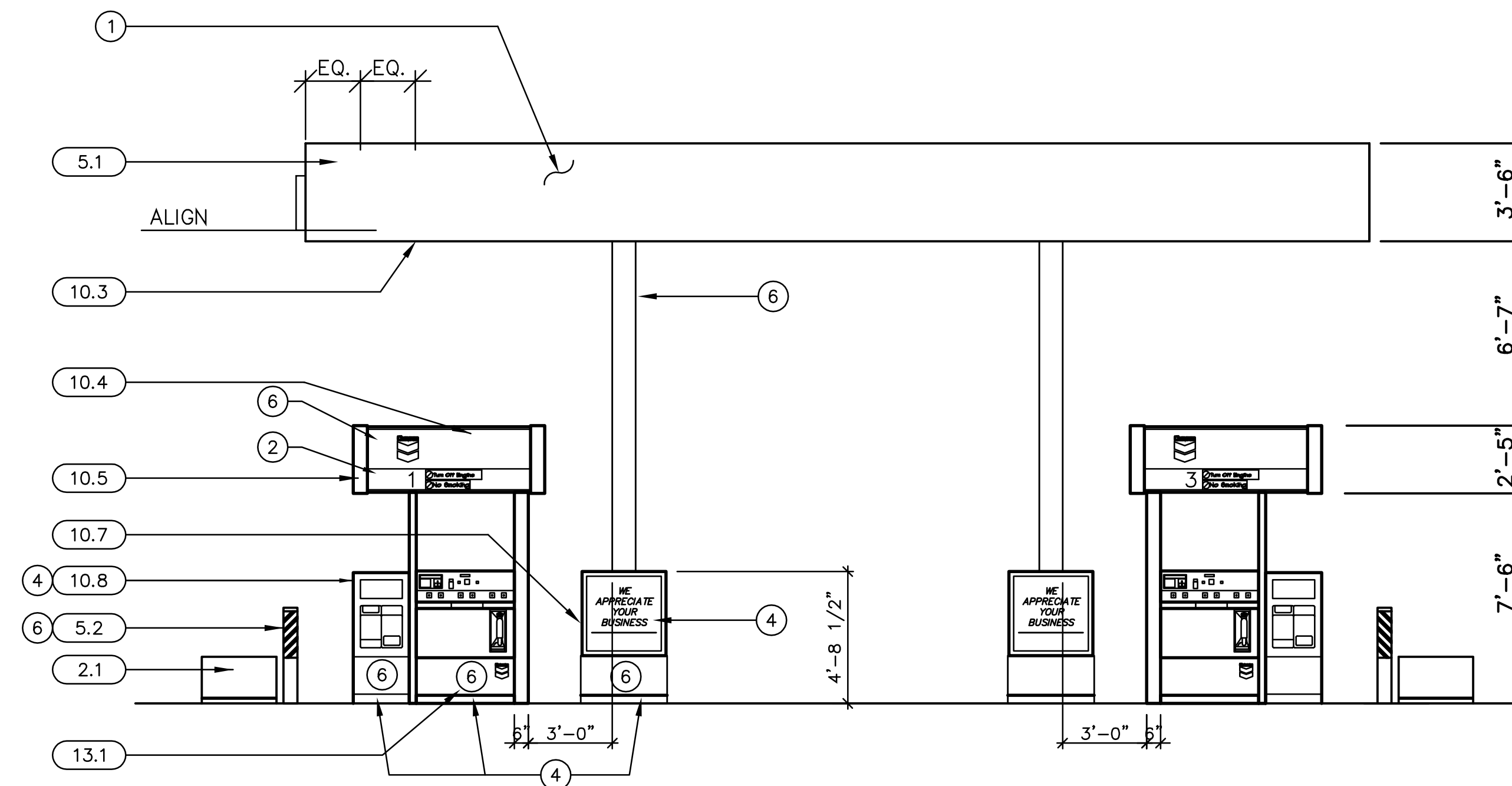
KEY NOTES

- DIVISION 5 - METALS**
- see plan x see plan CANOPY, CANOPY COLUMNS AND FOUNDATIONS. FOR MORE INFORMATION/DESIGN SEE STEEL FABRICATOR DRAWINGS
 - 6" SQ. STEEL GUARD POST
 - COLUMN CLADDING
- DIVISION 10 - SPECIALTIES**
- 9 1/2" HIGH LIGHT GRAY AND WHITE EYEBROW STRIPE (DCL #411)
 - INTERNALLY ILLUMINATED, 23 1/2" HIGH WHITE DIMENSIONAL "Chevron" LETTERS
 - C-25 PLACARD MOUNT HALLMARK SIGN, 27" HIGH (TYP. OF 2)
 - INTERNALLY ILLUMINATED SPANNER WITH CHEVRON LOGO
 - INTERNALLY ILLUMINATED END CAP
 - MODE OF SERVICE DIRECTIONAL SIGN WITH DARK GRAY LETTERS ("Self" LETTERS 6" HIGH)
 - P.O.S. FRAME
 - TRASH VALET WITH FRONT WINDSHIELD SERVICE
- DIVISION 13- SPECIAL CONSTRUCTION**
- MULTI-PRODUCT FUEL DISPENSER

- DOWNSPOUTS ARE DESIGNED TO BE TIGHTLINED TO THE SITES UNDERGROUND STORM DRAINAGE SYSTEM. IF UNDERGROUND STORM SYSTEM IS NOT REQUIRED, DOWNSPOUTS SHALL BE ROUTED TO DAYLIGHT BEYOND DRIVE SLAB AREA. GRADING SHALL BE DESIGNED TO COMPENSATE TO PERMIT DAYLIGHTING OF PIPE IN SAFE LOCATION AS PERMITTED BY THE LOCAL JURISDICTION.
 - DRIVE SLAB SHALL HAVE A MEDIUM BROOM FINISH PERPENDICULAR TO ISLAND LAYOUT W/EXPANSION AND CONTROL JOINTS AS SHOWN.
 - CANOPY CONTRACTOR SHALL PROVIDE DOWNSPOUTS AND CONDUITS FOR LIGHTING AND P.I.C UNITS IN COLUMNS WHERE SPECIFIED. COORDINATE WITH GENERAL CONTRACTOR FOR EXACT LOCATION OF CONDUITS, AND HAND HOLES PRIOR TO FABRICATION.
 - ISLAND HEIGHTS SHALL BE THE SAME IN EACH ROW.
 - ISLAND FORMS SHALL BE PAINTED BLACK
 - PAD CERTIFICATION SHALL BE REQUIRED AT TIME OF FOOTING INSPECTION.
- LIGHT FIXTURES ARE RECESSED MOUNTED, 320 WATT SUPER METAL HALIDE, LSI MODEL EC-S-320-LG-MT-WHT-TH, SUPPLIED BY OTHERS. UNLESS ALL WIRING SHALL BE #10 AWG. COPPER, THWN. SEE E03 AND ES1.



SOUTH (NORTH SIMILAR)



WEST (EAST SIMILAR)

CANOPY ELEVATIONS

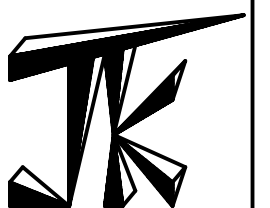


THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS/DETAILS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE CONSULTANTS, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CONSULTANTS. VISUAL CONTACT WITH THESE DRAWINGS/DETAILS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

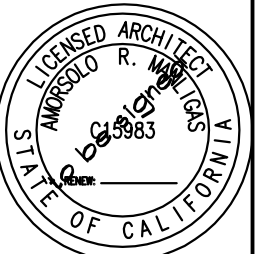
WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, THIS OFFICE AND/OR ANY OF OUR CONSULTANTS MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS/SHOP DETAILS (IF ANY) MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

CONTRACTOR SHALL VERIFY THE THICKNESS OF ALL NEW AND/OR EXISTING WALLS

1/2/2017
Owner: cma
1/10/2017
Owner approved
new site plan
1/31/2017
Owner: His own T I



Architect
Amorsolo R. Manligas
LIC#C15983
1756 Barry Ave
Los Angeles California
90025
(310) 920-2626



GAS STATION CONVENIENCE STORE MARKET,
JOB AT: 1888 OCEANSIDE BLVD
OCEANSIDE CA 92054

1/2/2016

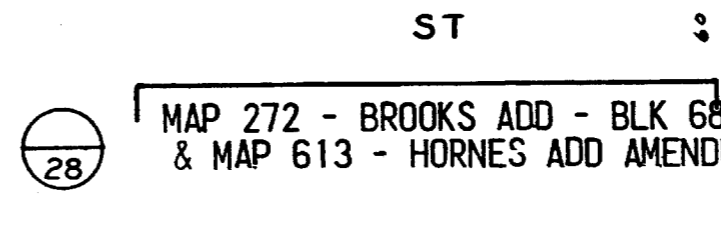
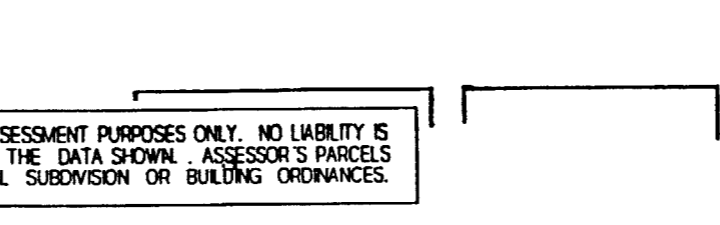
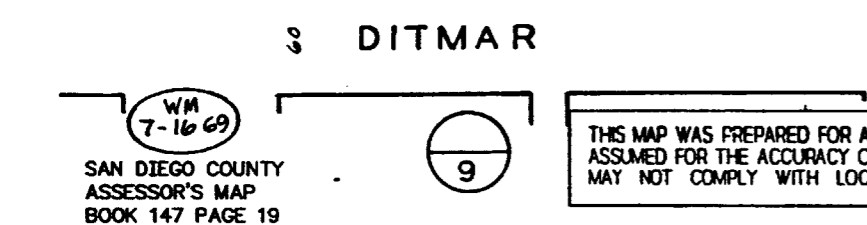
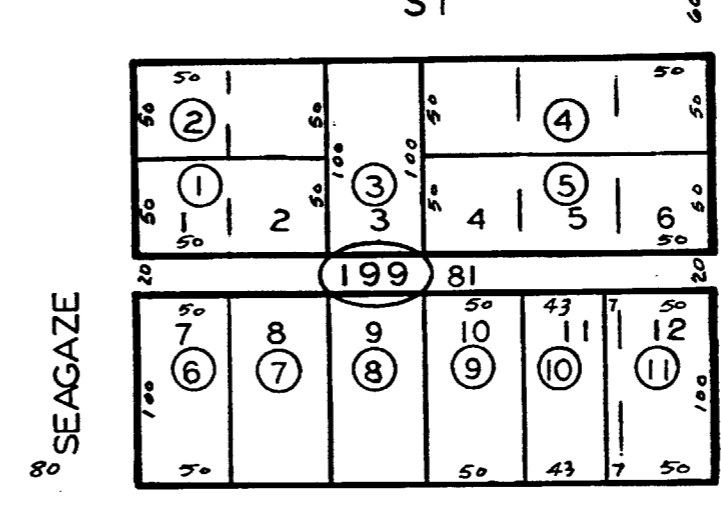
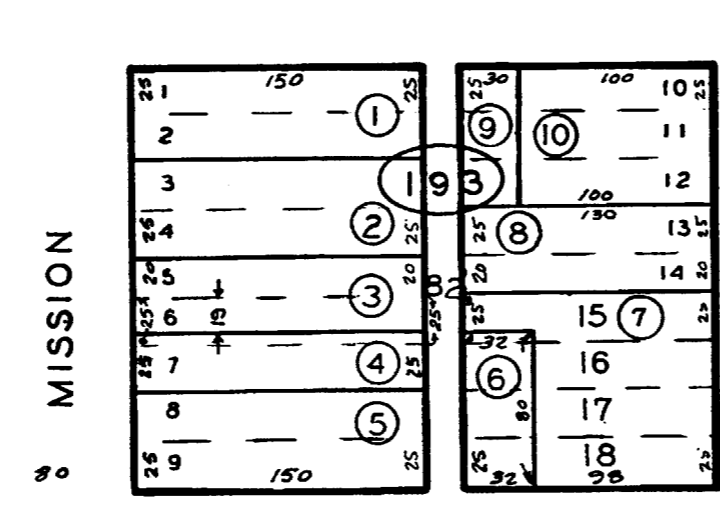
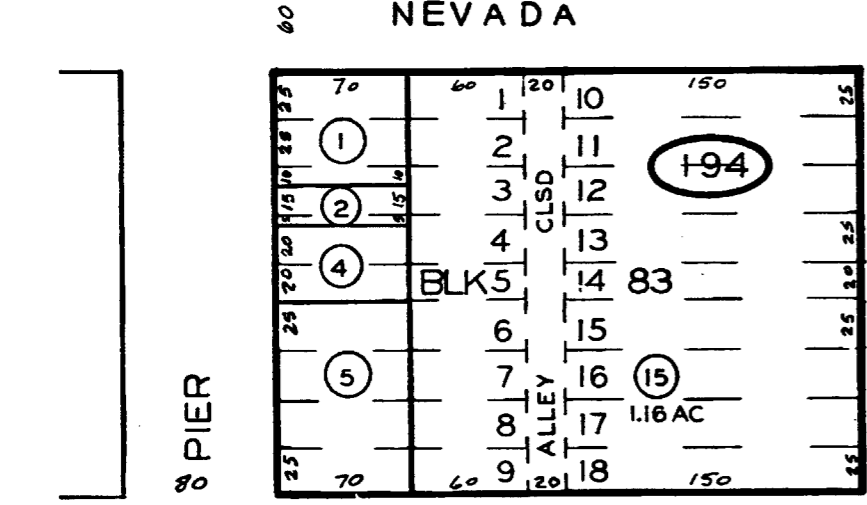
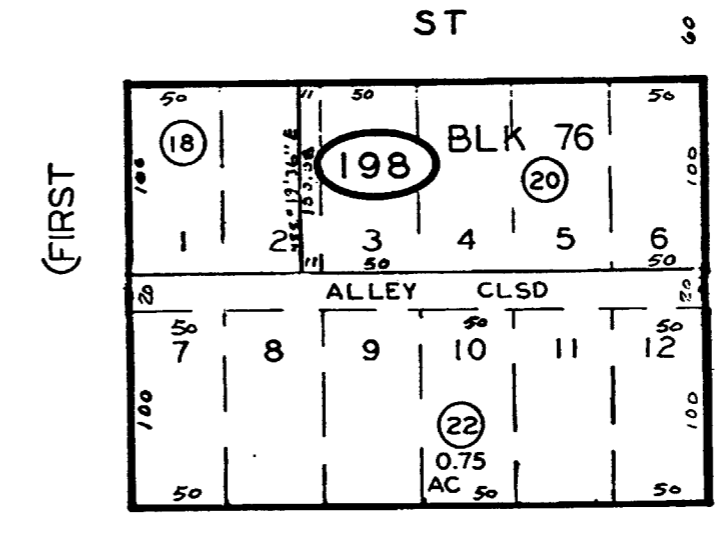
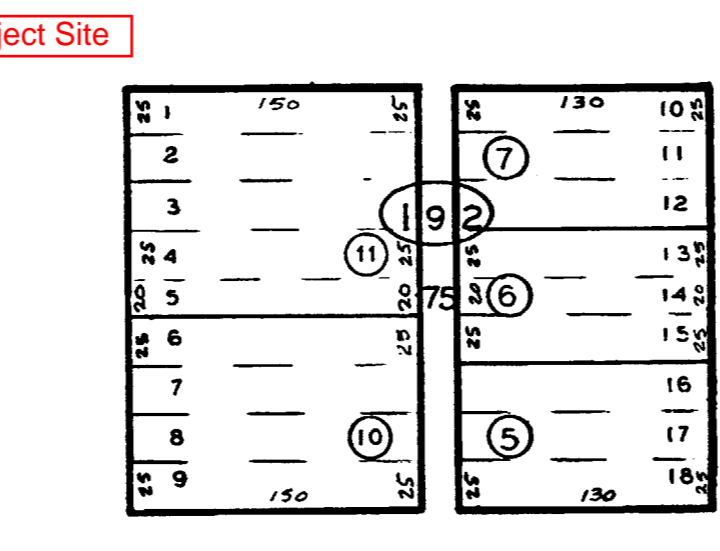
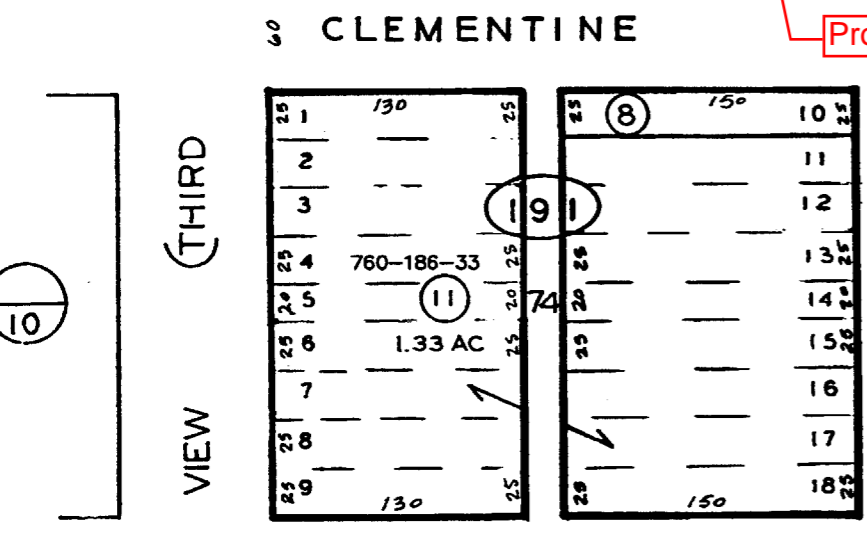
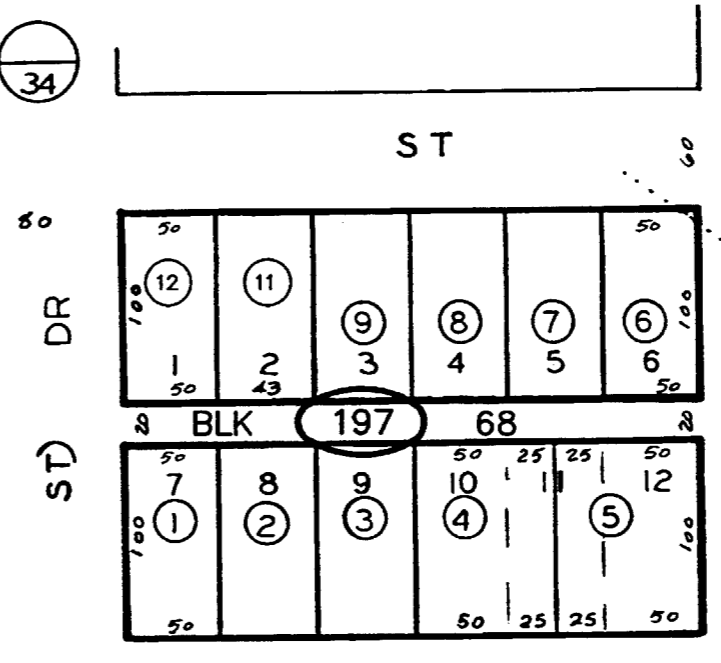
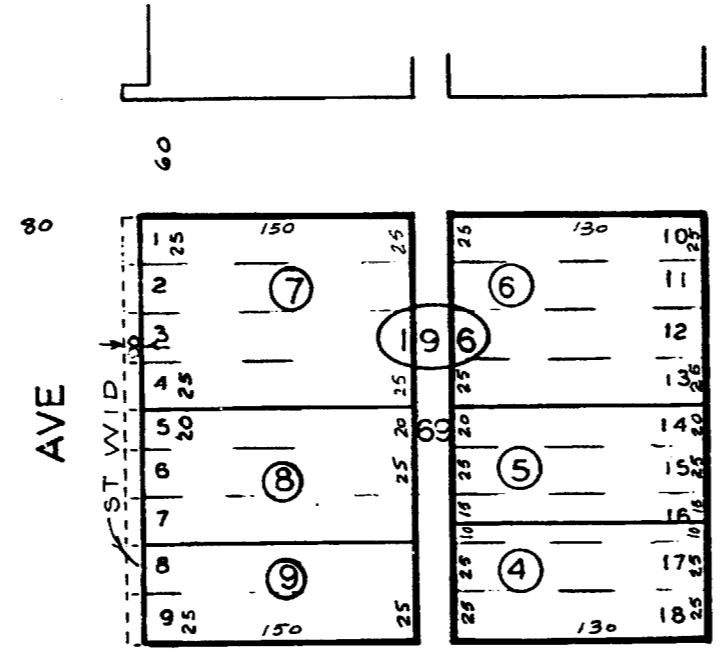
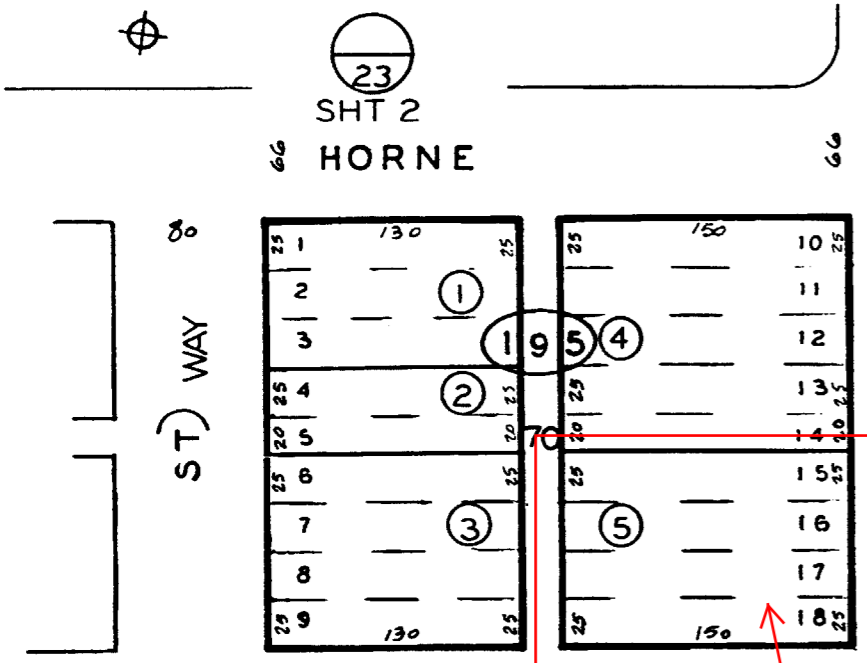
147-19,20,29

147-19

1"=100'

6/05/2002 RMM

BLK	OLD	NEW	YR	CUT
196	1,2,3	7,8,9	70	327
194	7&10	13	71	4458
198	10-11	12-13	71	4517
198	7-9	14	72	1840
191	1-4	10	72	2818
192	2&8	9-10	73	2877
192	1&9	11	74	1712
191	7,9,10	11	77	
194	9&11	14	77	3446
194	12,13,14	SAME	81	5623
194	12-14	15	82	1328
198	4&14	15	82	1329
193	7	RED TO BLACK	83	5921
198	15	16&17	94	1995
198	1,2,3,5,6,12,14,17,18,19	SAME	95	5507
198	12,16	18-21	95	1084
	2	22	95	2019
197	10	11&12	03	1109



MAP 272
MAP 323
MAP 915

150
6

150
5

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

WM 7-16 69
SAN DIEGO COUNTY ASSESSOR'S MAP BOOK 147 PAGE 19

MAP 272 - BROOKS ADD - BLK 68 & MAP 323 - HORNES ADD & MAP 613 - HORNES ADD AMENDED

ROS 14649

JUL 17 2002

POSSIBLE PROJECTS DESCRIPTION:

THE PROJECT THAT APPEARS TO BE THE HIGHEST AND BEST USE OF THE PROPERTY IS A MIXED USE DEVELOPMENT OF LIVE/WORK LOFTS AND A QUALITY RESTAURANT.

THE PHYSICAL DATA THAT FITS THE SITE ARE AS FOLLOWS:

- LIVE/WORK LOFTS = 50 SPACES AT A MINIMUM OF 150 SQUARE FEET (31,500 SQUARE FEET)
- THE PARKING REQUIREMENTS TO BE 1 STALL PER 1,000 SQUARE FEET OR 31 STALLS.
- RESTAURANT = 5,000 SQUARE FEET WITH A 50% SEATING AREA OR 2,500 SQUARE FEET.
- THE PARKING IS 1 STALL PER 50 SQUARE FEET OF SEATING AREA = 50 STALLS.

NOTE :

TOTAL FLOOR AREA IS 42,500 SQ. FT.

POSSIBLE OTHER USES:

THE DEVELOPMENT OF THE SITE WILL ALLOW A NUMBER OF USES THAT ARE LISTED BELOW WITH THE PARKING OR PLANNING REQUIREMENTS FOR THEIR USE:

- OFFICE: 1 STALL PER 300 SQUARE FEET = 88 STALLS X 300 = 26,400 SQUARE FEET OF OFFICE SPACE.
- RESIDENTIAL: 34 OF AN ACRE = 34 X 29 UNITS PER ACRE = 986 UNITS 10 UNITS FOR 2 BEDROOMS REQUIRE 15 STALLS PER UNIT OR 15.0 STALL.
- RETAIL SALES / MEDICAL OFFICE: 1 STALL PER 250 SQUARE FEET = 88 STALL X 250 = 22,000 SQUARE FEET OF USABLE SPACE.

SITE PLAN

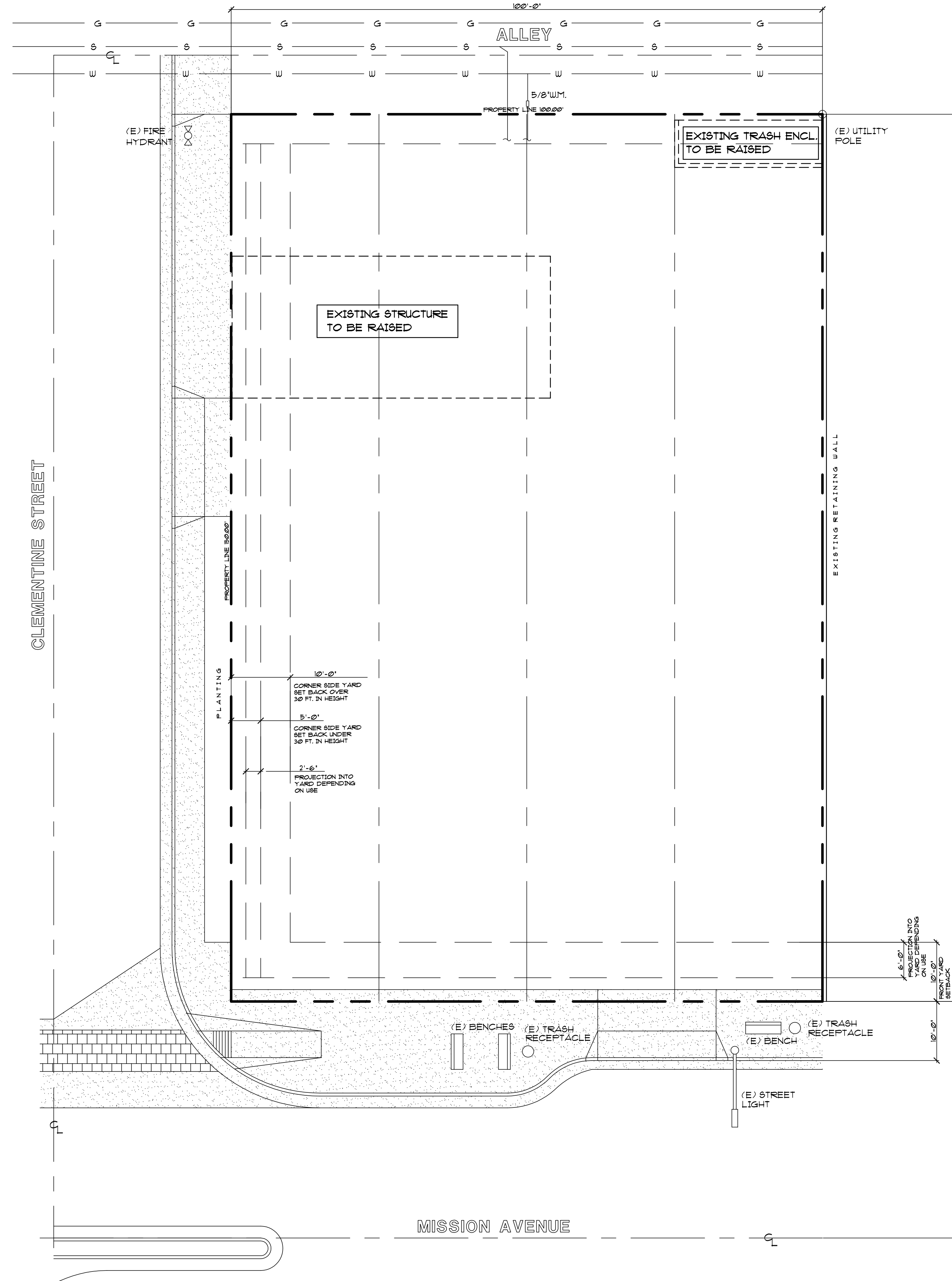
SCALE: 3/32"=1'-0"

LEGEND:

- GAS LINE ——— G ———
- SEWER LINE ——— S ———
- WATER LINE ——— W ———
- (E) FIRE HYDRANT ☒
- IMPERVIOUS SURFACE [Pattern]



REFERENCE NORTH



PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF REMOVING THE EXISTING STRUCTURES ON THE SITE. THE EXISTING STRUCTURES WILL REQUIRE A HISTORIC SURVEY AND DOCUMENTATION. THE PROPOSAL IS TO DEVELOP A MIXED USE RENTAL PROPERTY.

PROJECT DATA:

- SITE INFORMATION:**
 - AREA OF SITE: 0.34 ACRES (15,000 SQ. FT.)
 - BLD'G. HEIGHT ALLOWED: 65'-0" TO 90'-0"
- SETBACKS**
 - REQUIRED: VARIES SEE SITE PLAN
 - FRONT YARD: VARIES SEE SITE PLAN
 - REAR YARD: 5'-0"
 - SIDE YARD: 0'-0"
 - CORNER SIDE YARD: VARIES SEE SITE PLAN
- ZONING PLAN:**
 - GENERAL PLAN: D DISTRICT
 - ZONING: SUB-DISTRICT 2
- PARKING:**
 - REQUIRED: PER ARTICLE 31, VARIES WITH USE
- FLOOR AREA RATIO:**
 - RATIO = 3
 - LOT AREA X 3 = 45,000 SQ. FT.
 - TOTAL BUILDING AREA ALLOWED

BUILDING CODE DATA:

- MIXED USE
- OCCUPANCY CLASSIFICATION: A-2, B, R-2, M, S-2
- TYPE OF CONSTRUCTION: TYPE V-A (SPRINKLED)

APN: 147-195-05-00
LOCATION MAP:



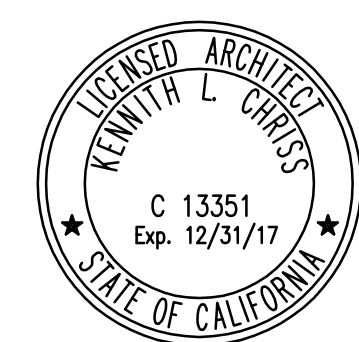
SITE
212 CLEMENTINE STREET
OCEANSIDE, CA 92054

OWNER:

212 N. CLEMENTINE LLC
ELIMELECH
25332 PRADO DE LAS ESTRELLAS
CALABASAS, CA. 91302

ARCHITECT:

4 DESIGN ARCHITECTURE & PLANNING
KENNETH L. CHRIS, ARCHITECT
13930 MISTY OAK DRIVE
VALLEY CENTER, 92028
PHONE: 760-433-1784



PRELIMINARY DESIGN

4 DESIGN

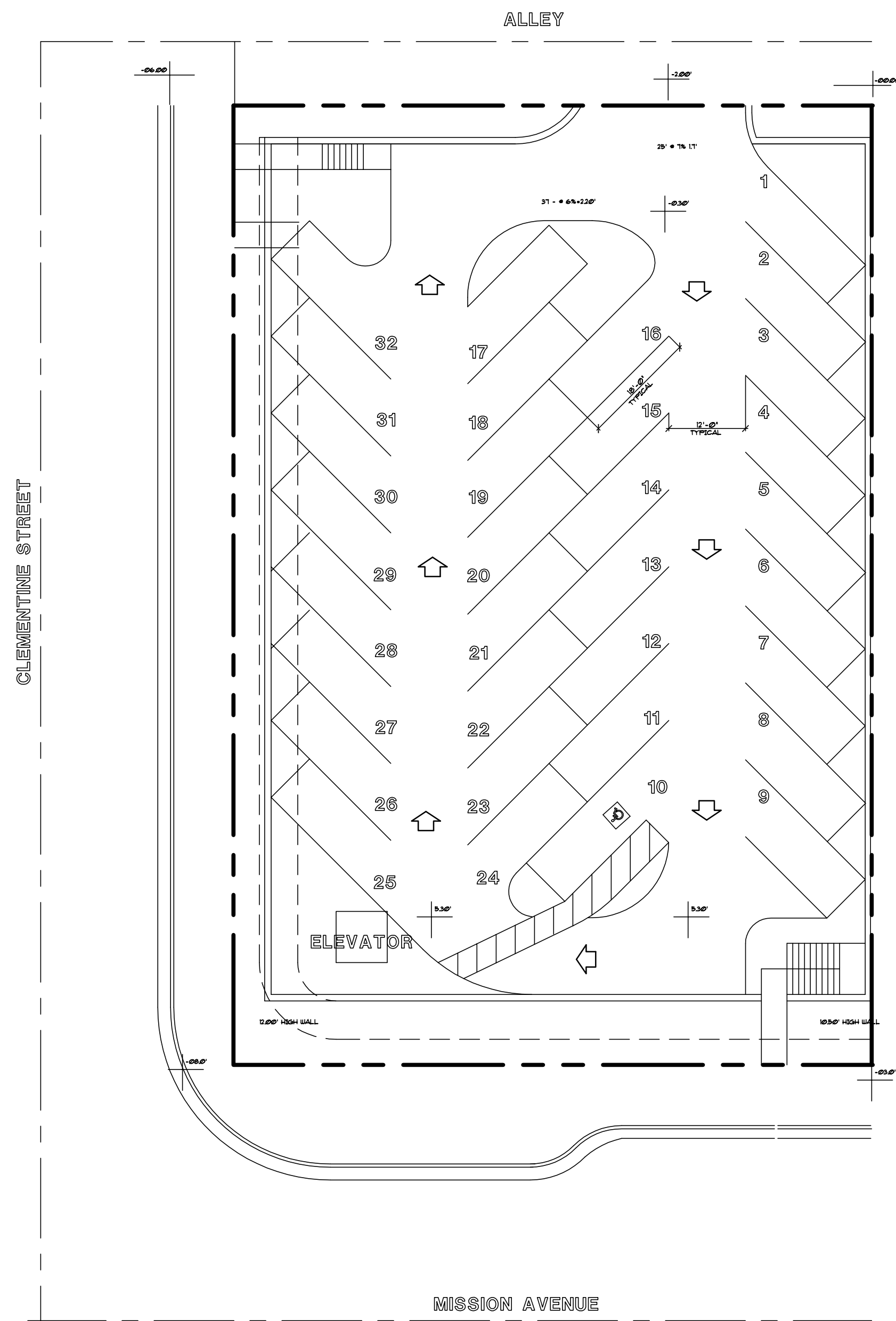


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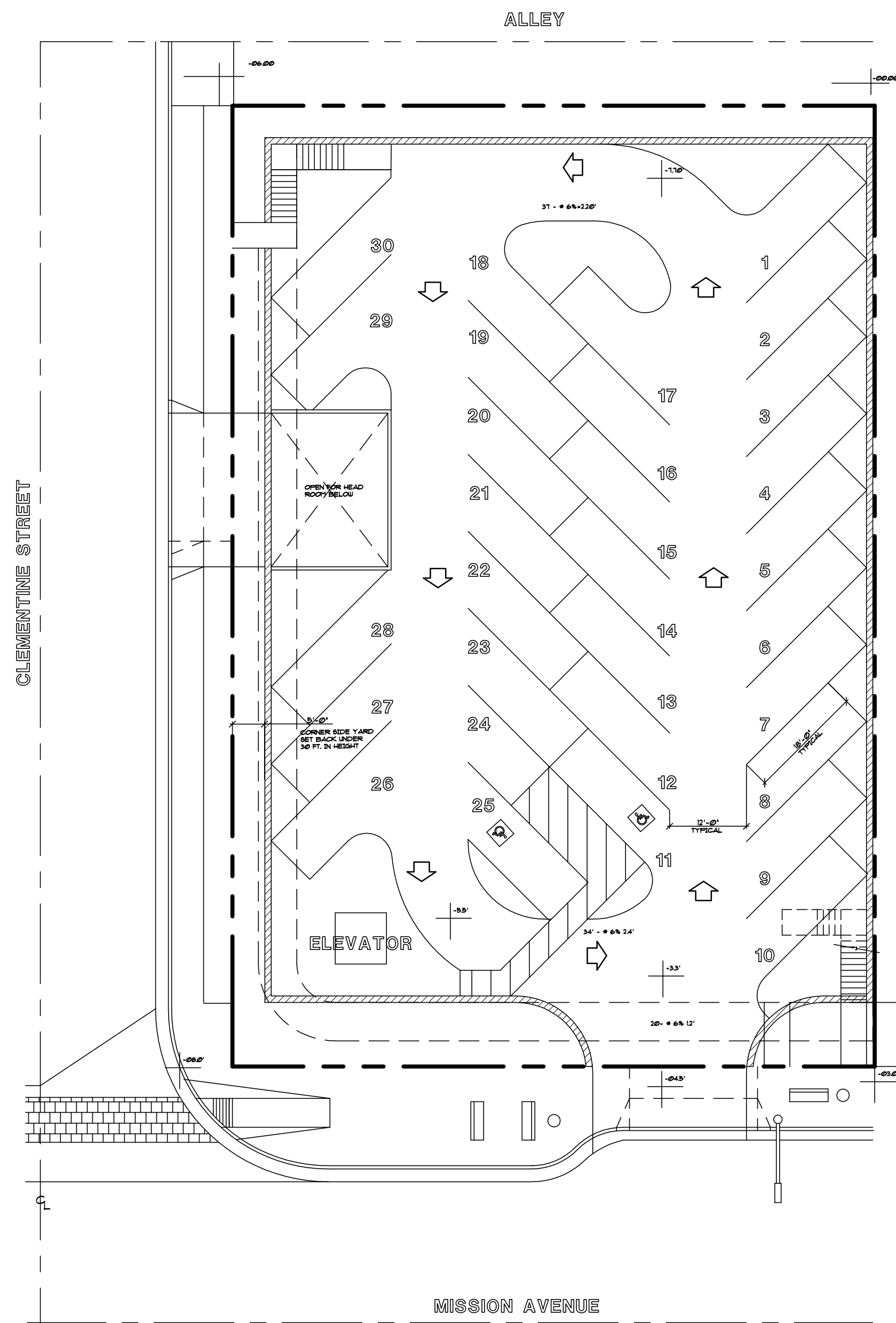
16-712A-01-SITE PLAN DWG.

A-01

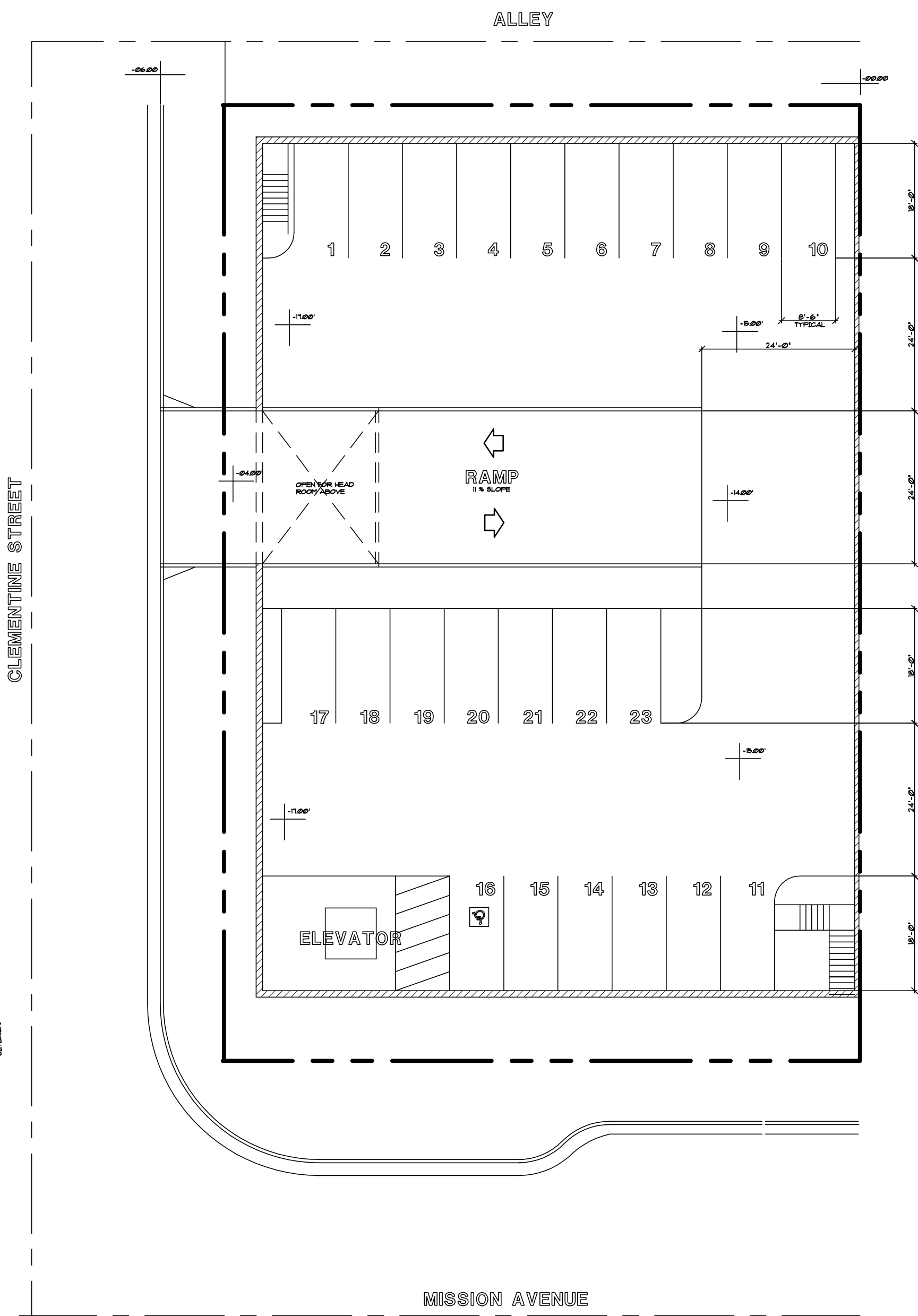
SITE PLAN



UPPER LEVEL (32 STALLS)



STREET LEVEL (33 STALLS)



LOWER LEVEL (23 STALLS)

PARKING PLAN

SCALE: 1/16" = 1'-0"



REFERENCE
NORTH

PARKING DATA:

LOWER LEVEL:	
(1 ACCESSIBLE STALL)	23 STALLS
STREET LEVEL:	
(2 ACCESSIBLE STALLS)	33 STALLS
UPPER LEVEL:	
(1 ACCESSIBLE STALL)	32 STALLS
TOTAL STALLS:	88 STALLS

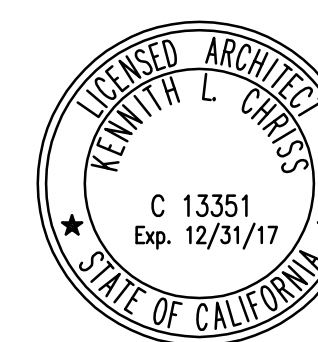
4 DESIGN



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16-712A-02-PARKING PLANS
DWG.

A-02

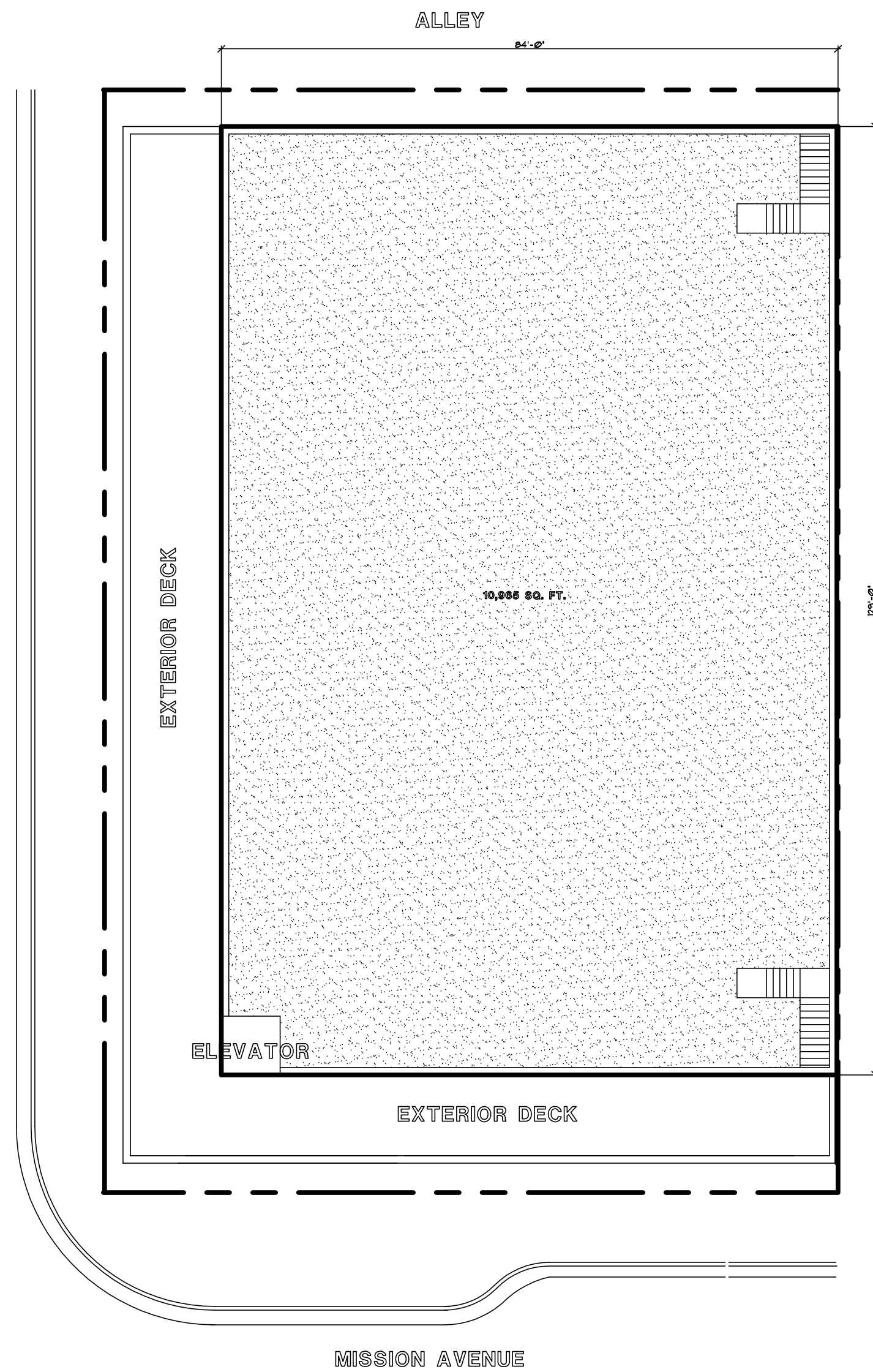


**PRELIMINARY
DESIGN**

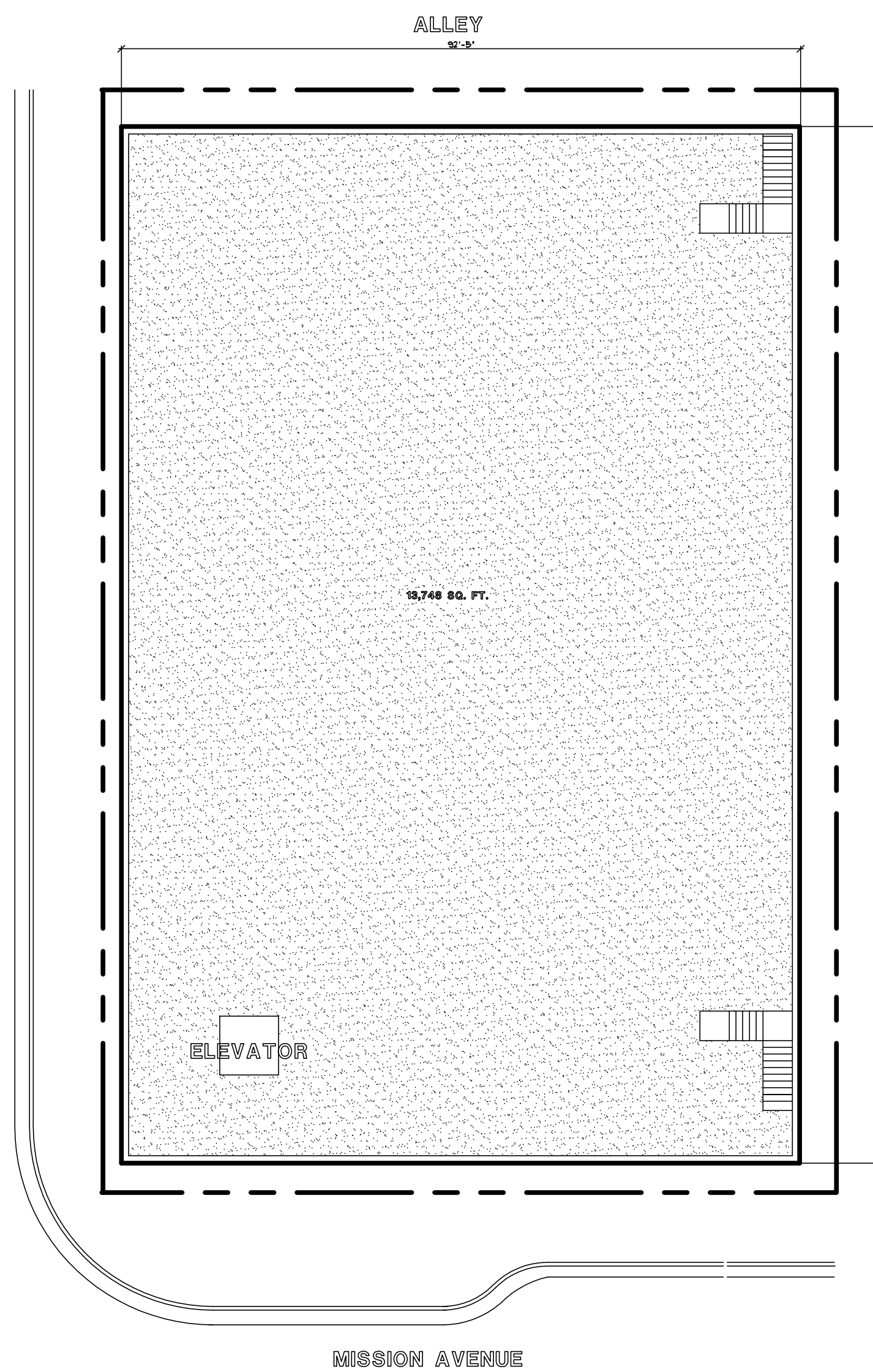
PARKING PLANS

**212 N. CLEMENTINE STREET
OCEANSIDE, CALIFORNIA**

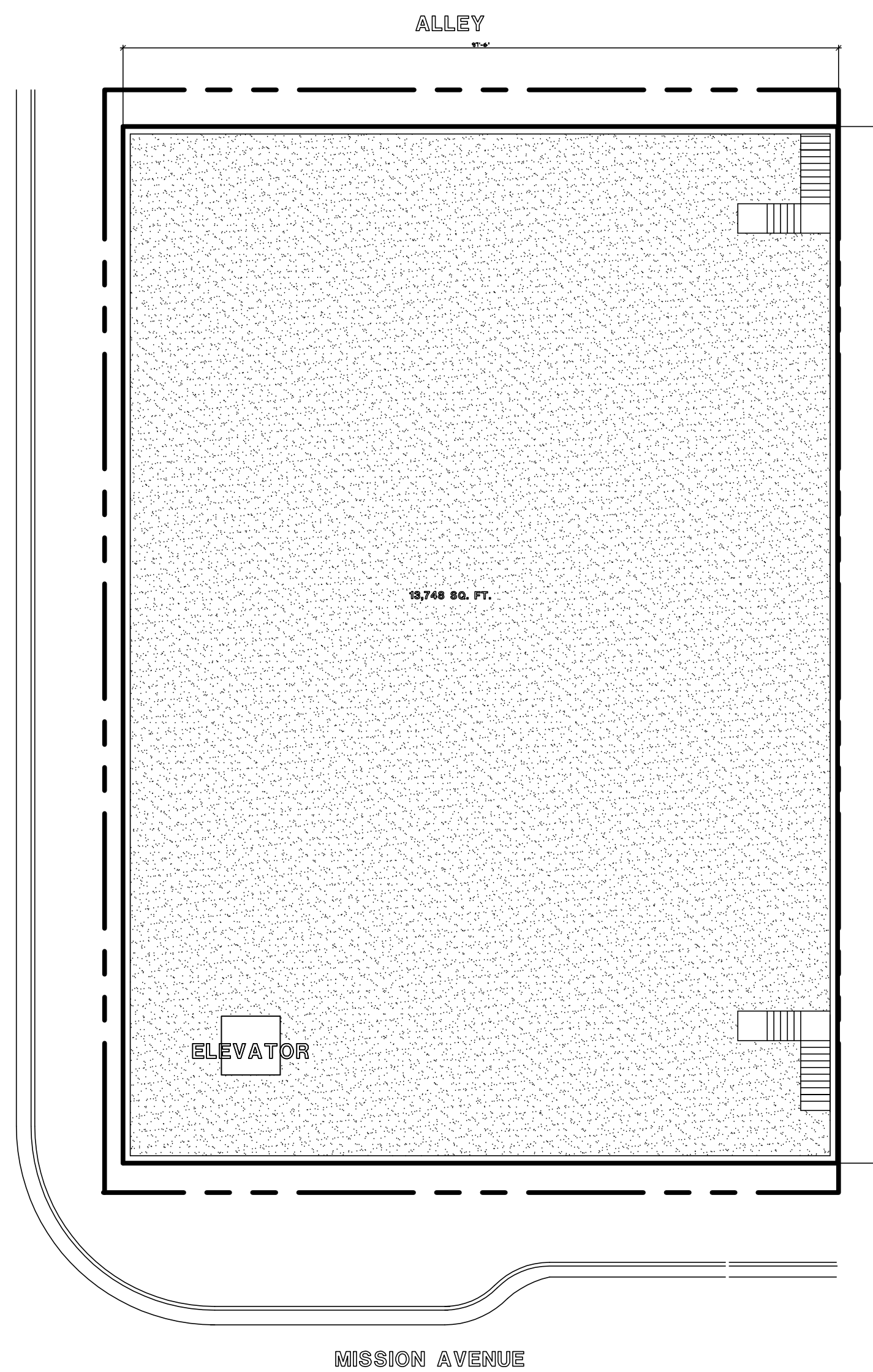
THIS DRAWING AND THE INFORMATION PROVIDED ARCHITECTURAL DESIGN CONCEPTS AND ITS ILLUSTRATIONS ARE THE PROPERTY OF ARCHITECTURE PLANNING. THIS DRAWING AND INFORMATION IS AN INSTRUMENT OF SERVICE PROVIDED FOR USE ON THE SPECIFIED PROJECT IDENTIFIED. USE OF THE INFORMATION AND THIS DRAWING WITHOUT WRITTEN CONSENT AND PARTICIPATION OF ARCHITECTURE PLANNING IS PROHIBITED.



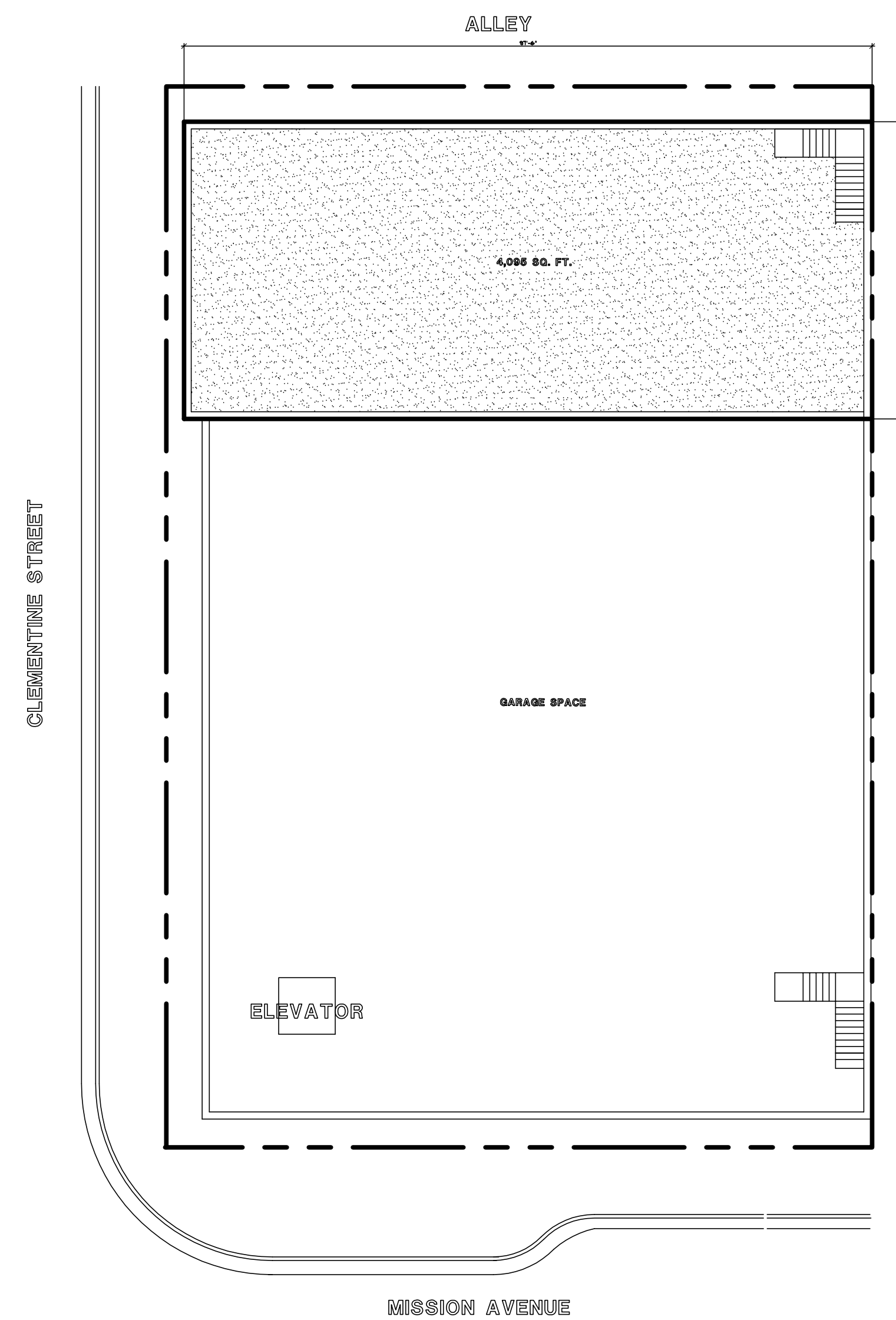
FOURTH FLOOR AND DECK



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

BUILDING PLANS

SCALE: 1/16" = 1'-0"

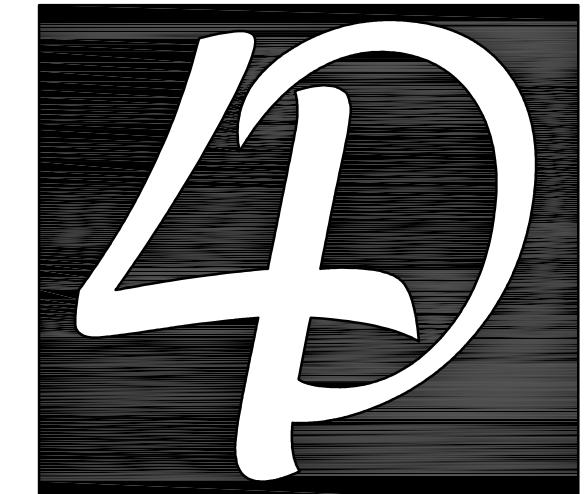


PARKING DATA:

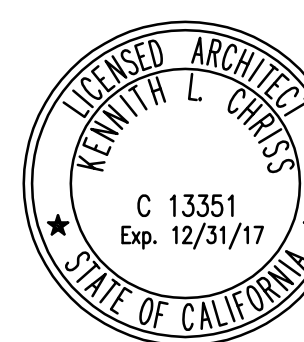
FIRST FLOOR:	4,098 SQUARE FEET
SECOND FLOOR:	13,748 SQUARE FEET
THIRD FLOOR:	13,748 SQUARE FEET
FOURTH FLOOR:	10,964 SQUARE FEET
TOTAL:	42,556 SQUARE FEET

**212 N. CLEMENTINE STREET
OCEANSIDE, CALIFORNIA**

4 DESIGN



architecture • planning
Kenneth L. Chriss A.I.A.



**PRELIMINARY
DESIGN**

PARKING PLANS

A-03

