

¹AGENDA
OCEANSIDE DEVELOPER'S CONFERENCE

Wednesday, May 3rd, 2017, 9:30 a.m.
City Hall South, 1st Floor, Guajome Room

1. 9:30 - 10:30 a.m. Proposed 3,194 SF (including 441 SF attached garage) single-family residence on a currently vacant panhandle lot at 1814 Soto St.

Zoning: RS (Single-Family Residential)
Land Use: Single-Family Detached Residential
Neighborhood Area: Fire Mountain
Assessor Parcel Number: 154-100-62
Contact Person: Tim Davies
Tel.: (858) 812-7921
Email: tim.davies@ryancompanies.com

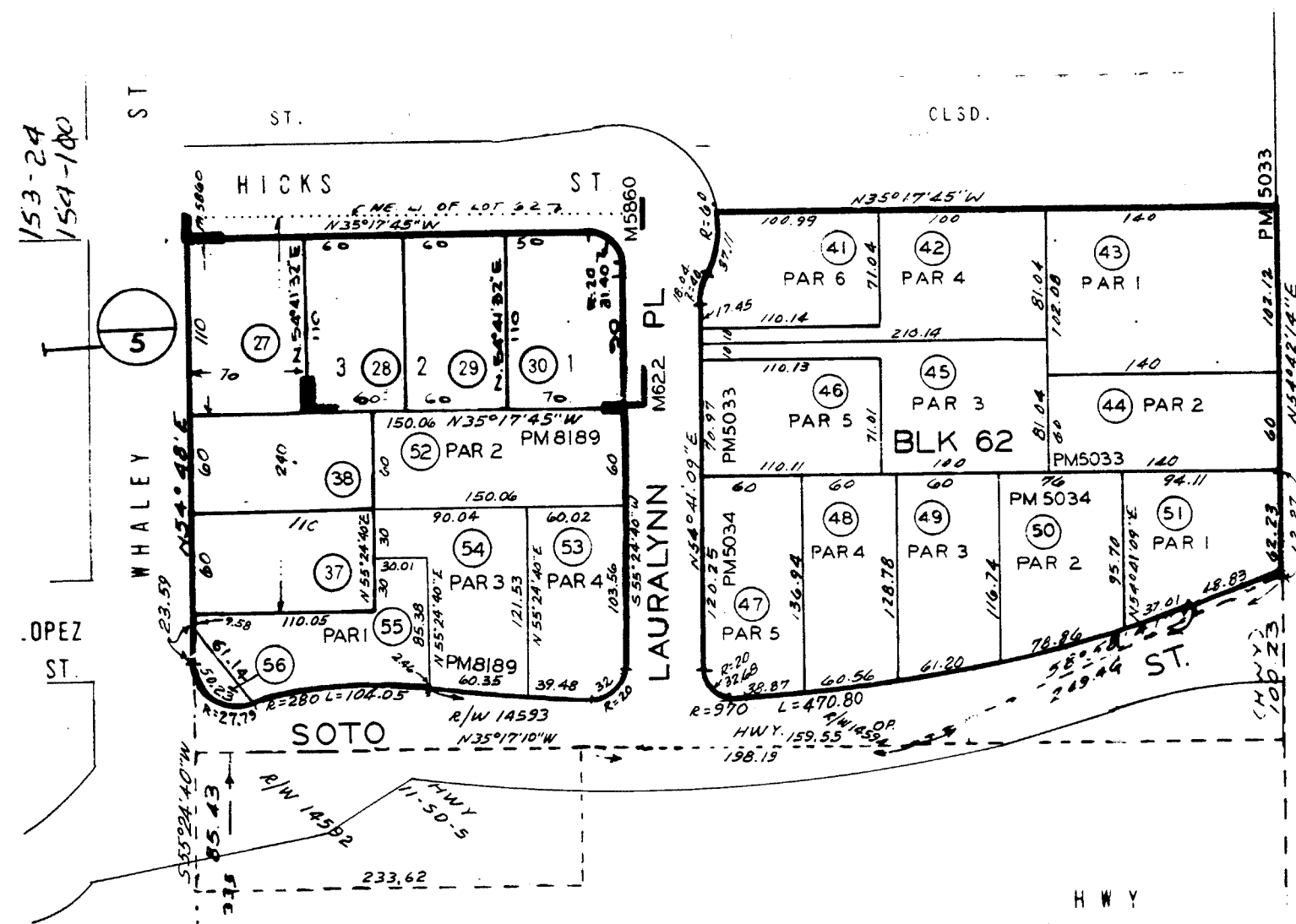
2. 10:30 - 11:30 a.m. Proposed 2,499 SF single-family residence and detached 1,200 SF accessory dwelling unit on a currently vacant lot at 1909 S. Nevada St.

Zoning: RS (Single-Family Residential)
Land Use: Single-Family Detached Residential
Neighborhood Area: South Oceanside
Assessor Parcel Number: 153-361-19
Contact Person: Hisham and Liz Alam
Tel.: (714) 791-7547
Email: svhish@gmail.com

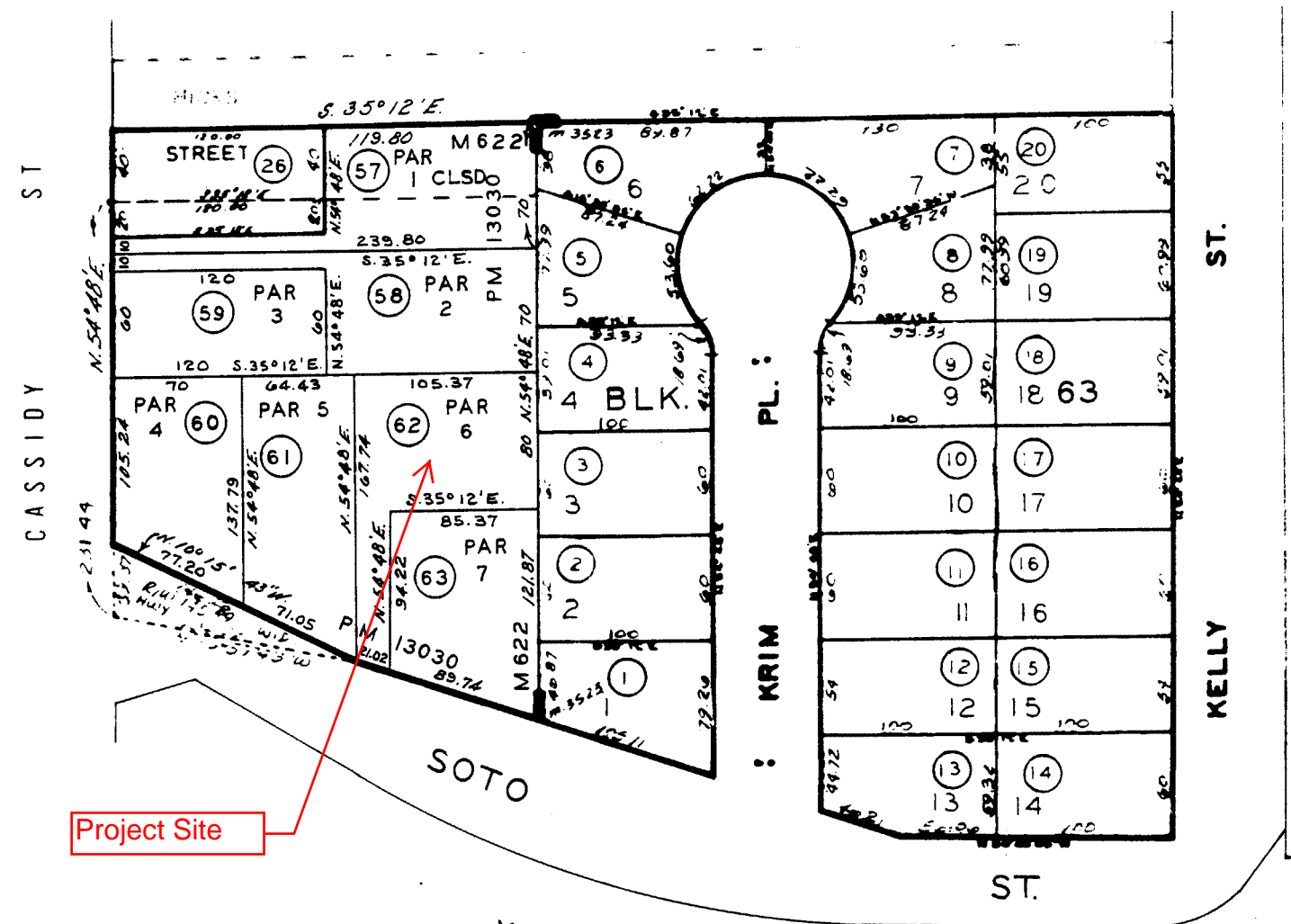
Attachments:

1. Parcel Map
2. Project Description Letter
3. Conceptual Site Plans
4. Vicinity/Regional Maps

¹ *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*



7



17

Project Site

XI-SD-2-OCN

CHANGES	BLK	OLD	NEW	CUT
	33-35	40	75	1218
	31-32	41-46	77	1601
	40	47-51	77	1682
	39	52-55	79	2899
	Pick-up	56	80	1123
	100	25	57-63	892774

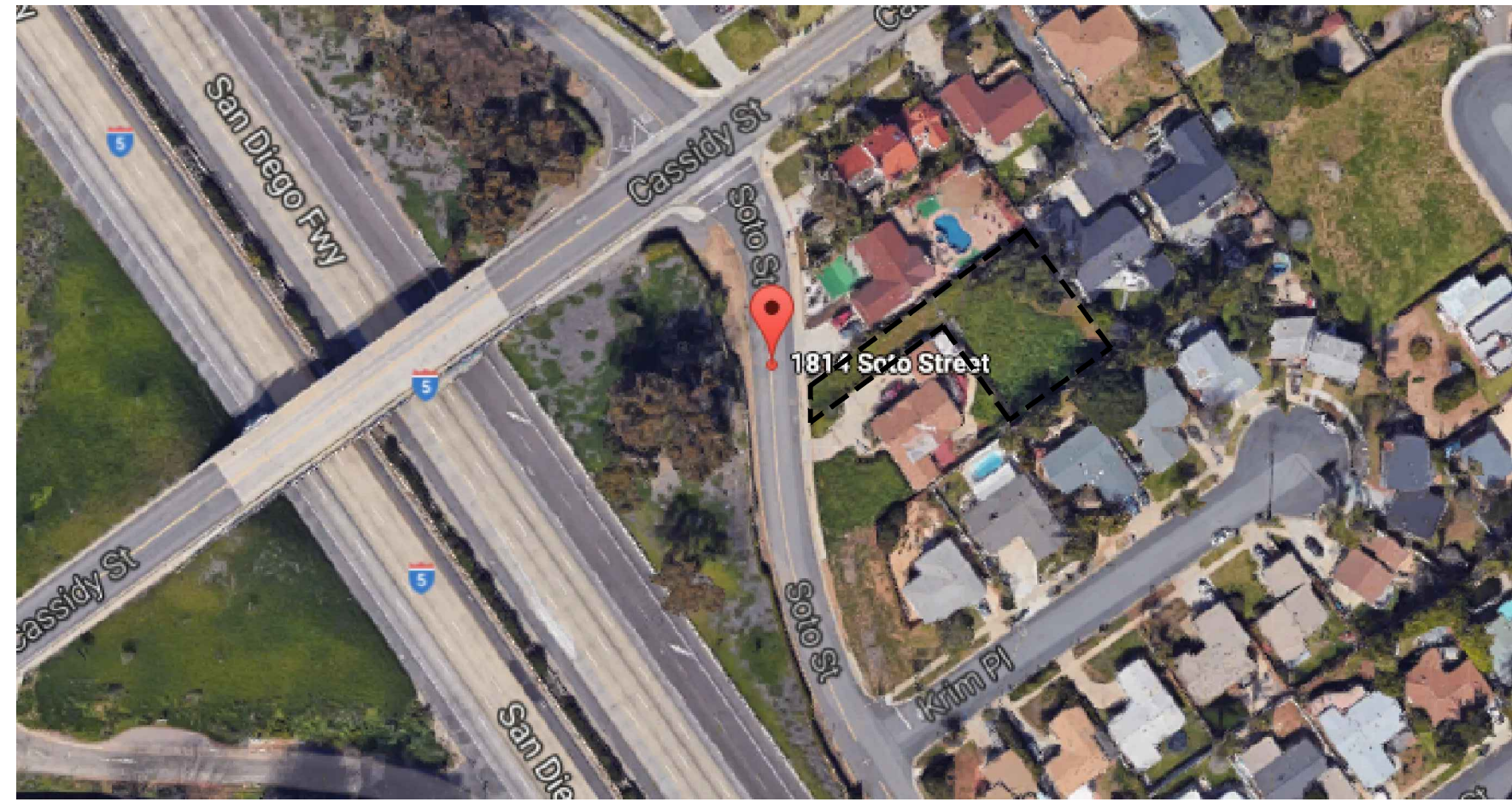
GRIFFEN ST.

153
24

- MAP 5860 - LAURALYNN TERRACE - LOTS 1-3 & A
- MAP 3523 - KRIM TERRACE - LOTS 1-20
- MAP 622 - SOUTH OCEANSIDE REFILED 1890
POR BLKS 62 & 63

VICINITY MAP

SCALE: NTS



KEYNOTES

- 1 EXISTING HIGH WOOD FENCE
- 2 EXISTING PEPPER TREE
- 3 CONCRETE DRIVEWAY
- 4 EXISTING CONCRETE CURB
- 5 PLANTED YARD OR OTHER PERVIOUS AREA
- 6 LINE OF REQUIRED SETBACK
- 7 PROPERTY BOUNDARY
- 8 PROPOSED 2- STORY SINGLE FAMILY HOME WITH SLAB ON GRADE FOUNDATION 1ST FF = 6" AFG
- 9 5:12 ROOF - MAXIMUM ROOF HEIGHT 24' AFF
- 10 CROSS-HATCH INDICATES LOW ROOF

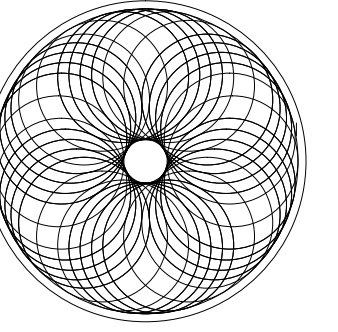
PROJECT DATA

PROJECT DATA
 PROPOSED 2 STORY SINGLE FAMILY PRIMARY DWELLING UNIT
 PROPOSED FOOTPRINT: 2,254
 PROPOSED BUILDING AREA: 3,194SF INCLUDING 441SF ATTACHED GARAGE
 APN 154-100-62-00
 ZONING: RS
 SETBACKS: FRONT YARD - 20'-0"
 SIDE - 7'-0"
 REAR YARD - 15'-0"
 BUILDING HEIGHT: 36'-0"
 24'-0" ROOF HEIGHT WITH 5:12 ROOF PITCH PROPOSED
LOT AREA
 GROSS: 10,249 SF (.23 ACRES)
 NET USABLE: 4,574 SF (.10 ACRES)
 NET USABLE REFLECTS GROSS AREA LESS REQUIRED SETBACKS
LOT COVERAGE
 ALLOWED: 50% PROPOSED: 21%
PARKING REQUIRED AND PROVIDED
 PRIMARY LIVING UNIT: 2-COVERED PARKING STALLS PROVIDED BY NEW
 2-CAR GARAGE 400 SF MIN 18'-0" WIDE MIN.

GENERAL NOTES

1. FINISH GRADE WITHIN 10 FEET OF THE NEW STRUCTURE/ADDITION SHALL BE SLOPED A MINIMUM 2% AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
2. ADDITIONS, REMODELS OR RENOVATIONS OF A SINGLE FAMILY HOME WITH AN EXISTING POOL REQUIRE THE SUCTION OUTLET OF THE EXISTING POOL, SPA, OR TODDLER POOL TO BE UPGRADED SO AS TO BE EQUIPPED WITH AN APPROVED ANTI-ENTRAPMENT COVER MEETING THE CURRENT STANDARDS OF THE ASTM OR ASME PER SECTION 115920 HSC.
3. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
4. "NORTH COUNTY STORM WATER PROGRAM" WILL BE FOLLOWED
5. THE PROJECT SITE BOUNDARIES ARE REFERENCED FROM THE PROPERTY SURVEY PERFORMED BY PLUMB-LINE SURVEYING, INC. A COPY OF THE SURVEY HAS BEEN PROVIDED IN THIS PACKAGE FOR REFERENCE.
6. ALL UNDERGROUND PIPING TO BE PLASTIC TYPE (ABS, PVC) SCHEDULE 40; SUITABLE FOR UNDERGROUND INSTALLATION

andrewcarlosarchitect.com



andrew carlos architect



PROJECT: DAVIES RESIDENCE
 ADDRESS: 1814 SOTO STREET, OCEANSIDE CA 92054
 DESCRIPTION: TWO STORY SINGLE FAMILY HOME

REVISIONS

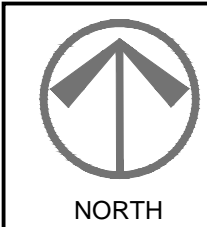
PLAN CHECK:	J_/2017
PLAN CHECK RESPONSE:	J_/2017

ISSUE DATE: 3/31/2017

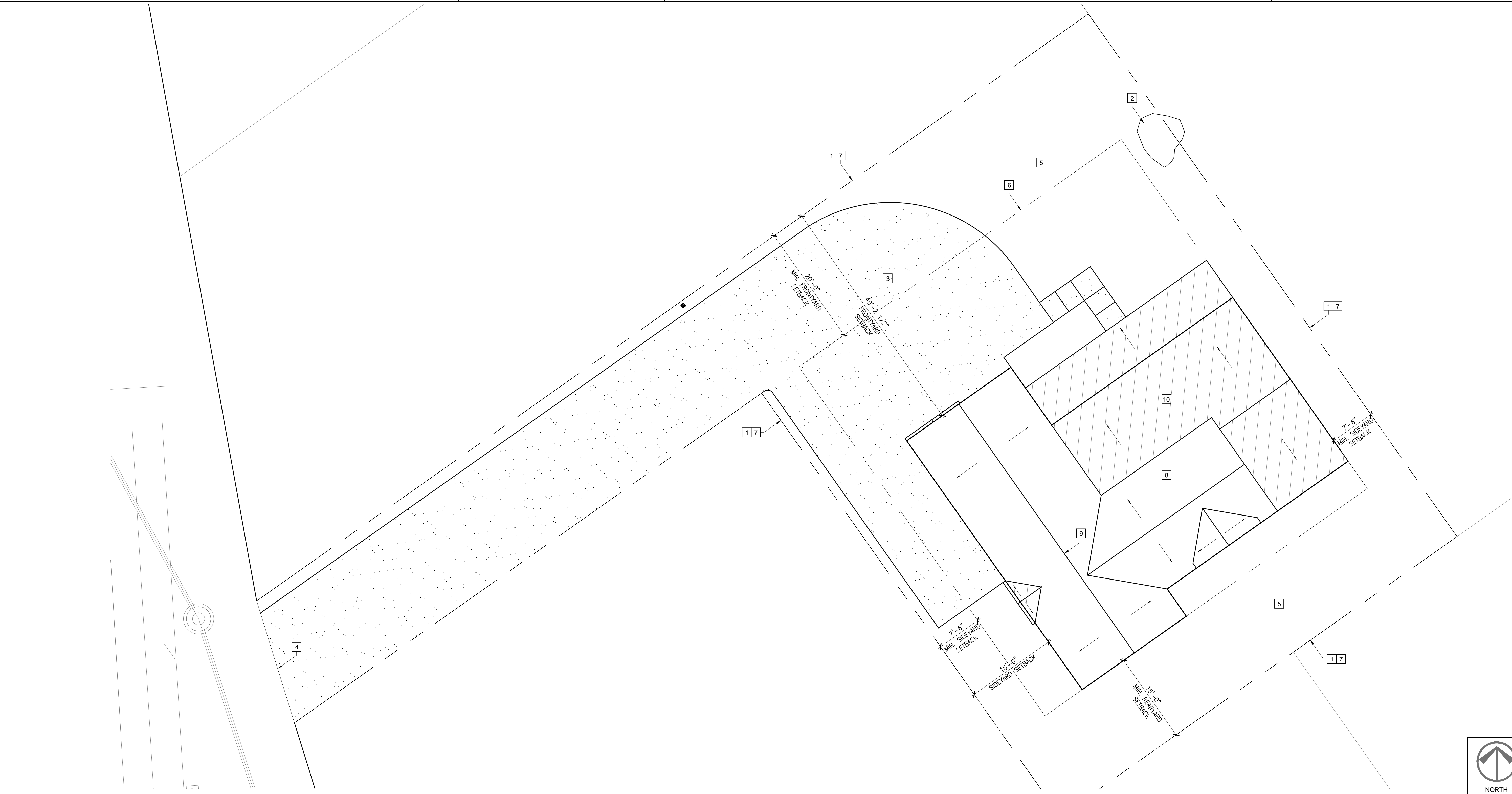
SITE PLAN

SHEET NUMBER

A-1



SCALE: 1/8" = 1'-0"





PROJECT: DAVIES RESIDENCE
 ADDRESS: 1814 SOTO STREET, OCEANSIDE CA 92054
 DESCRIPTION: TWO STORY SINGLE FAMILY HOME

REVISIONS

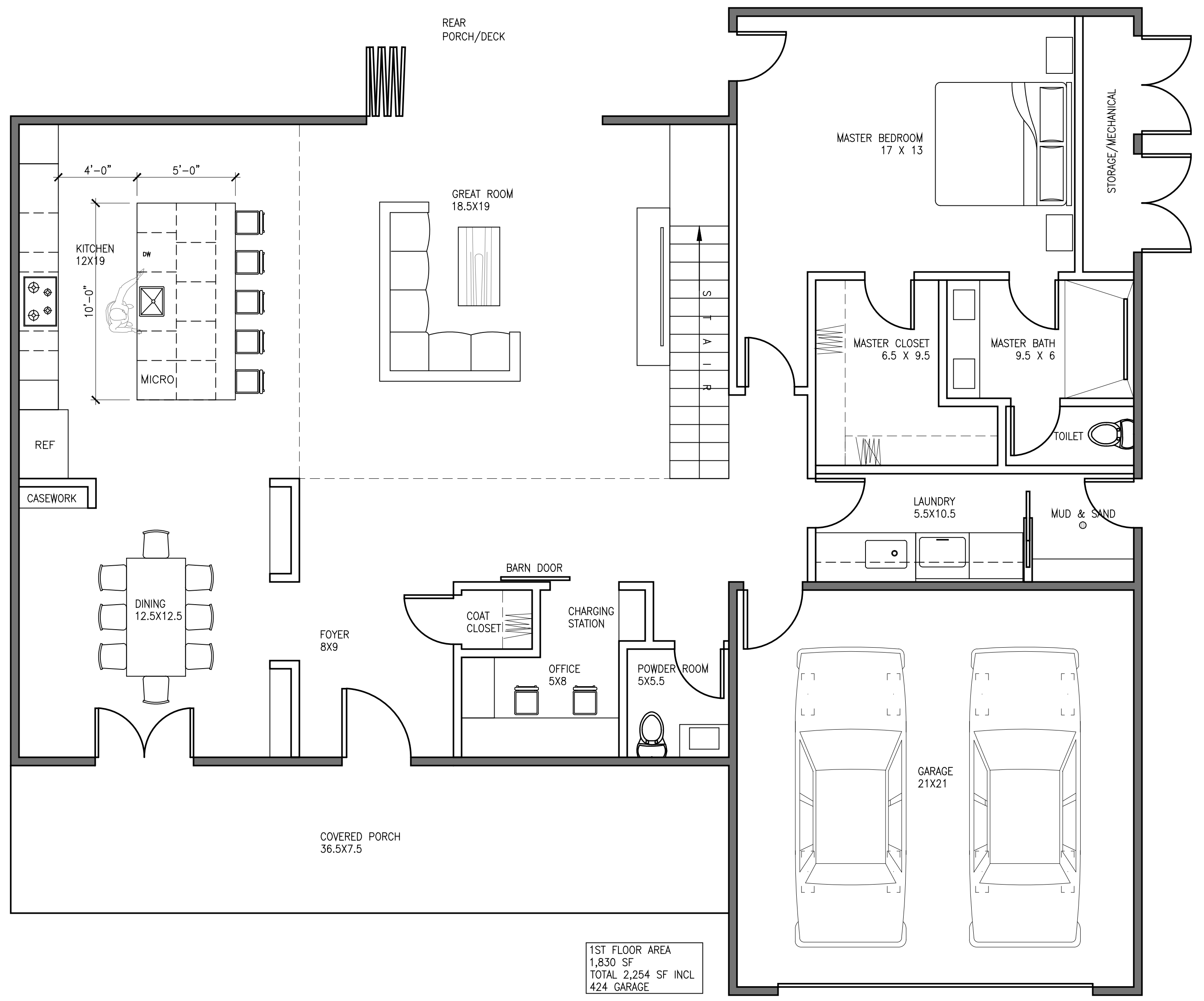
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PLAN CHECK RESPONSE:	J./2017

ISSUE DATE: 3/31/2017

FLOOR PLAN

SHEET NUMBER

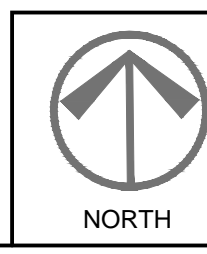
A-2.0



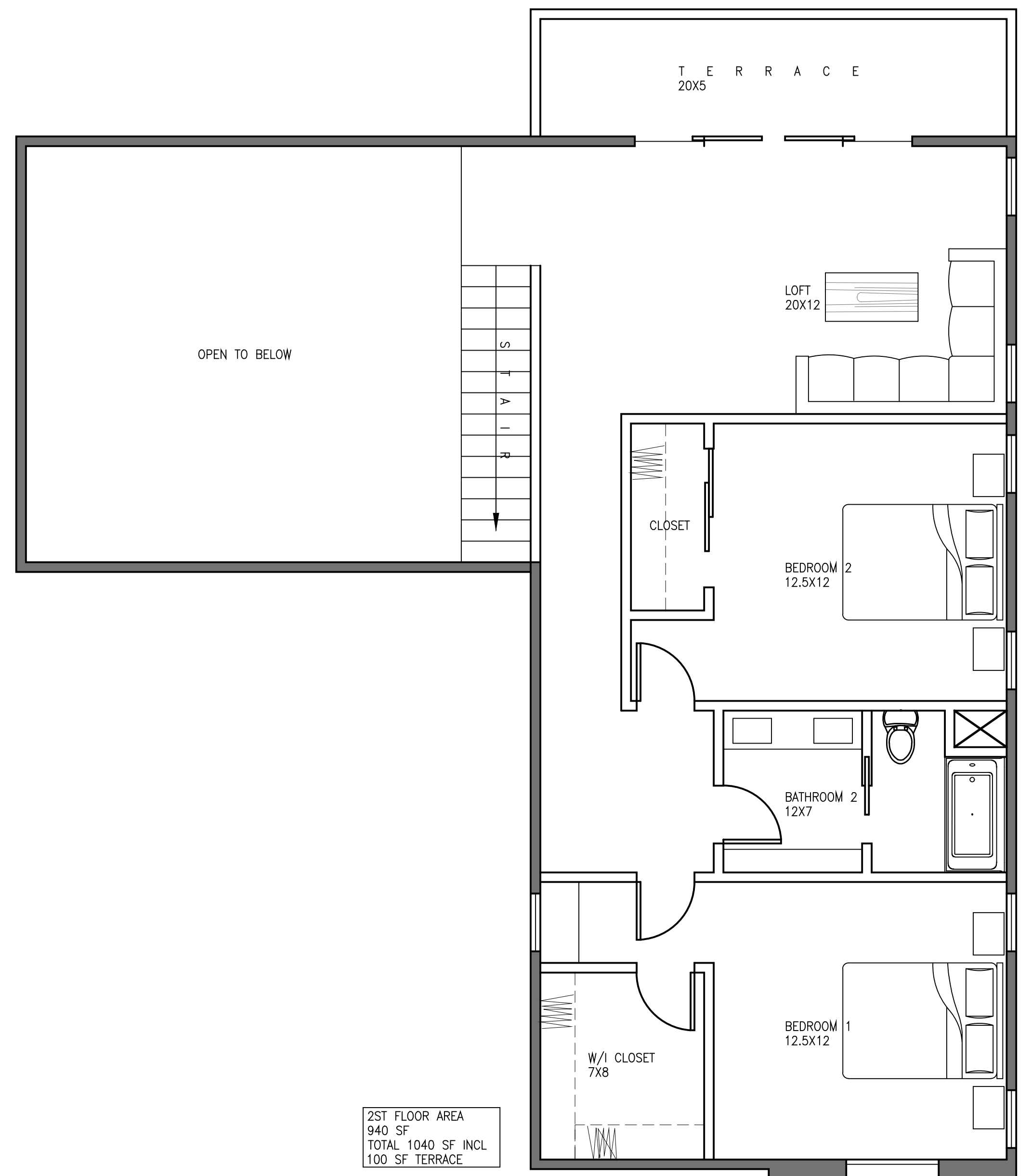
1ST FLOOR AREA
 1,830 SF
 TOTAL 2,254 SF INCL
 424 GARAGE

WALL LEGEND

	NEW INTERIOR WALLS
	NEW EXTERIOR WALLS



SCALE: 1/2" = 1'-0"



2ST FLOOR AREA
 940 SF
 TOTAL 1,040 SF INCL
 100 SF TERRACE

WALL LEGEND

	NEW INTERIOR WALLS
	NEW EXTERIOR WALLS

1 FLOOR PLAN 1ST FLOOR

2 FLOOR PLAN 2ND FLOOR



PROJECT: DAVIES RESIDENCE
ADDRESS: 1814 SOTO STREET, OCEANSIDE CA 92054
DESCRIPTION: TWO STORY SINGLE FAMILY HOME

REVISIONS

PLAN CHECK:	J_/2017
PLAN CHECK RESPONSE:	J_/2017

ISSUE DATE: 3/31/2017

ROOF PLAN

SHEET NUMBER

A-2.1

KEYNOTES

- 1 SPANISH CLAY TILE ROOFING: ICC ESR 1017 OVER THERMA-SHEET REFLECTIVE INSULATION UNDERLAYMENT ICC ESR 3652 OVER APPROVED SUBSTRATE
- 2 GAF TORCHDOWN ROOF CLASS A RATED ICC ESR 1274
- 3 SEAMLESS METAL RAIN GUTTER AND DOWNSPOUT ROUTED TO SITE BMP
- 4 LINE OF EXTERIOR BUILDING WALLS BELOW

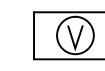
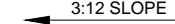
ROOF VENTILATION CALCULATIONS

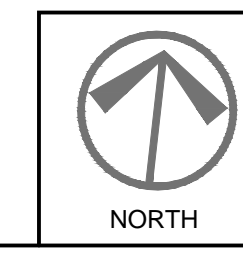
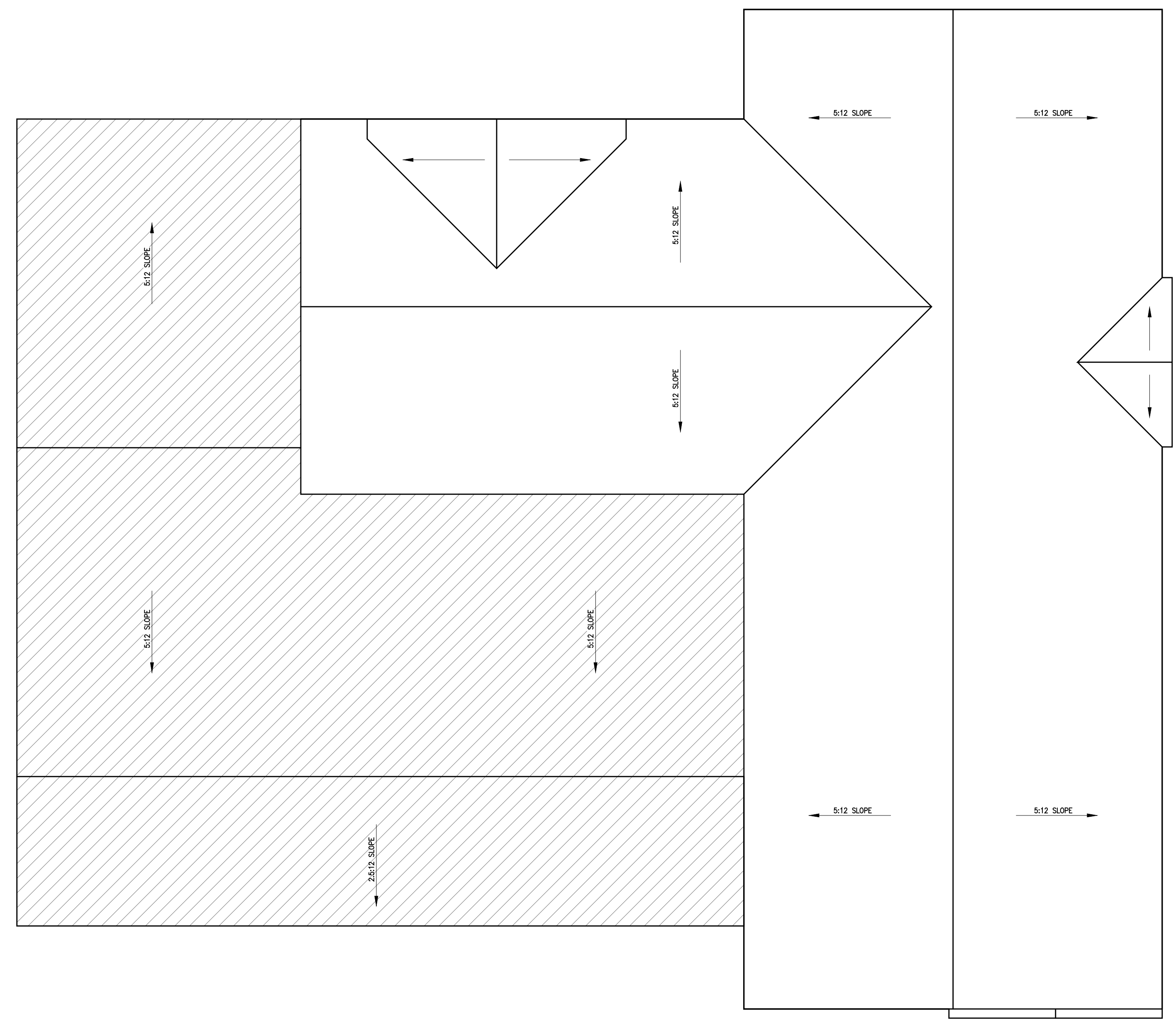
ROOF VENTILATION CALCULATIONS
 2013 CBC SEC 1203.2 ATTIC SPACES: THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150TH OF THE AREA OF THE VENTILATED SPACE

- NEW ROOF AREAS:
1. 865 SF/150 = 5.76 SF (830 SI)
 8.56SF(830 SI)/ VENT AREA (97.5 SI) = 8.51 OR 9 VENTS REQUIRED
 2. 263 SF/150 = 1.75 SF (252 SI)
 1.93SF/VENT AREA (97.5 SI) = 2.58 OR 3 VENTS REQUIRED

PROVIDE O'HAGIN ATTIC VENTS FOR TILE ROOF APPLICATION "S" STYLE WITH A NET FREE AREA OF 97.5 SQ. INCHES OR .67 SF WITH VENTS DISTRIBUTED EQUALLY HIGH AND LOW AT RIDGE AND EAVES

LEGEND

-  LOW PROFILE ROOF VENT
-  ROOF SLOPE INDICATOR

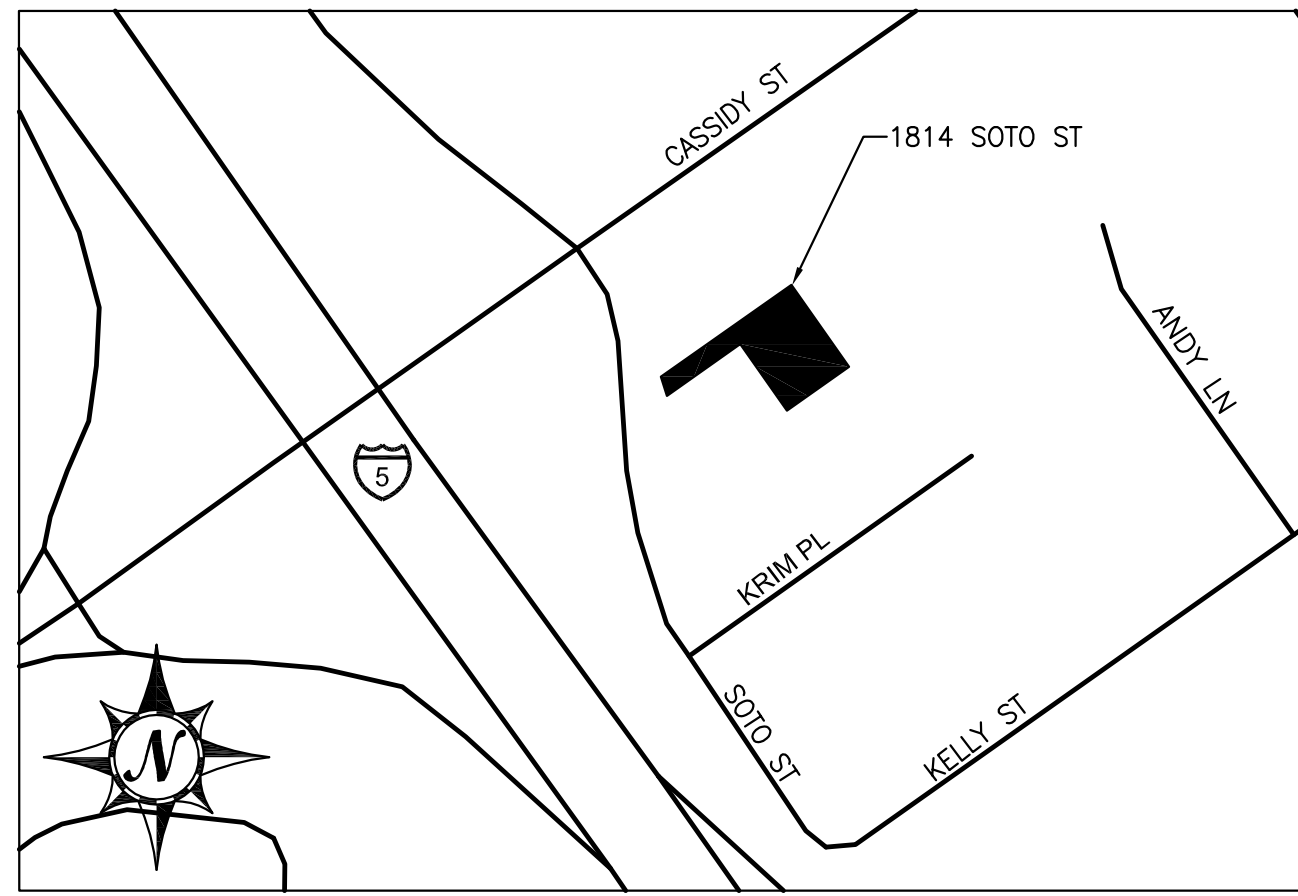


SCALE: 1/2" = 1'-0"

MINOR GRADING NOTES

- ALL GRADING AND DRAINAGE IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY'S CURRENT GRADING ORDINANCE, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION WITH SUPPLEMENTS (A.P.W.A. SPECIFICATIONS) AND THE "SAN DIEGO REGIONAL STANDARD DRAWINGS", AS AMENDED BY THE CITY SUPPLEMENTS, AND THE EARTHWORK SPECIFICATIONS ATTACHED TO THE "SOILS REPORT".
- ALL GRADING AND IMPROVEMENTS SHALL BE AS PER APPROVED PLANS. THERE SHALL BE NO CHANGES FROM THE APPROVED PLANS WITHOUT PRIOR APPROVAL BY THE CITY ENGINEER.
- THERE SHALL BE NO TRESPASSING, ACCESSING, GRADING OR CONSTRUCTION OF ANY TYPE BEYOND THE SITE PROPERTY LINES WITHOUT A WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER. FAILURE TO COMPLY WILL RESULT IN THE REVOCATION OF THE GRADING PERMIT.
- PROJECTS SHALL BE DESIGNED TO REDUCE SITE IMPERVIOUSNESS, CONSERVE NATURAL AREAS, REDUCE PEAK VELOCITIES, STABILIZE AND PROTECT SLOPES AND CHANNELS, AND MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS TO THE ROADWAYS OR WATER WAYS.
- NATURAL DRAINAGE SHALL NOT BE DIVERTED OR CONCENTRATED ON TO ADJACENT PROPERTY.
- NEITHER LEGAL ACCESS TO OTHER PARCELS NOR EMERGENCY ACCESS SHALL BE BLOCKED AT ANY TIME.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR LANDSCAPING AND SLOPE STABILIZATION OF ALL EMBANKMENTS OVER 3 FEET IN HEIGHT, AS SOON AS GRADING OF SLOPES ARE COMPLETED. PERMANENT IRRIGATION SYSTEMS SHALL BE INSTALLED FOR ALL EMBANKMENTS OVER 5 FEET IN HEIGHT (AND FOR ALL SLOPES ALONG MAJOR STREETS).
- LANDSCAPING PLAN SHALL NOT BE REQUIRED UNLESS THE PROJECT SITE IS LOCATED IN THE COASTAL AREA, AGRICULTURE DISTRICT, HILLSIDE DEVELOPMENT AREA OR THERE IS GRADING PROPOSED ON THE CITY RIGHT-OF-WAY AREA. THE OWNER SHALL BE AWARE AND COMPLY WITH STATE AND COUNTY REQUIREMENTS FOR WATER CONSERVATION IN LANDSCAPING AND IRRIGATION.
- ALL GRADING SHALL BE DONE UNDER THE OBSERVATION OF A QUALIFIED SOILS ENGINEER.
- THE SITE SHALL BE PROTECTED FROM EROSION, AND SEDIMENT CONTROLLED ON THE SITE THROUGHOUT THE CONSTRUCTION PERIOD.
- PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAN AND PROTECTED FROM EROSION, AND SEDIMENT CONTROLLED THROUGHOUT THE CONSTRUCTION PERIOD.
- PERMANENT POST-CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE REMOVED OR MODIFIED WITHOUT APPROVAL FROM THE CITY ENGINEER.
- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISHED GRADE TO PRODUCE A SMOOTH AND UNIFORM SURFACE OF CROSS-SECTION. THE SLOPES OF EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS DIRECTED BY THE ENGINEER OF WORK AND AS APPROVED BY THE CITY ENGINEER. FINISHED SLOPES SHALL BE LEFT IN NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS OR OTHER WASTE MATERIAL SHALL BE PROPERLY DISPOSED OFFSITE.
- ALL EXISTING ABANDONED PIPELINES SHALL BE REMOVED AND REPLACED WITH PROPERLY COMPACTED SOILS UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER.
- CONTRACTOR SHOULD TAKE PRECAUTIONARY MEASURES TO PROTECT EXISTING UTILITIES. CONTRACTOR SHOULD CONTACT DIG ALERT AND VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY GRADING OR TRENCHING.
- NEITHER THE OWNER NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF WORK AND ENGINEERING DIVISION INSPECTOR PRIOR TO PERFORMING ROCK-REMOVAL OPERATIONS.
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL A VALID LAND DEVELOPMENT (GRADING) PERMIT HAS BEEN ISSUED AND ALL AFFECTED PROPERTY OWNERS' PERMISSIONS HAVE BEEN OBTAINED.
- A RIGHT-OF-WAY PERMIT SHALL BE OBTAINED FROM THE CITY ENGINEERING DIVISION FOR ANY WORK WITHIN THE CITY RIGHT-OF-WAY OR EASEMENT.
- DAMAGED AND BROKEN SECTIONS OF CURB, GUTTER, OR SIDEWALK SHALL BE REMOVED AND REPLACED. PATCHING OF SIDEWALK IS NOT PERMITTED. A MINIMUM REPLACEMENT SECTION TO BE AT LEAST EQUAL TO SCORE MARK TO SCORE MARK (TYPICALLY 5'X). FOR SIDEWALKS EXCEEDING 5' WIDTH, REPLACEMENT SHOULD BE FULL WIDTH SQUARED TO THE NEXT SCORE MARK.
- ALL ROCK-SLOPE PROTECTION SHALL BE RIP RAP UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- ALL MASONRY RETAINING WALLS, EXCEPT THOSE LESS THAN THREE FEET HIGH AND NOT SUPPORTING SURCHARGES, REQUIRE PERMIT FROM BUILDING DIVISIONS.

MINOR GRADING PLAN FOR 1814 SOTO STREET



VICINITY MAP
NOT TO SCALE

MINOR GRADING NOTES CONTINUED:

- AN APPROVED HAUL ROUTE PERMIT SHALL BE REQUIRED FOR HAULING OF ANY EXPORT OR IMPORT MATERIALS INTO OR OUT OF THE SITE.
- LOT GRADING IS TO BE IN ACCORDANCE WITH CITY OF OCEANSIDE STANDARD DRAWING M-12 (TYPICAL LOT GRADING).
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE, OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT, AND ANY OTHER ASSOCIATED EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 A.M. AND 6:00 P.M. EACH DAY, MONDAY THROUGH FRIDAY, AND NO EARTHWORK OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR LEGAL HOLIDAYS, UNLESS WAIVED BY THE CITY ENGINEER.
- ALL DISTURBED AREAS MUST BE REVEGETATED, SUBSTANTIALLY GERMINATED, AND ESTABLISHED WITHIN 45 DAYS OF COMPLETION OF GRADING AND PRIOR TO REQUESTING FINAL INSPECTION.
- IMPORT MATERIALS SHALL BE OBTAINED FROM, AND WASTE MATERIAL SHALL BE DEPOSITED AT, A SITE APPROVED BY THE CITY ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEBRIS OR DAMAGE OCCURRING ALONG THE HAUL ROUTES OR ADJACENT STREETS AS DIRECT RESULT OF THE OPERATION.
- WHEN APPLICABLE, CONTRACTOR IS REQUIRED TO OBTAIN A TRAFFIC CONTROL PERMIT FROM ENGINEERING DIVISION IN CONFORMANCE WITH CITY OF OCEANSIDE AND CALTRANS REQUIREMENTS. TRAFFIC CONTROL PLAN SHALL BE IN EFFECT AND ENFORCED FROM 8 A.M. TO 3:30 P.M. UNLESS OTHERWISE IS APPROVED BY THE CITY ENGINEER.
- ELEVATION CERTIFICATE WILL BE REQUIRED PRIOR TO BUILDING OCCUPANCY.

OWNER/DEVELOPER NOTES:

THE PRESENT OR FUTURE OWNERS/DEVELOPER SHALL INDEMNIFY AND SAVE THE CITY OF OCEANSIDE, ITS OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITIES, CLAIMS ARISING FROM ANY LANDSLIDE ON THIS SITE.

THE PRESENT OR FUTURE OWNERS/DEVELOPER SHALL INDEMNIFY AND SAVE THE CITY OF OCEANSIDE, ITS OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITIES, CLAIMS ARISING FROM ANY FLOODING THAT OCCURS ON THIS SITE, AND ANY FLOODING THAT IS CAUSED BY THIS SITE IMPACTING THE ADJACENT PROPERTIES.

IT IS THE RESPONSIBILITIES OF THE OWNER/DEVELOPER TO EVALUATE AND DETERMINE THAT ALL SOIL IMPORTED OR EXPORTED AS PART OF THIS DEVELOPMENT IS FREE OF HAZARDOUS AND/OR CONTAMINATED MATERIAL AS DEFINED BY THE CITY AND THE COUNTY OF SAN DIEGO DEPARTMENT OF HEALTH. EXPORTED OR IMPORTED SOILS SHALL BE PROPERLY SCREENED, TESTED AND DOCUMENTED REGARDING HAZARDOUS CONTAMINATION.

STORM WATER MITIGATION PLAN NOTE:

ALL POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE APPROVED STORM WATER MITIGATION PLAN (SWMP).

LEGEND:

OSD CITY OF OCEANSIDE STD. DRAWING
SDRSD SAN DIEGO REGIONAL STD. DRAWING

DESCRIPTION	STANDARD	SYMBOL
SIDEWALK UNDERDRAIN PIPE	SDRSD D-27	
CONCRETE DRIVEWAY	SDRSD SDG-161	
CONCRETE JOINTS	SDRSD G-10	
CUTOFF WALL AT END OF PAVEMENT	SDRSD G-22	
DRAIN PIPE BEDDING AND BACKFILL	SDRSD SDD-110	
DRY UTILITY BEDDING AND BACKFILL	SDRSD	
SEWER CLEANOUT	SDRSD SDS-102	
SEWER LATERAL HOUSE CONNECTION	SDRSD SDS-105	

ENGINEER:

(NAME)
(STREET)
(CITY, STATE, ZIP)
(PHONE)

SOILS ENGINEER:

WILLIAM D. OLSON
3934 MURPHY CANYON ROAD, SUITE B205
SAN DIEGO, CA 92123-4425
(658)292-8030

OWNER/APPLICANT:

TIMOTHY AND JENNIFER DAVIES
3449 CASERAS DRIVE
OCEANSIDE, CA 92056
(658)354-0358

ESTIMATED GRADING QUANTITIES:

DESCRIPTION	QUANTITY
CUT	300 CY
FILL	100 CY
IMPORT	200 CY
EXPORT	200 CY
REMEDIAL	200 CY

APN:

154-100-62-00

SITE ADDRESS & LEGAL DESCRIPTION:

1814 SOTO STREET

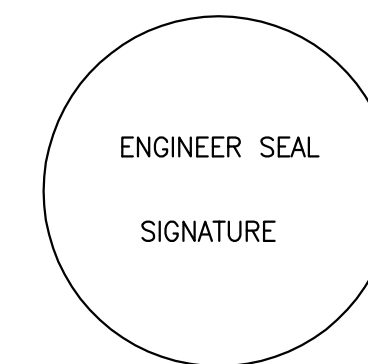
PARCEL 6, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SHOWN AT PARCEL MAP NO. 13030, FIELD IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 1, 1983

DECLARATION OF ENGINEER OF WORK:

I HEREBY DECLARE THAT THE DESIGN OF THE IMPROVEMENTS AS SHOWN ON THESE PLANS COMPLIES WITH PROFESSIONAL ENGINEERING STANDARDS AND PRACTICES. AS THE ENGINEER OR ARCHITECT IN RESPONSIBLE CHARGE OF THE DESIGN OF THESE IMPROVEMENTS, I ASSUME FULL RESPONSIBLE CHARGE FOR SUCH DESIGN. I UNDERSTAND AND ACKNOWLEDGE THAT THE PLAN CHECK OF THESE PLANS BY THE CITY OF OCEANSIDE IS A REVIEW FOR THIS LIMITED PURPOSE OF ENSURING THE PLANS COMPLY WITH CITY PROCEDURES AND OTHER APPLICABLE POLICIES AND ORDINANCES. THE PLAN CHECK IS NOT A DETERMINATION OF THE TECHNICAL ADEQUACY OF THE DESIGN OF THE IMPROVEMENTS. SUCH PLAN CHECK DOES NOT, THEREFORE, RELIEVE ME OF MY RESPONSIBILITY FOR THE DESIGN OF THESE IMPROVEMENTS.

AS ENGINEER OF WORK, I AGREE TO INDEMNIFY AND SAVE THE CITY OF OCEANSIDE, ITS OFFICERS, AGENTS, AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY, CLAIMS, DAMAGES OR INJURIES TO ANY PERSON OR PROPERTY WHICH MIGHT ARISE FROM THE NEGLIGENT ACTS, ERRORS OR OMISSIONS OF THE ENGINEER OF WORK, MY EMPLOYEES, AGENTS OR CONSULTANTS.

ENGINEER _____ LICENSE NO. _____ DATE _____

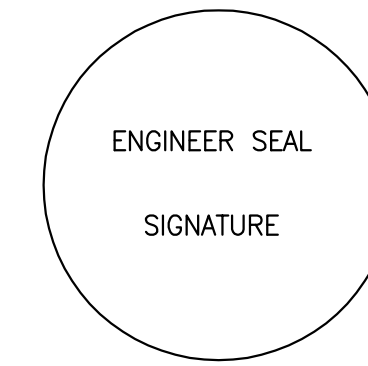


CERTIFICATION OF COMPLETION:

I HEREBY CERTIFY AS THE ENGINEER IN RESPONSIBLE CHARGE OF WORK FOR THIS PROJECT, THAT I HAVE SUPERVISED THE CONSTRUCTION OF THE ENGINEERING WORK AS SHOWN ON THESE PLANS AND THAT THE COMPLETED CONSTRUCTION IS IN CONFORMANCE WITH SAID PLAN.

I ALSO CERTIFY THAT ALL DESIGN CHANGES MADE DURING CONSTRUCTION, ALL INFORMATION AS REQUIRED BY THE CITY OF OCEANSIDE GRADING ORDINANCE, AND ALL RECOMMENDATIONS FROM THE SOILS ENGINEERING GEOLOGY REPORTS PREPARED FOR THIS PROJECT HAVE BEEN COMPLETED.

ENGINEER _____ LICENSE NO. _____ DATE _____



UNDERGROUND SERVICE ALERT
SECTION 4216 & 4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE @ 1-800-422-4133 TWO (2) WORKING DAYS BEFORE YOU DIG. WEB ADDRESS: WWW.DIGALERT.ORG

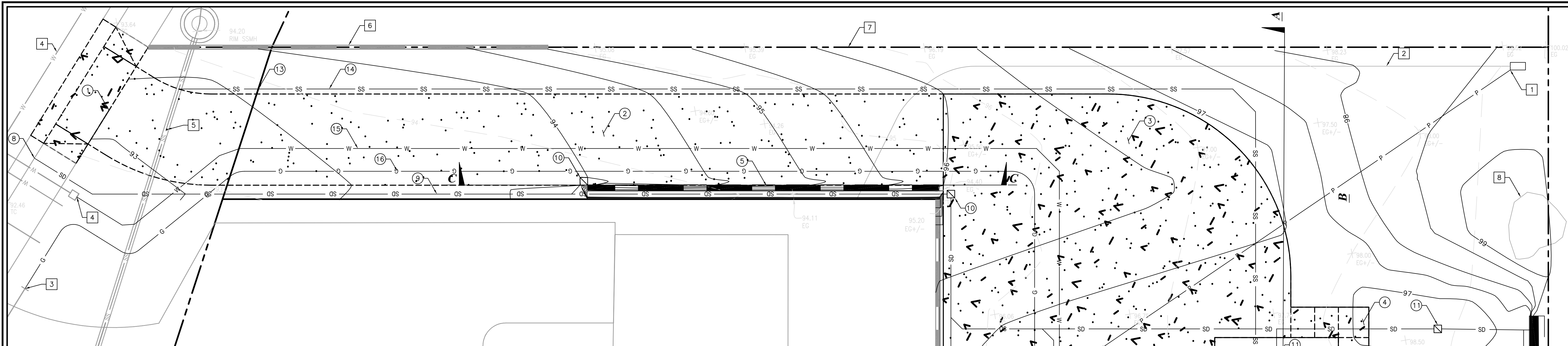
APPROVED CHANGES:			
NO.	DESCRIPTION	APPV'D	DATE

APPROVED BY _____ DATE _____

CITY BENCHMARK:
Description: _____
Location: _____
Record From: _____
Elev: _____ Datum: _____

FILE # _____

SHEET	CITY OF OCEANSIDE ENGINEERING DIVISION	SHEETS
MINOR GRADING PLAN FOR: 1814 SOTO STREET DAVIES RESIDENCE		
APPROVED City Engineer: Steven E. Strapac RCE 57654 DATE: _____		
ENGINEER OF WORK RCE	Checked By: Approval Date:	PLAN NUMBER MGP

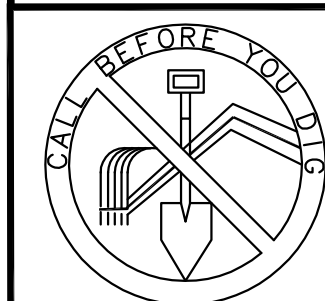
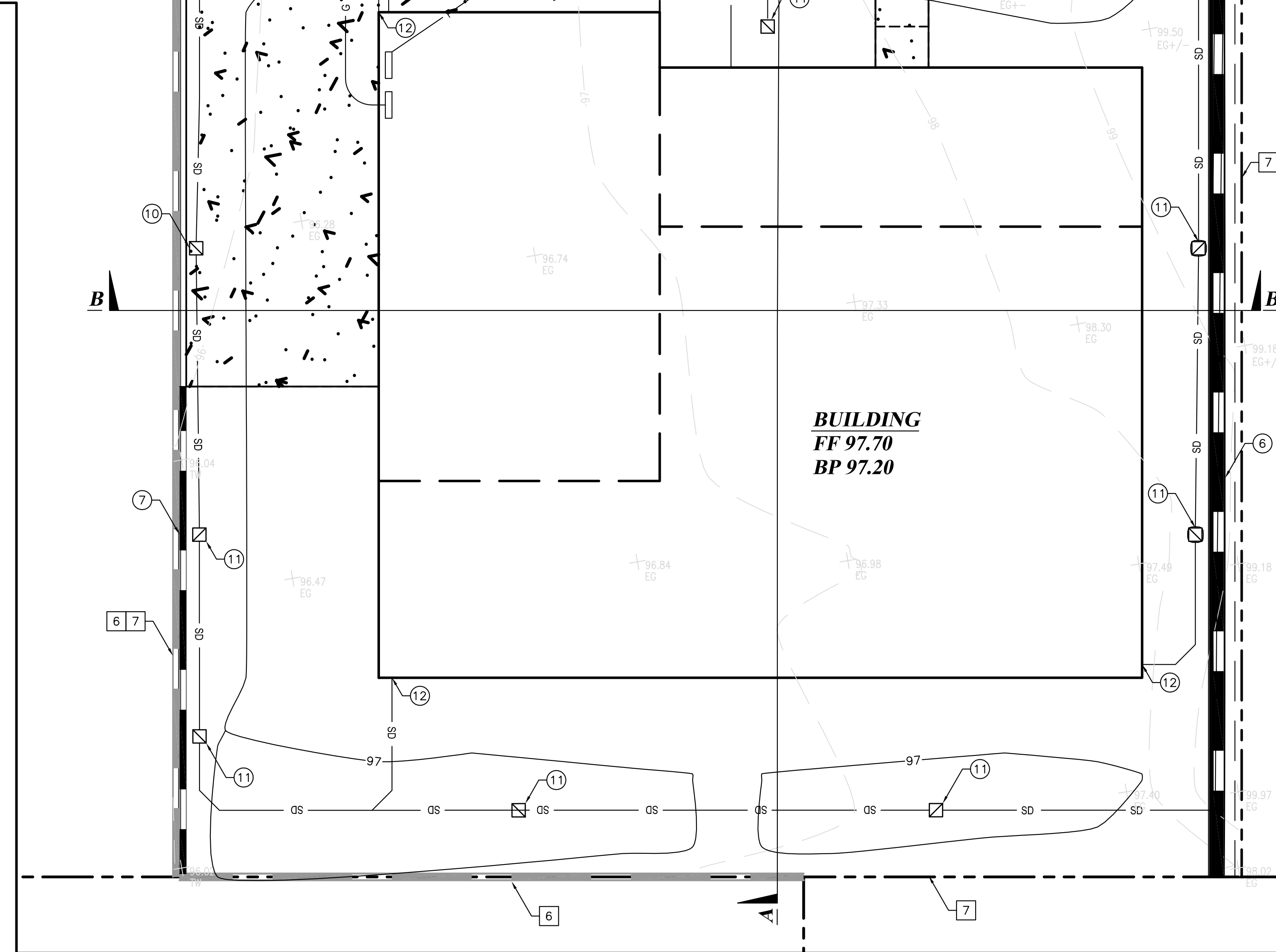
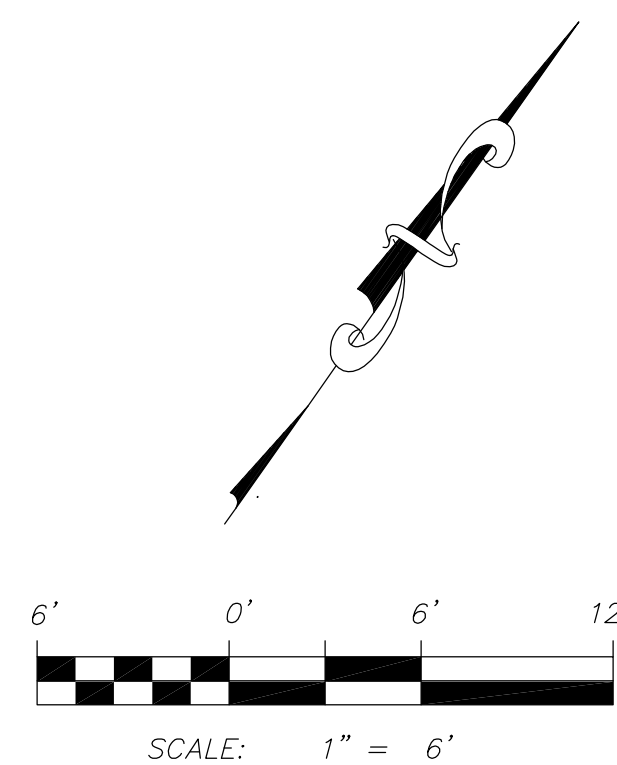


CONSTRUCTION NOTES

- 1 CONSTRUCT 12' WIDE CONCRETE DRIVEWAY PER SDRSD NO. SDG-161
- 2 CONSTRUCT 12' WIDE AC DRIVEWAY PER DETAIL __ ON SHEET C-2
- 3 CONSTRUCT CONCRETE DRIVEWAY PER DETAIL __ ON SHEET C-2
- 4 CONSTRUCT CONCRETE WALKWAY PER DETAIL __ ON SHEET C-2
- 5 CONSTRUCT MASONRY RETAINING WALL TYPE 1 PER SDRSD NO. SDC C-1.
- 6 CONSTRUCT KEYSTONE STRAIGHT KEYSTONE WALL PER DETAIL __ ON SHEET C-2.
- 7 CONSTRUCT CONCRETE BLOCK SLOUGH WALL PER DETAIL __ ON SHEET C-2.
- 8 INSTALL SIDEWALK UNDERDRAIN PIPE PER SDRSD NO. D-27
- 9 INSTALL 4" SCHEDULE 40 PVC STORM DRAIN WITH BEDDING AND TRENCH BACKFILL PER SDRSD NO. SDD-110.
- 10 INSTALL 12" X 12" FLAT AREA DRAIN INLET (NDS 1200) W/ SQUARE GRATE PER DETAIL __ ON SHEET C-2.
- 11 INSTALL 9" X 9" INLET (NDS 900BLKIT) W/ RISER, ADAPTER, AND ATRIUM GRATE PER DETAIL __ ON SHEET C-2.
- 12 INSTALL DOWNSPOUT CONNECTION TO STORM DRAIN PER DETAIL __ ON SHEET C-2.
- 13 INSTALL SEWER LATERAL HOUSE CONNECTION PER SDRSD SDS-105
- 15 INSTALL 3/4" DIA COPPER K WATER LINE
- 16 INSTALL GAS LINE PER COORDINATION WITH SDG&E

DISPOSITION NOTES

- 1 PROTECT-IN-PLACE EXISTING SDG&E STRUCTURE. COORDINATE WITH SDG&E FOR CONNECTION TO NEW BUILDING.
- 2 PROTECT-IN-PLACE EXISTING SDG&E CONDUIT.
- 3 PROTECT-IN-PLACE EXISTING 2" GAS. COORDINATE WITH SDG&E FOR THE CONNECTION TO EXISTING 2" STUB.
- 4 PROTECT-IN-PLACE EXISTING 6" ACP WATERLINE. COORDINATE WITH CITY FOR THE CONNECTION TO EXISTING 3/4" WATER SERVICE.
- 5 PROTECT-IN-PLACE EXISTING 8" VCP SEWER
- 6 PROTECT-IN-PLACE EXISTING BLOCK WALL
- 7 PROTECT-IN-PLACE EXISTING WOOD FENCE
- 8 PROTECT-IN-PLACE EXISTING PEPPER TREE



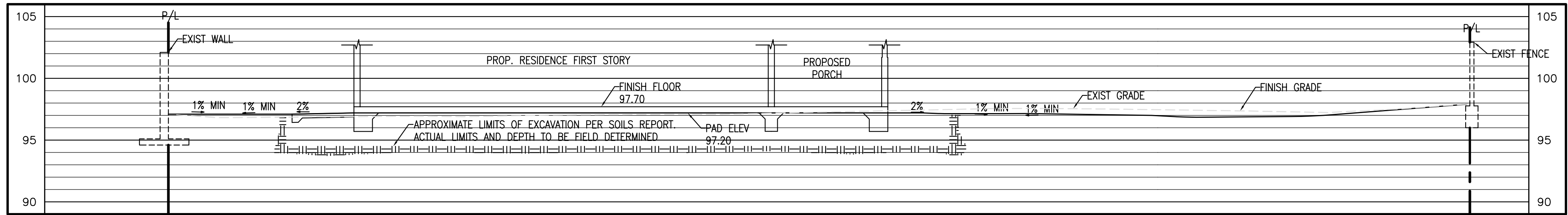
UNDERGROUND SERVICE ALERT
 SECTION 4216 & 4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE @ 1-800-422-4133 TWO (2) WORKING DAYS BEFORE YOU DIG. WEB ADDRESS: WWW.DIGALERT.ORG

GEOTECHNICAL CONSULTANT APPROVAL
 CITY OF OCEANSIDE
 PLANS ARE CHECKED AND FOUND TO COMPLY WITH THE CITY OF OCEANSIDE REQUIREMENTS:
 APPROVED BY _____ DATE _____

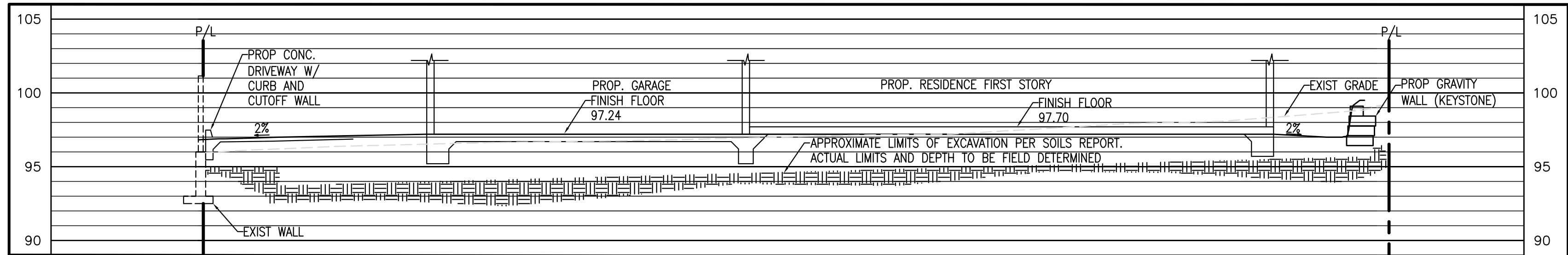
NO	DESCRIPTION	APPV'D	DATE

APPROVED CHANGES:
 CITY BENCHMARK:
 Description: _____
 Location: _____
 Record From: _____
 Elev: _____ Datum: _____

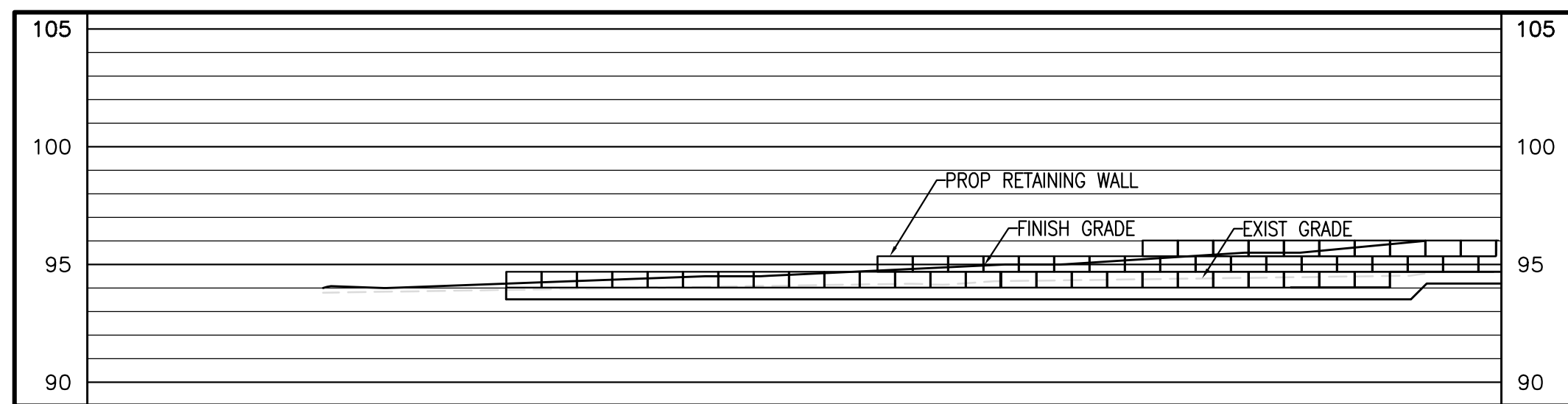
SHEET	CITY OF OCEANSIDE ENGINEERING DIVISION	SHEETS
MINOR GRADING PLAN FOR: 1814 SOTO STREET DAVIES RESIDENCE		
APPROVED City Engineer: Steven E. Strapac RCE 57654 DATE: _____		
ENGINEER OF WORK RCE	Checked By: Approval Date:	PLAN NUMBER MGP



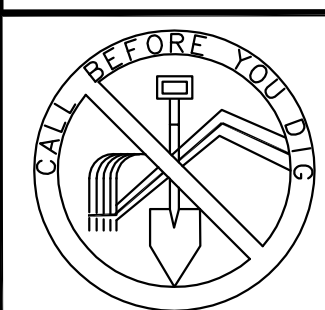
SECTION A-A



SECTION B-B



SECTION C-C



UNDERGROUND SERVICE ALERT
 SECTION 4216 & 4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE @ 1-800-422-4133 TWO (2) WORKING DAYS BEFORE YOU DIG. WEB ADDRESS: WWW.DIGALERT.ORG

APPROVED CHANGES:			
NO	DESCRIPTION	APPV'D	DATE

APPROVED BY _____ DATE _____

CITY BENCHMARK:
 Description: _____
 Location: _____
 Record From: _____
 Elev: _____ Datum: _____

FILE #

SHEET	CITY OF OCEANSIDE ENGINEERING DIVISION	SHEETS
MINOR GRADING PLAN FOR:		
1814 SOTO STREET DAVIES RESIDENCE		
APPROVED		
City Engineer: Steven E. Strapac RCE 57654		DATE:
ENGINEER OF WORK	Checked By:	PLAN NUMBER
RCE	Approval Date:	MGP

Project description

Build a Single Family Residential home with detached Accessory Dwelling Unit at:

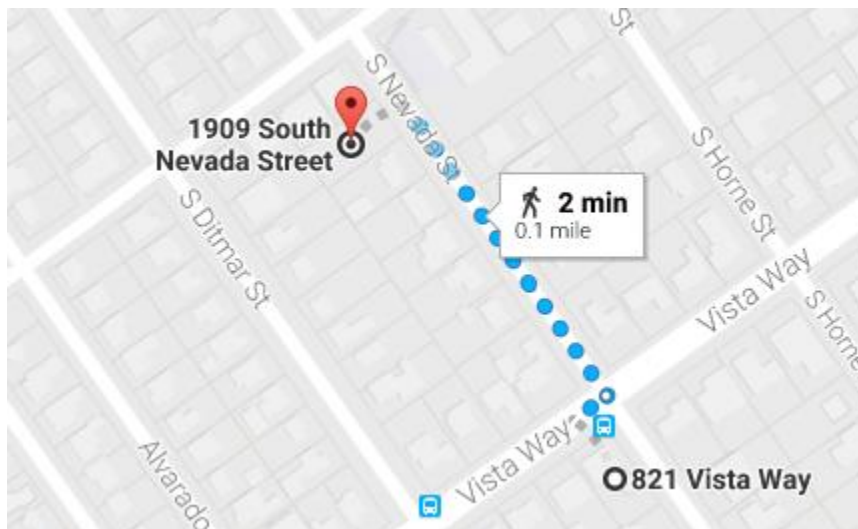
Address: 1909 South Nevada St, Oceanside, CA 92054

APN: 153-361-19-00

Lot

Lot measurements are 77' x 150':

- 77 ft. along South Nevada St and along back
- 150 ft. deep
- 0.1 mile from bus stop at 821 Vista Way



Demolished Home

Home on lot was demolished in 2006. According to public records (via Redfin.com):

- 2 bed x 1 bath
- 790 sq. ft.
- Built 1952

New Construction

Main Single Family Residential home:

- Single story 2,499 sq. ft. or less
- 3 bed, 3 bath
- Modular construction, Title 24 California Factory Built Housing
- Raised foundation
- Adjacent 2 car garage 20' x 21'

Detached Accessory Dwelling Unit:

- Single story 1,200 sq. ft.
- 3 bed, 2 bath
- Modular construction, Title 24 California Factory Built Housing
- Raised foundation
- 1 parking space 9' x 19', adjacent to above garage (optional, since within 1/2 mile of a bus stop)

Lot Coverage

Calculated using 3' overhang on both sides of roof:

	Length	Width	Length + Roof Overhang	Width + Roof Overhang	Total
Main	68.33	40.5	71.33	43.5	3,102.86
Accessory	52	27	55	30	1,650.00
Garage Extra Area	21	10	24	13	312.00
Subtotal					5,064.86
Lot			150	77	11,550.00
% Coverage					43.85%

Miscellaneous

- Old water meter size is 5/8"

