

¹AGENDA
OCEANSIDE DEVELOPER'S CONFERENCE

Wednesday, September 19, 2018, 9:30 a.m.
City Hall South, 1st Floor, Guajome Room

1. 9:30 - 10:30 a.m.

Proposed improvements to Coastline Community Baptist Church (557 Vista Bella) to include a new auditorium, classrooms and office space as well as exterior gathering areas and a revised parking layout. The existing building on the north side of the property will be removed.

Zoning: CL (Limited Commercial)
Land Use: General Commercial
Neighborhood Area: Oceana
Assessor Parcel Number(s): 160-140-13, -14
Contact Person: Jessica Steiner
Email: jsteiner@bickelgrp.com

Attachments:

1. Parcel Map
2. Project Description Letter
3. Conceptual Site Plans
4. Vicinity/Regional Maps

¹ *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*

ITEM #1

160-14
SHT 1 OF 2

1" = 100'

CHANGES

BLK	OLD	NEW	YR	CUT
	1	6 F 7	68	4630
	4	8-9	71	7232
	3	10-12	73	2111
	10-12	13-15	77	1914
	10	176 ONLY		
	8,9	AC+BL	79	5175
	8	17	79	259
	140	17	CONDM	80 519

UNIT 4 160-14

MAP 5430

BLK. C

MAP 5155

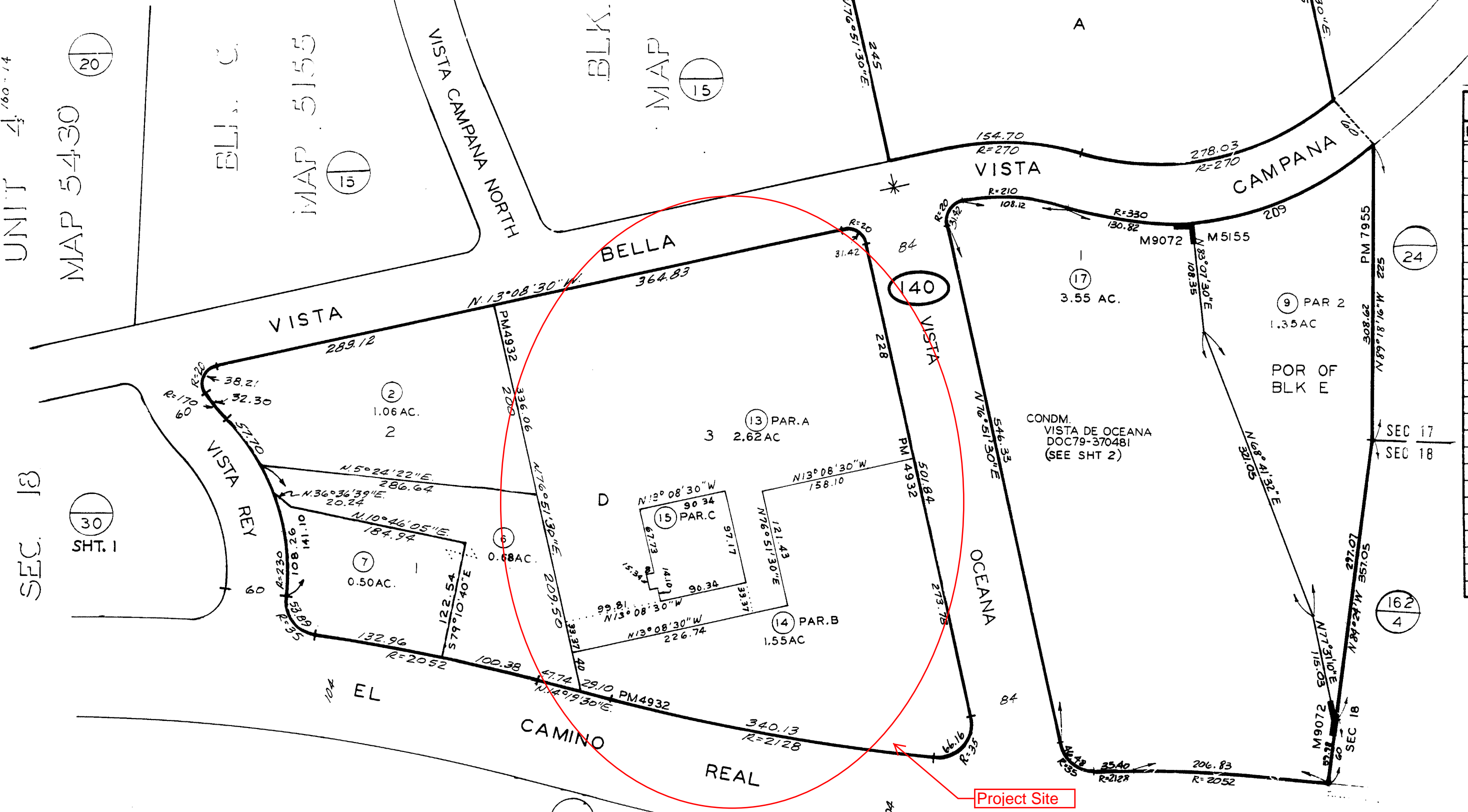
VISTA CAMPANA NORTH

BLK. B

MAP 5155

SEC. 13

SHT. 1

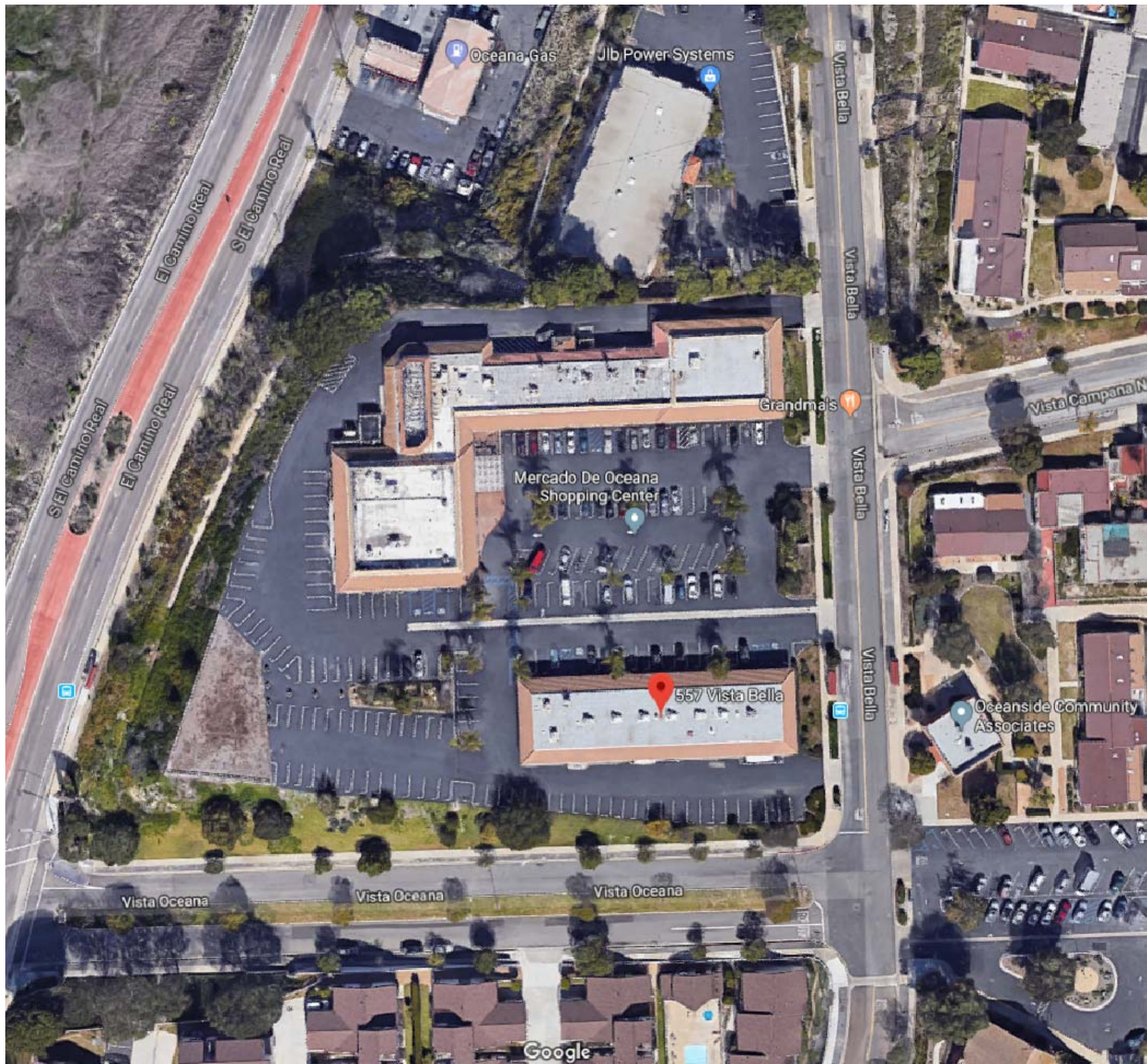


Project Site

MAP 9072 - VISTA DE OCEANA (CONDM)
MAP 5155 - OCEANA UNIT NO. 1 - BLKS A. D. & E

507
8-28-69

SHT. 1



AUDITORIUM
 557 VISTA BELLA
 OCEANSIDE, CALIFORNIA

VICINITY MAP

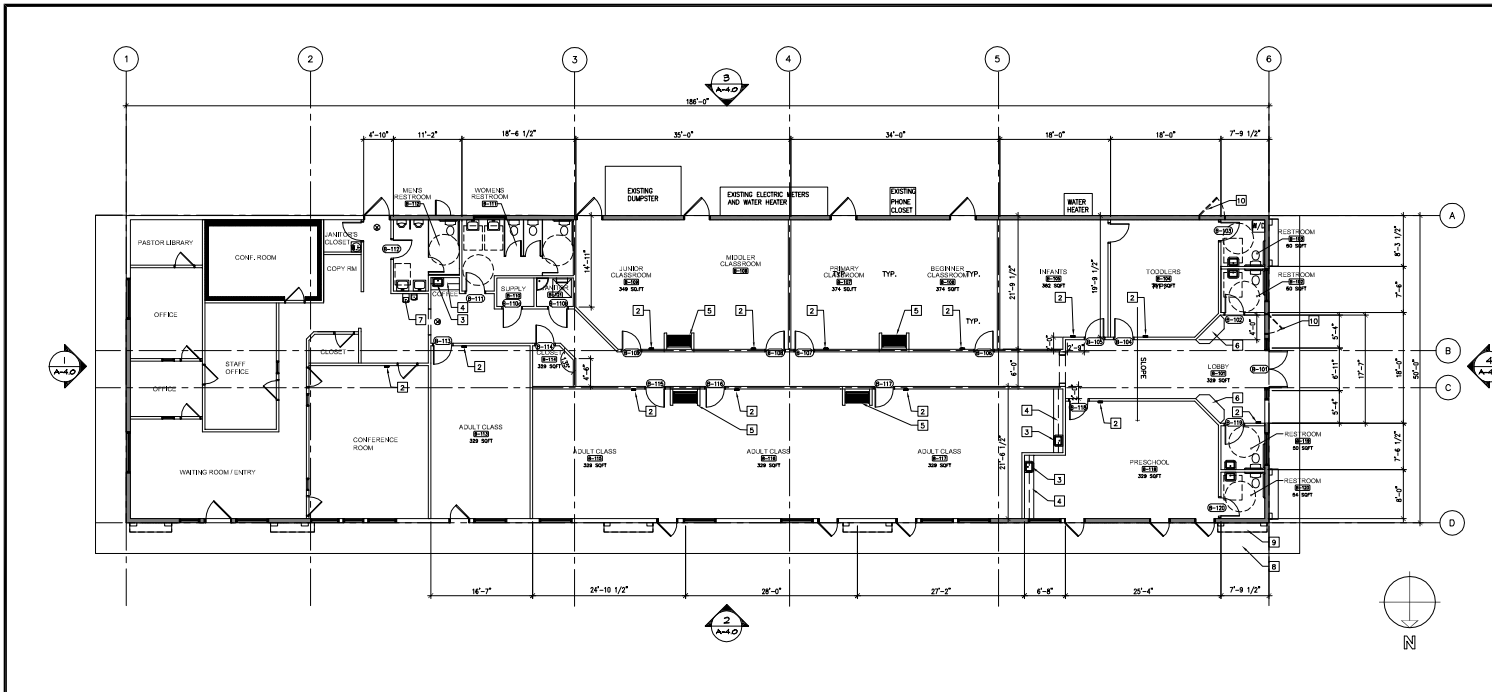
Scale: N.T.S.
 August 30, 2018

F31818580 - Oceanside Coastal Community Church New Auditorium/Design Archive 180004 Developers Conference Submitted Material 1808000 08/30/2018

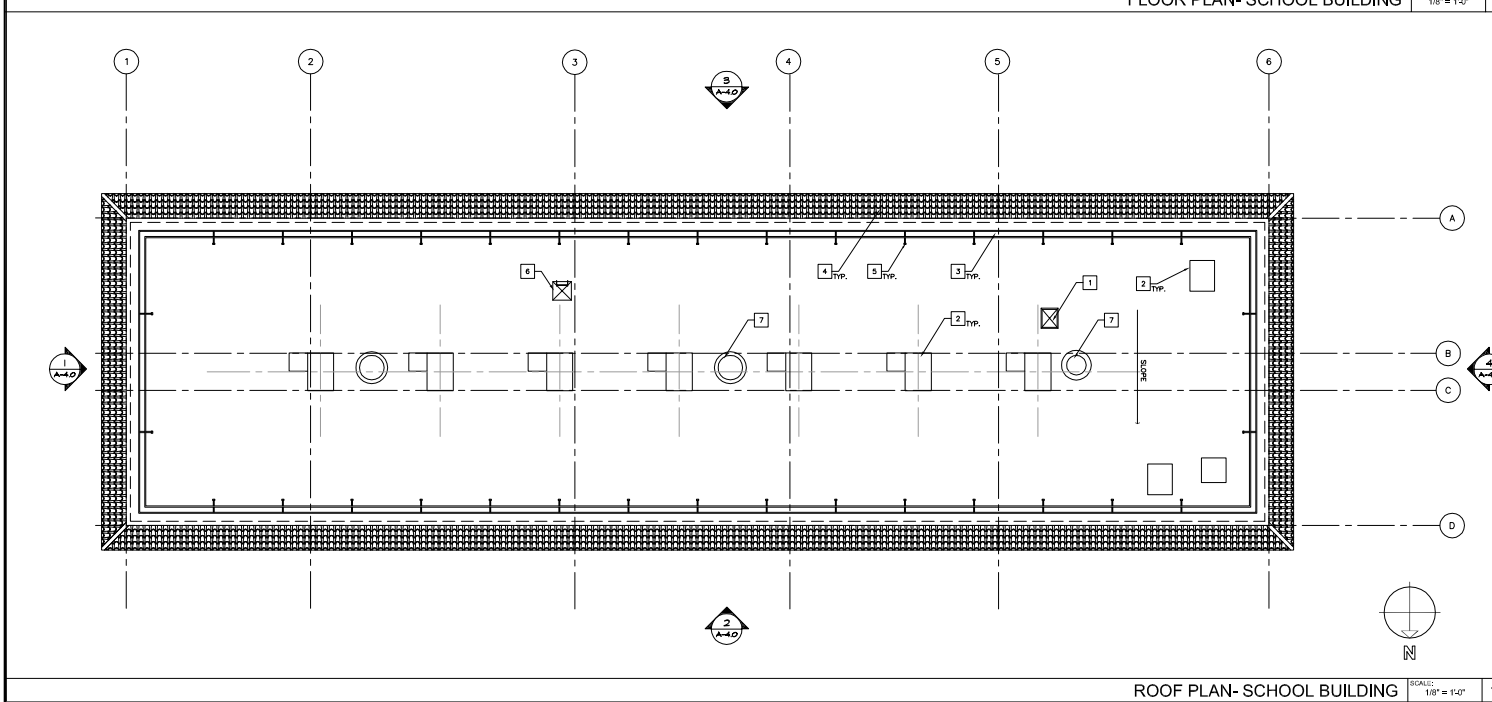
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 www.bickelgrp.com



FLOOR PLAN- SCHOOL BUILDING SCALE: 1/8" = 1'-0" 2



ROOF PLAN- SCHOOL BUILDING SCALE: 1/8" = 1'-0" 1

GENERAL NOTES

- GRIDLINES ARE FOR LOCATION OF CENTERLINES OF STRUCTURAL STEEL COLUMNS, CENTERLINES OF STRUCTURAL WALLS AND EDGE OF WALL, I.E.D.
- DIMENSIONS (EXCEPT GRIDLINES) ARE EXTERIOR WALLS TO FACE OF SHEATHING AT EXTERIOR SIDE, AND FACE OF FINISH AT INTERIOR LAND.
- SEE WALL LEGEND FOR WALL TYPES.
- CSI SHEATHING SHALL BE USED FOR ALL VERTICAL (WALL) SHEATHING CONDITIONS. CONTRACTOR MAY SUBMIT REQUEST TO ARCHITECT TO SUBSTITUTE CSI FOR CON. REF. TO STRUCTURAL FOR ALL SHEATHING INFORMATION.
- ALL RAIN WATER LEADERS, OVERFLOW PIPES AND PLUMBING PIPING, ELEC. CONDUIT ETC. SHALL BE COVERED IN WALL FINISHING U.S.I.C.O.
- FLOOR PLANS COMBINAUTE BUILDING INFORMATION ONLY. SEE CHAL & LANDSCAPE DRAWINGS FOR ALL SITE WORK INFORMATION. NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES OCCUR PRIOR TO COMMENCEMENT OF WORK.

FLOOR PLAN KEYNOTES

- ROOF HATCH RE: 1/8" X 5/8"
- FIRE EXTINGUISHER
- COUNTER TOP MOUNTED SINK
- CASEWORK PER INTERIOR ELEVATIONS
- MOVABLE PARTITION WALL
- FURNITURE- N.L.C
- DRINKING FOUNTAIN
- SOFFIT LINE ABOVE
- ARCH PER EXTERIOR ELEVATION
- REMOVE EXISTING DOOR

ROOF PLAN KEYNOTES

- EXISTING ROOF ACCESS HATCH
- EXISTING MECHANICAL UNITS
- PARAPET
- EXISTING ROOF
- EXISTING PITCH POCKET TO HOLD PARAPET
- NEW ROOF ACCESS
- EXISTING VENTS

WALL LEGEND

- 8" CMU, BLOCKS TO 28'-0" A.F.F. W/ 3-5/8" 20GA METAL STUDS, W/ 5" R-13 BATT INSULATION ON INTERIOR SIDE OF STRUCTURE. SEE 1/A-5.0
- STOREFRONT DOOR COVERED IN GLAZING (BETWEEN ELEMENTS) WHEN POSSIBLE. GLAZING HEIGHT 10'-0" ALL EQUAL PANELS RE: 8, 10 AND 11/A-6.0

ROOF SYMBOL LEGEND

- H.V.A.C. PACKAGE UNIT
- ROOF HATCH

NOTE: ALL T.S. & T.P. DIM'S. ARE FROM BLDG. FINISHED FLOOR ELEVATION 0'-0"

REVISIONS	DATE/DELTA	REMARKS

COASTLINE BAPTIST CHURCH
SANCTUARY BUILDING AND SUNDAY SCHOOL
 Contact: PASTOR STEVE CHAPPEL
 503 VISTA BELLA OCEANSIDE, CA 92057
 PHONE: (760) 754-2302

BICKEL UNDERWOOD
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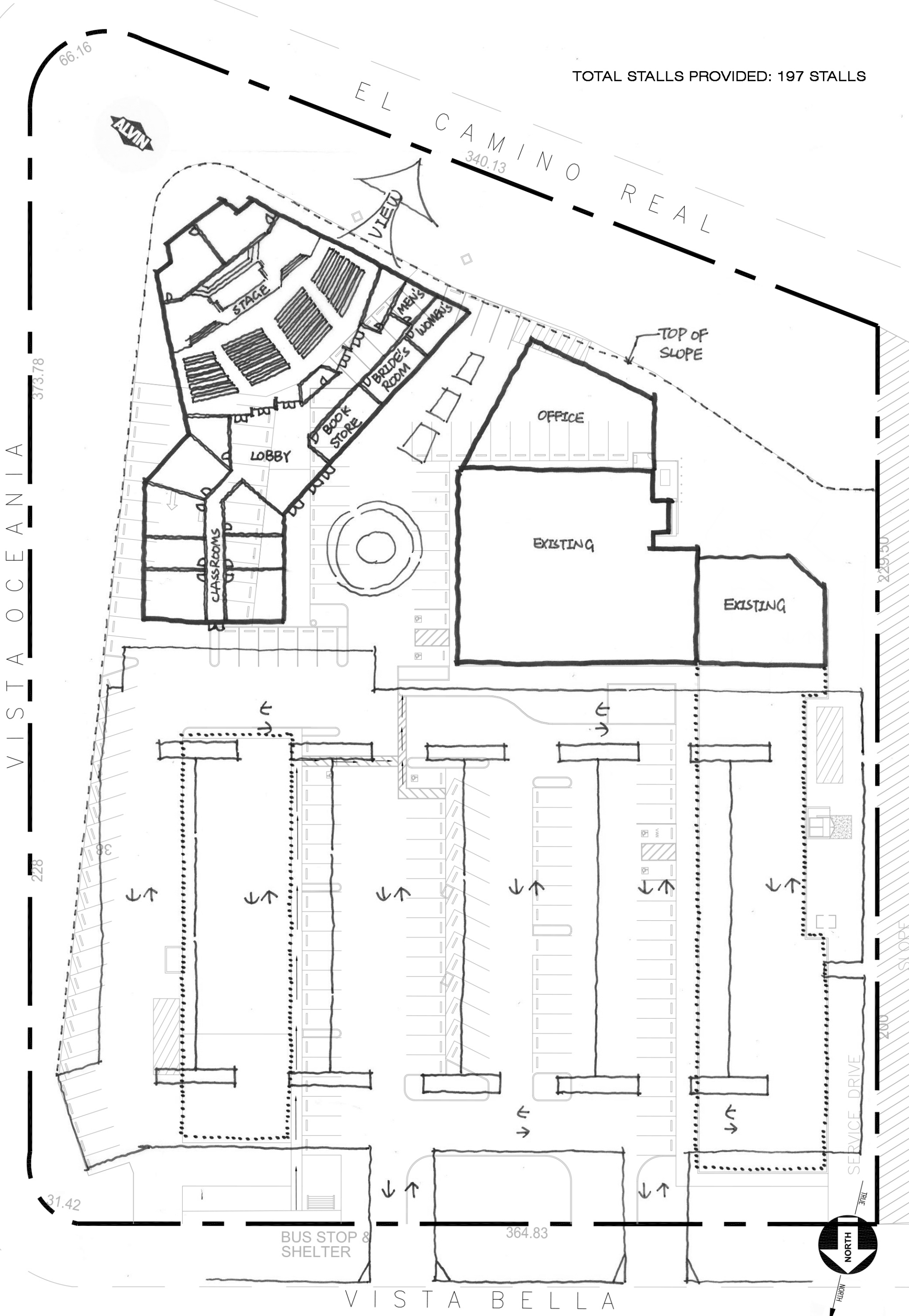
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SHEET TITLE:
FLOOR PLAN & ROOF PLAN

SUB DATE	15/02/05
REV DATE	XX/XX/XX
DATE	02/02/05
DRAWN BY:	CS
COR. NO.	0300
CHECKED BY:	BB

SHEET NUMBER: **A4.1**

TOTAL STALLS PROVIDED: 197 STALLS



VISTA OCEANIA

EL CAMINO REAL

VISTA BELLA

BUS STOP & SHELTER

SERVICE DRIVE



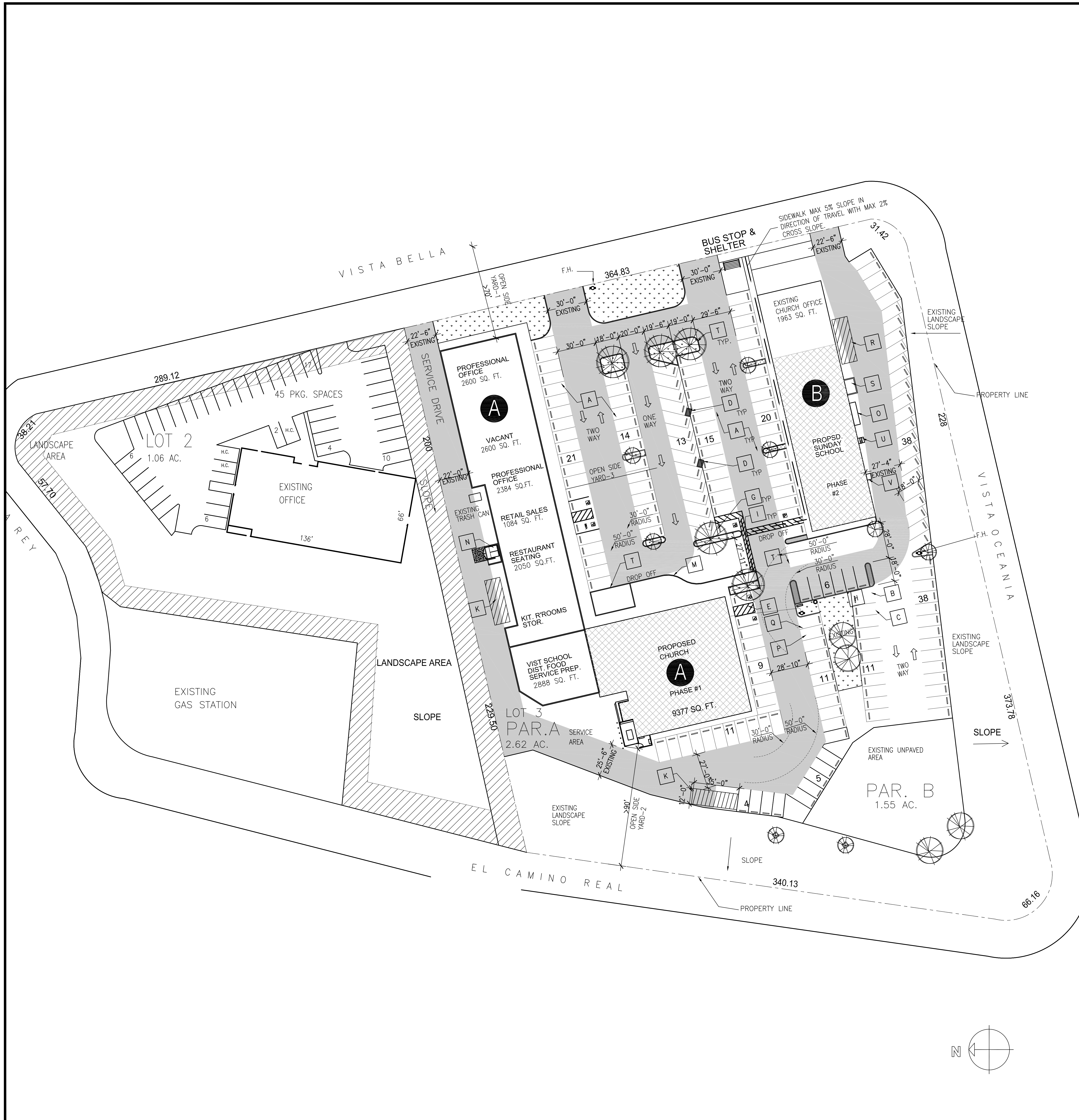
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AUDITORIUM

557 VISTA BELLA
 OCEANSIDE, CALIFORNIA

SITE PLAN OPT 2
 Scale: 1" = 40'
 July 19, 2018

F:\18\18580 - Oceanside Coastline Community Church New Auditorium\Design\Site\18580 - Site Plan.dwg
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NOTE

EXISTING SITE IS CURRENTLY GRADED AND PAVED. REVISED AND NEW PARKING AND LANDSCAPE PLANTERS WILL BE ACCOMPLISHED WITH RESURFACING AND STRIPING.

OPEN SIDEYARDS AS INDICATED ON THE SITE PLAN ARE REQUIRED FOR THE AREA INCREASES TAKEN.

- CM CENTER MONUMENT SIGN, U.N.O.
- PM INDIVIDUAL PAD MONUMENT SIGN
- HC HANDICAP STALL - 9'-0" + LOADING X 16'-0" + 2'-0" OVERHANG
VARIES - 9'-0" + LOADING X 18'-0"
- VHC VAN HANDICAP STALL - HANDICAP STALL - 9'-0" + LOADING X 16'-0" + 2'-0" OVERHANG. VARIES - 9'-0" + LOADING X 18'-0"
- STANDARD STALL - 9'-0" X 18'-0" (16'-0" + 2'-0" OVERHANG)
U.N.O. (IN FRONT OF GROCERY STORE PARKING SIZES VARY)

MARK	DESCRIPTION OF WORK	DETAIL REF.
A	EXISTING ASPHALT CONCRETE PAVING - SEE CIVIL DWG'S. FOR FINISHED GRADES, PAVING THICKNESS AND UNDERLAYMENT, ETC.	
B	LANDSCAPE PLANTER WITH IRRIGATION SYSTEM PER LANDSCAPE ARCHITECT'S PLANS AND SPECIFICATIONS	
C	NEW CONCRETE CURBS, 6" x 6" TYP. U.N.O., SEE CIVIL AND ARCH'L. DETAILS 12" WIDE AT END PARKING STALLS, TYPICAL	
D	6'-0" X 4'-0" NEW DIAMOND PLANTER IN PARKING LOT	
E	90° H.C. PARKING STALL STRIPING PER TITLE 24 STANDARDS - 4" PAINTED STRIPES, 'V' INDICATES VAN ACCESS. STALL RE:17/A-0.5	10 A-2.0
F	RAMP @ SIDEWALK PER TITLE 24 STANDARDS, EXISTING	
G	DISABLED PARKING NOTICE SIGN, POSTED AT EACH ENTRY TO SITE RE: 15/A-0.5	6 A-2.0
H	90° PARKING STALL AT CURB PER TITLE 24 STANDARDS - 4" PAINTED STRIPES PER ARCHITECTURAL DETAIL (STRIPING IS 9'X16" WITH A 2' OVERHANG PER OCEANSIDE STANDARDS TYPICAL @ ALL CURB PARKING STALLS WHERE POSSIBLE.	9 A-2.0
I	PATH OF TRAVEL TITLE 24 - MIN. 4'-0" WIDE PER CIVIL PLANS	
J	10'-0" CONCRETE APRON AT TRASH ENCLOSURE PER ARCH. DET. RE:20/A-0.5	11 A-2.0
K	NEW LOADING DOCK	
L	CONCRETE BASE FOR TYP. SITE LIGHT STANDARD, 30" ø x 30" HIGH, FINISH'D RE: ELEC. FOR LOCATIONS RE: STRUCTURAL FOR BASE DETAIL	
M	PAINT FIRE LANES RED PER LOCAL FIRE DEPARTMENT REQUIREMENTS	
N	NEW TRASH ENCLOSURE	11 A-2.0
O	EXISTING ELECTRIC METERS	
P	NEW FIRE HYDRANT	
Q	P.V. BACKFLOW VALVE, FDC LOCATION. ALL THE REQUIRED DUCTWORK FOR THE SPRINKLER CONNECTION TO BE CONSIDERED BY THE UNDERGROUND WORK-CONTRACTOR.	
R	EXISTING LOADING DOCK	
S	EXISTING TRASH ENCLOSURE. PROVIDE NEW DOORS FOR THIS ENCLOSURE	13 A-2.0
T	EXISTING CURBS	
U	EXISTING PHONE CLOSET	
V	EXISTING WATER HEATER	

BUILDING AREA AND SITE INFORMATION

PREVIOUS USE OF BUILDING 'A'	BANK AND OFFICES (B OCCUPANCY)
PREVIOUS USE OF BUILDING 'B' <td>OFFICES (B OCCUPANCY)</td>	OFFICES (B OCCUPANCY)
BUILDING 'A'	25010 SF
BUILDING 'B'	9300 SF
TOTAL	34310 SF
LOT AVERAGE	4.373 ACRES
LANDSCAPING	46,860 SQ. FT. (24.6%)

VEHICULAR PARKING STALL INFORMATION

OFF-STREET PARKING AND LOADING SPACES REQUIRED	PARKING	LOADING	SIZE
RELIGIOUS ASSEMBLY	4,484 SF / 40	= 112	
OFFICE/BUSINESS	10,630 SF / 300	= 35	1- 12'X35'X14'
S.S. CLASSROOMS	8,037 SF / 00	= 00	1- 10'X20'X10'
EATING AND DRINKING	2,155 SF / 50	= 43	1- 12'X35'X14'
CATERING	2,871 SF / 400	= 7	
TOTAL REQUIRED		197	3
REQUESTED REDUCTION OF 20% (SEE JUSTIFICATION ALREADY PROVIDED TO THE CITY)			
TOTAL REQUIRED AFTER REDUCTION		159	3

STALLS PROVIDED	STANDARD	HANDICAP	LOADING
TOTAL PROVIDED	171	5	3
	180		

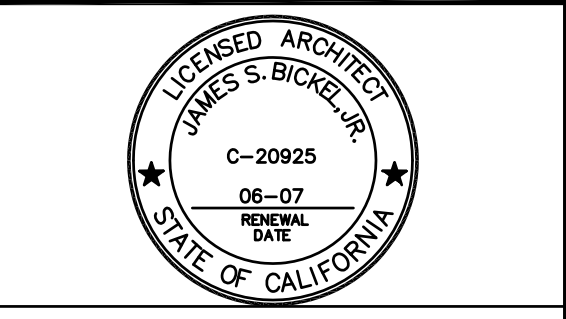
A TRAFFIC ANALYSIS FOR JUSTIFICATION OF PROVIDED PARKING STALLS HAS ALREADY BEEN PROVIDED TO THE CITY.

- NEW PARKING STALLS
- EXISTING PARKING
- PATH OF TRAVEL
- PROPERTY LINE
- BUILDING SETBACK
- NEW LANDSCAPING
- AREAS OF BUILDINGS IN CONTRACT
- EXISTING LANDSCAPING
- CHURCH OWNED PROPERTY OUTSIDE OF SUBJECT PROJECT
- FIRE LANE

DATE/DELTA	REMARKS
04/18/05	PLAN CHECK CORRECTIONS
05/13/05	PLAN CHECK CORRECTIONS
09/22/05	ON SITE CORRECTIONS
12/08/05	REV PER BUILDING INSPECTOR

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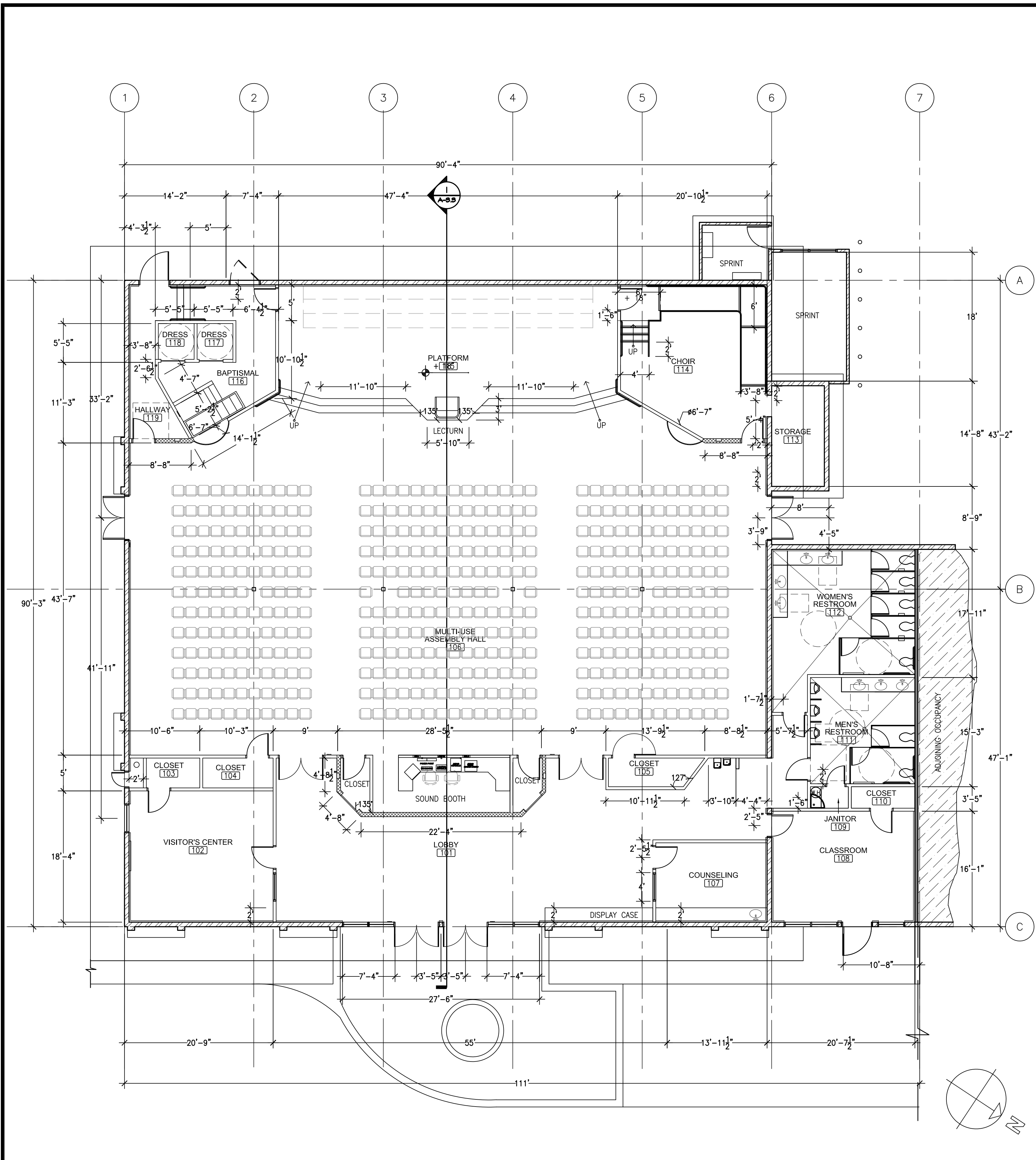
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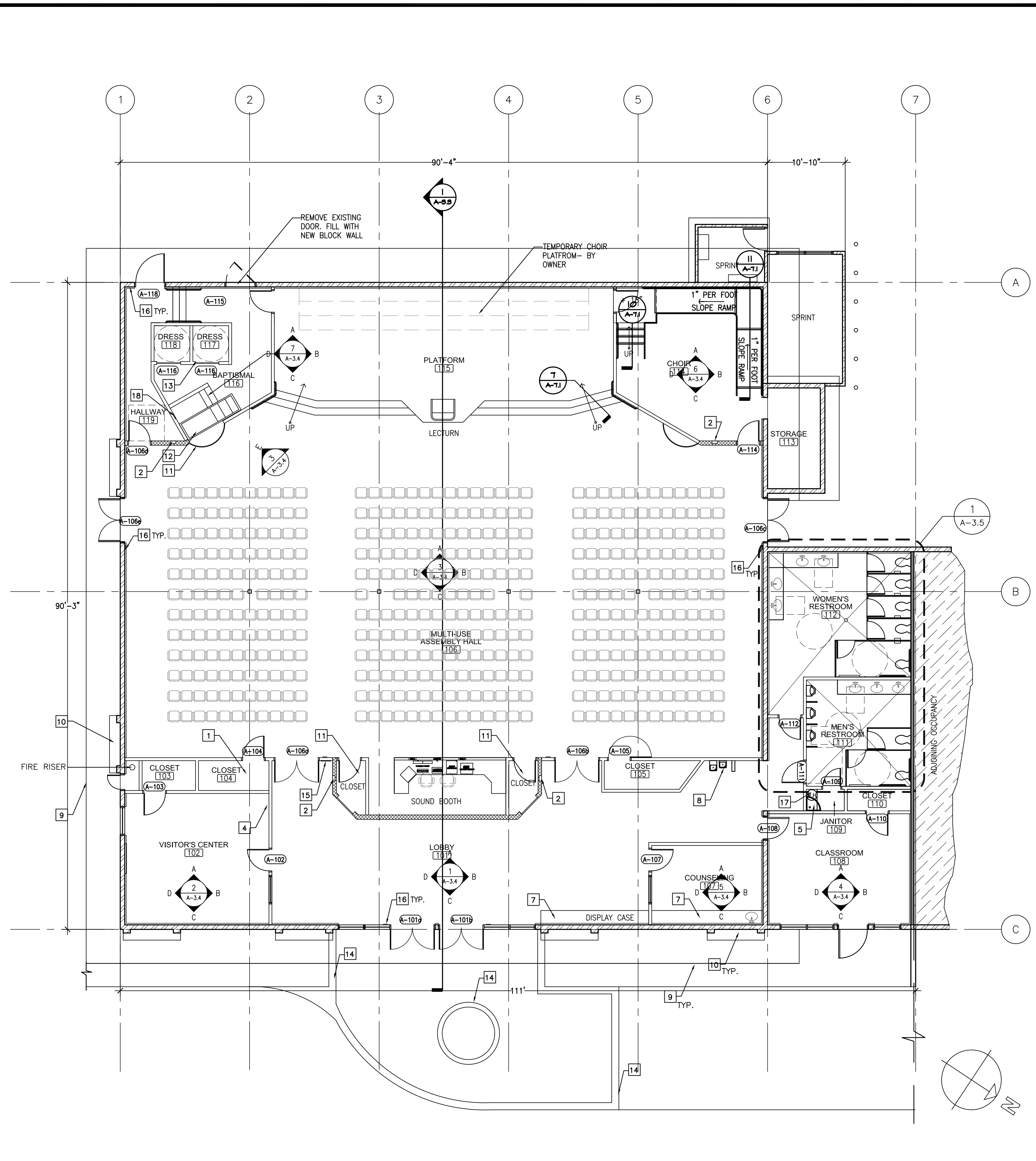
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SHEET TITLE:
SITE PLAN

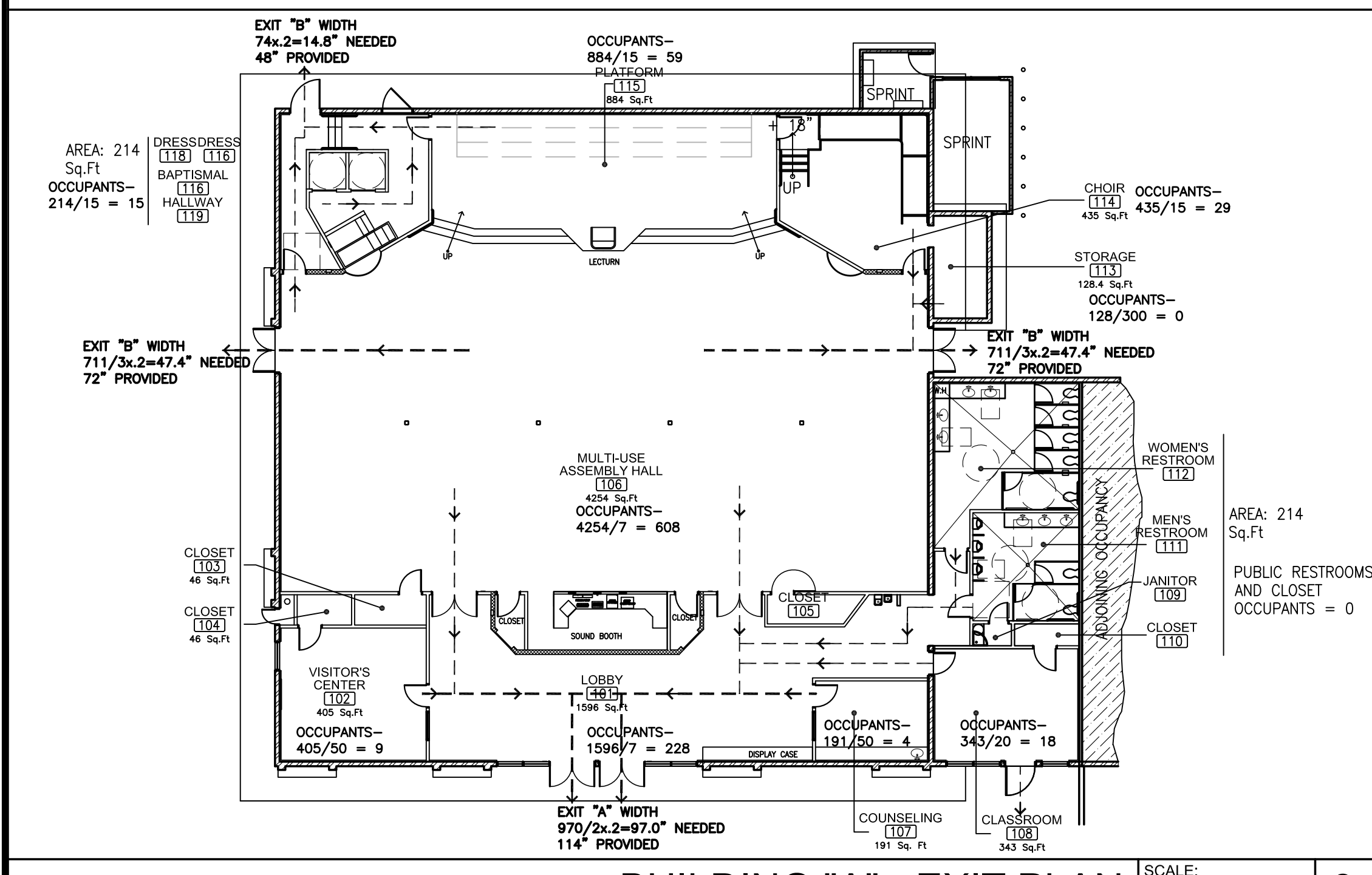
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BID DATE	XX/XX/XX
DATE:	02/02/05
DRAWN BY:	CS
JOB NO:	03090
CHECKED BY:	JBS
SHEET NUMBER:	A-1.0



BUILDING "A" - CHURCH DIMENSION PLAN SCALE: 1/8" = 1'-0" 2



BUILDING "A" - CHURCH FLOOR PLAN SCALE: 1/8" = 1'-0" 1



BUILDING "A" - EXIT PLAN SCALE: 1/16" = 1'-0" 3

- ALL EXIT DOORS LEADING DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT PASSAGEWAY, SHALL HAVE THE WORDS "EXIT ROUTE."
- APPROVED NOTIFICATION APPLIANCES FOR THE HEARING IMPAIRED SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL STANDARD IN RESTROOMS, CORRIDORS, MULTIPURPOSE ROOMS, LOBBY, ASSEMBLY AREA.
- ASSISTIVE LISTENING DEVICE SHALL BE INSTALLED IN THE ASSEMBLY AREA.
- PROPER SIGNAGE INDICATING THE PRESENCE OF ASSISTIVE LISTENING DEVICE SHALL BE POSTED IN A PROMINENT PLACE.
- SEATING IS NOT FIXED. SEATING SHOWN ABOVE IS ONLY A REPRESENTATION AND MAY NOT REFLECT THE ACTUAL ARRANGEMENT.

- GENERAL NOTES**
- GRIDLINES ARE FOR LOCATION OF CENTERLINES OF STRUCTURAL STEEL COLUMNS, CENTERLINES OF STRUCTURAL WALLS AND EDGE OF WALL, U.N.O.
 - DIMENSIONS (EXCEPT GRIDLINES) ARE: EXTERIOR WALLS TO FACE OF SHEATHING AT EXTERIOR SIDE, AND FACE OF FINISH AT INTERIOR U.N.O.
 - SEE WALL LEGEND FOR WALL TYPES.
 - CDX SHEATHING SHALL BE USED FOR ALL VERTICAL (WALL) SHEATHING CONDITIONS CONTRACTOR MAY SUBMIT REQUEST TO ARCHITECT TO SUBSTITUTE OSB FOR CDX. RE: TO STRUCTURAL FOR ALL SHEATHING INFORMATION.
 - ALL RAIN WATER LEADERS, OVERFLOW PIPES AND PLUMBING PIPING, ELEC. CONDUIT ETC. SHALL BE CENTERED IN WALL FRAMING U.N.O.
 - FLOOR PLANS COMMUNICATE BUILDING INFORMATION ONLY. SEE CIVIL & LANDSCAPE DRAWINGS FOR ALL SITE WORK INFORMATION. NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES OCCUR PRIOR TO COMMENCEMENT OF WORK.
 - DEMO ALL DUCTS, CASINGS AND MISCELLANEOUS CASEWORK, ATTACHED TO WALLS BEING DEMOLISHED.
 - REMOVE ALL EXISTING T-BAR CEILINGS FROM THE ROOMS TO BE DEMOLISHED.
 - DEMO ALL EXISTING WALL TILES
 - FILL ALL HOLES/RUTS ON FLOOR AND LEVEL THE SURFACE BEFORE APPLYING FINISH.
 - PLEASE REMOVE AND RELOCATE ALL EXISTING ELECTRICAL PANELS FROM THE RESTROOM.
 - FIRE ALARM SYSTEM AND FIRE RISERS TO BE INSTALLED AS PER CALIFORNIA BUILDING CODE.

- EXISTING CMU WALL TO REMAIN**
- DEMO EXISTING WALLS**
- NEW WALLS - 3 5/8" 20 GA METAL STUD WALL @ 24" O.C. 5/8" TYP X GYP ON BOTH SIDES, WITH R-11 BATT INSULATION. WALL EXTENDS FROM FLOOR LVL TO ROOF. SEE DETAIL 17/A-7.0**
- NEW WALLS - 6" 20 GA METAL STUD WALL @ 24" O.C. 5/8" TYP X GYP ON BOTH SIDES, WITH R-11 BATT INSULATION. WALL EXTENDS FROM FLOOR LVL TO ROOF. SEE DETAIL 17/A-7.0**
- FULL HEIGHT ONE HOUR RATED WALL - 25 GA. 1 1/4" X 3 5/8" STEEL STUDS @ 24" O.C. SEE DETAIL 17/A-7.0**
- 4X4 TIMELY WINDOW DETAILS 9,10, 11/ A-6.0**
- DEMO DOOR**
- EXISTING DOOR TO REMAIN**

- KEYNOTES**
- ROOF HATCH RE: 14 A-7.0 LADDER RE: 18 A-7.0
 - FIRE EXTINGUISHER, RECESSED POTTER ROEMER FRC-7060-B
 - EXISTING COLUMNS
 - FURNITURE/FIXTURE - N.I.C
 - MOP SINK
 - MARKER BOARDS
 - CASEWORK PER INTERIOR ELEVATIONS
 - DRINKING FOUNTAIN 16 A-7.0
 - SOFFIT LINE ABOVE
 - ARCH PER EXTERIOR ELEVATION
 - DECORATIVE ELEMENT
 - EXISTING BAPTISMAL
 - CURTAIN
 - EXISTING HARDSCAPE
 - MAXIMUM OCCUPANCY SIGNAGE 8 A-7.0
 - TACTILE EXIT SIGNAGE 14 A-7.1
 - WATER HEATER 13 A-7.1
 - ELECTRIC CIRCUIT PANEL FOR BAPTISTRY

REVISIONS

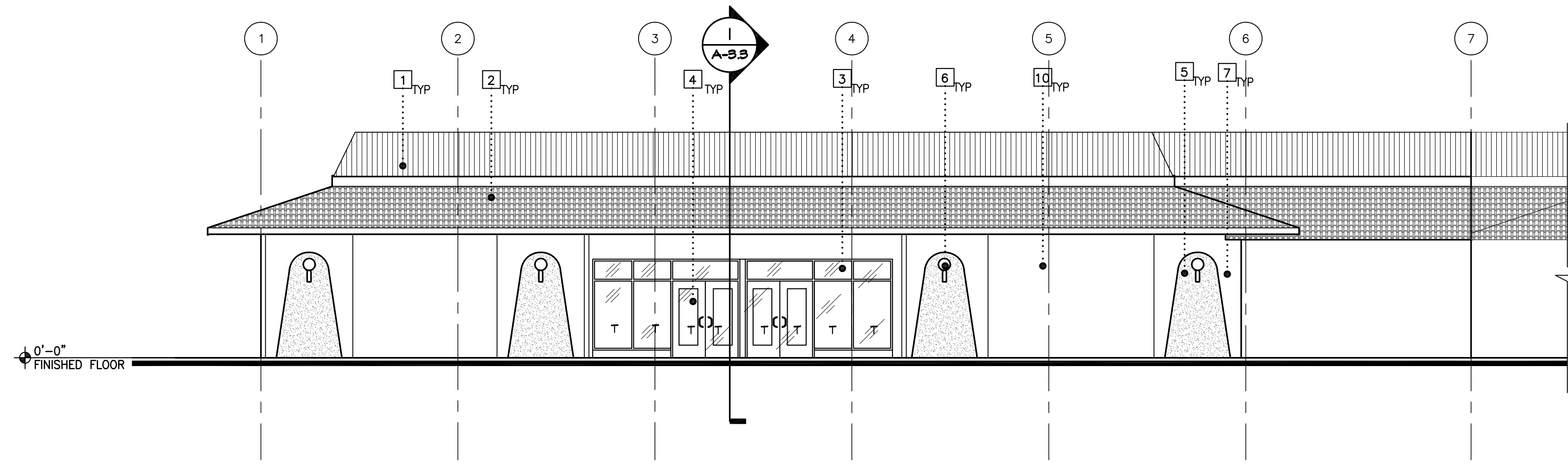
DATE/DELTA	REMARKS
04/18/05	PLAN CHECK CORRECTIONS
05/13/05	PLAN CHECK CORRECTIONS
09/22/05	ON SITE CORRECTIONS
12/08/05	REV PER BUILDING INSPECTOR

COASTLINE BAPTIST CHURCH
 SANCTUARY BUILDING AND SUNDAY SCHOOL
 Contact: PASTOR STEVE CHAPPELL
 547 VISTA BELLA OCEANSIDE, CA 92057
 PHONE: (760) 754-2302

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FLOOR PLAN AND DIMENSION FLOOR PLAN

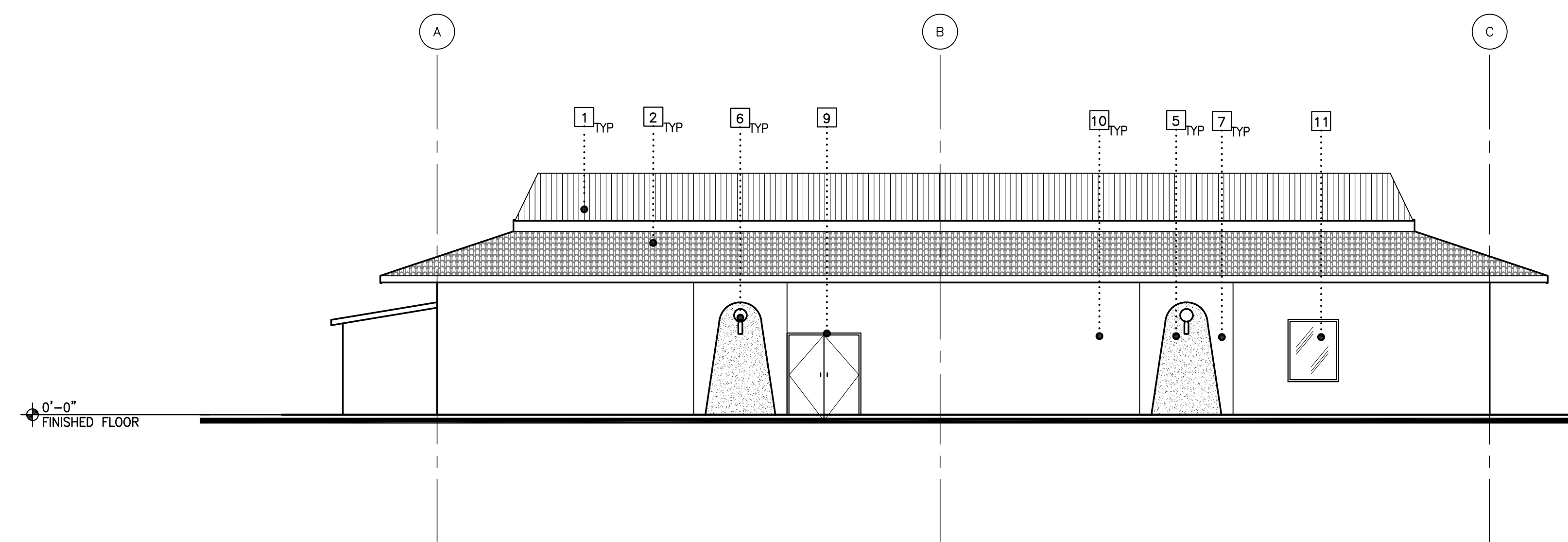
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 DATE: 02/02/05
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 SHEET NUMBER: **A-3.0**



BUILDING A - SANCTUARY EAST ELEVATION

SCALE: 1/8" = 1'-0"

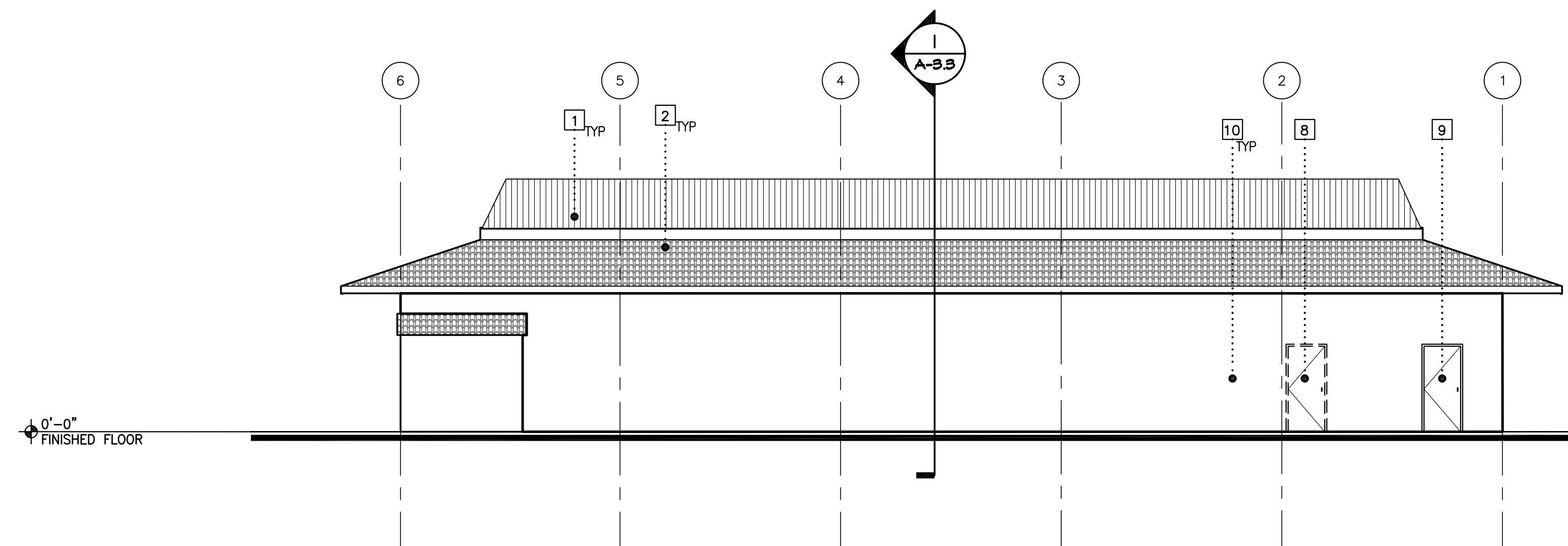
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BUILDING A - SANCTUARY - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

2



BUILDING A - SANCTUARY - WEST ELEVATION

SCALE: 1/8" = 1'-0"

3

GENERAL NOTES

- A. ALL ELEVATIONS GIVEN ARE RELATIVE TO THE FINISH FLOOR.
- B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, FACE OF MASONRY, CENTER LINE OF POST OF COLUMN, OR EDGE OF SLAB U.N.O.
- C. "T" TEMPERED CLEAR SAFETY GLASS FILLINGS WITH PERMANENT IDENTIFICATION MARK PER SECTION 2406.4
- D. DARK BRONZE ANODIZED ALUMINUM S.F. SYSTEM. GLAZING SHALL BE 1" INSULATED CLEAR GLASS.

KEY NOTES

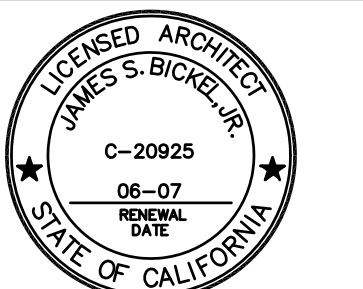
- 1 EXISTING WOOD PARAPET WALL
- 2 EXISTING TILE ROOF
- 3 EXISTING STOREFRONT WINDOWS
- 4 NEW STOREFRONT DOORS
- 5 EXISTING ARCH
- 6 EXISTING EXTERIOR LIGHTING FIXTURE
- 7 EXISTING PAINTED STUCCO PROJECTIONS
- 8 EXISTING DOOR TO BE REMOVED
- 9 NEW DOOR
- 10 EXISTING PAINTED MASONRY SLUMP BLOCK
- 11 NEW 4'X5' WINDOW

REVISIONS

DATE/DELTA	REMARKS
04/18/05	PLAN CHECK CORRECTIONS
05/13/05	PLAN CHECK CORRECTIONS
09/22/05	ON SITE CORRECTIONS
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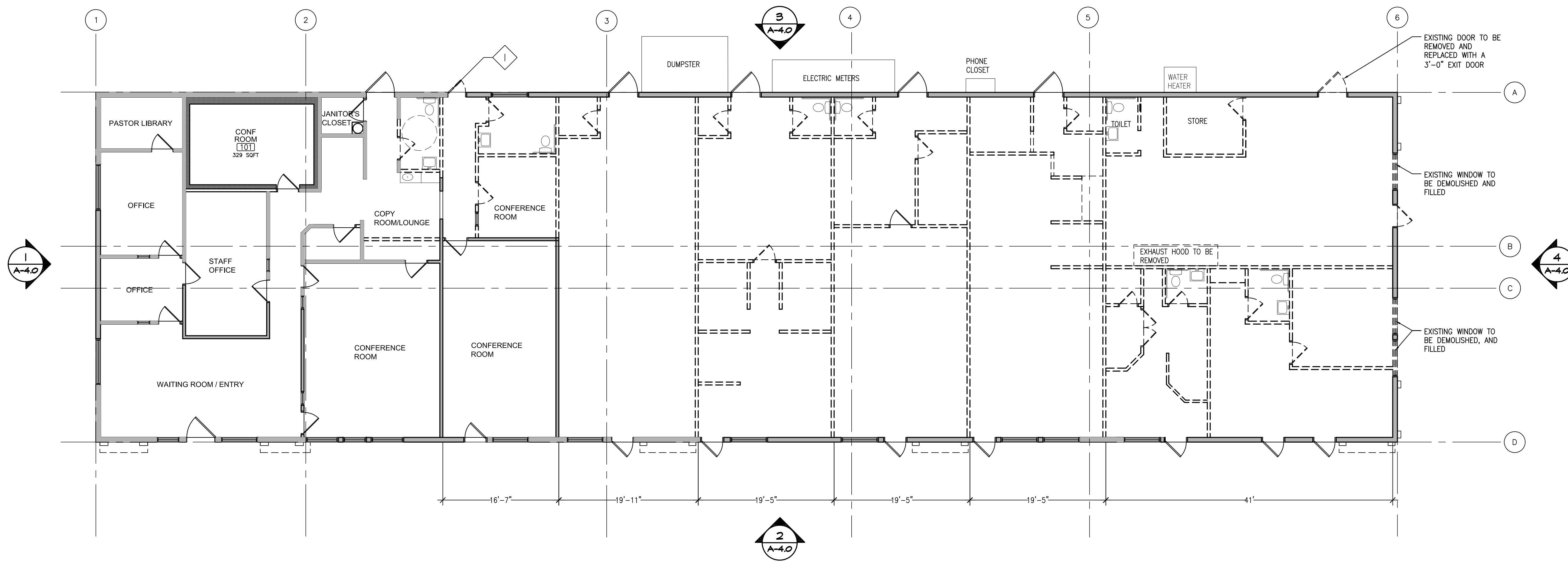


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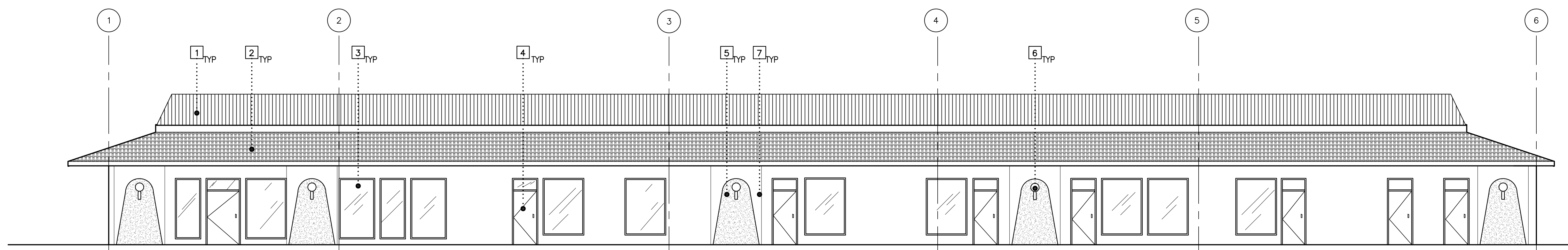
SHEET TITLE:
BUILDING A-SANCTUARY EXTERIOR ELEVATIONS

SUB DATE: 03/17/05
 BID DATE: XX/XX/XX
 DATE: 02/02/05
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 JOB NO: 03090
 CHECKED BY: JBS

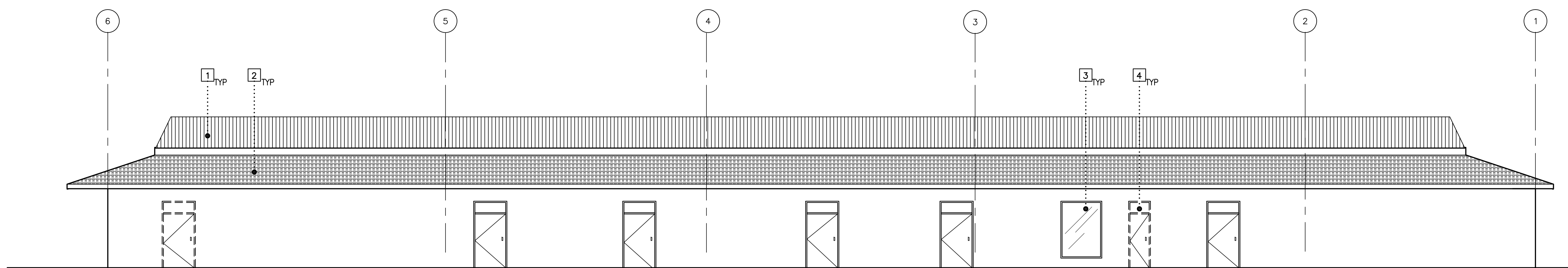
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A-3.2



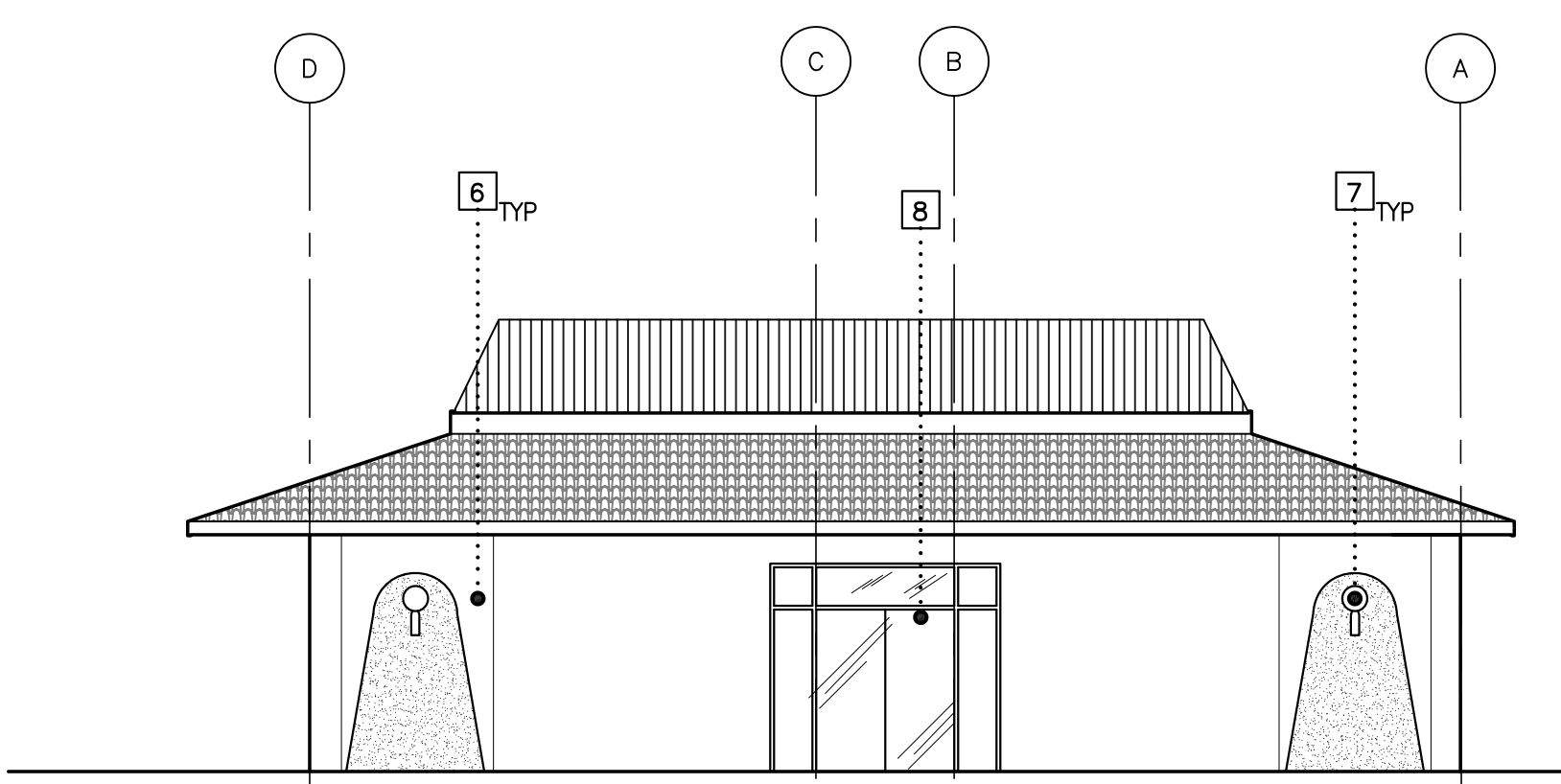
DEMOLITION PLAN- SCHOOL BUILDING SCALE: 1/8" = 1'-0" 1



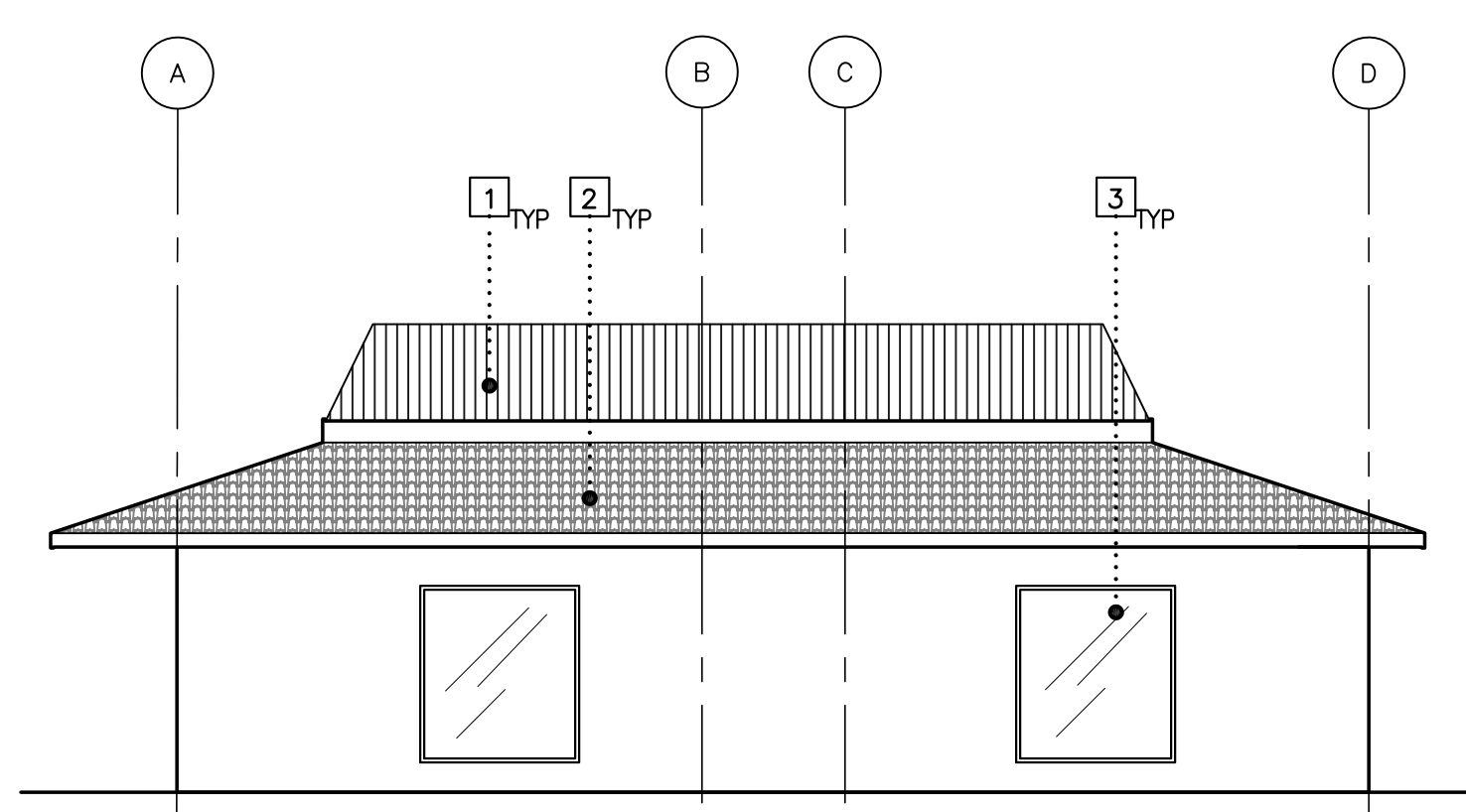
DEMOLITION PLAN- NORTH ELEVATION SCALE: 1/8" = 1'-0" 2



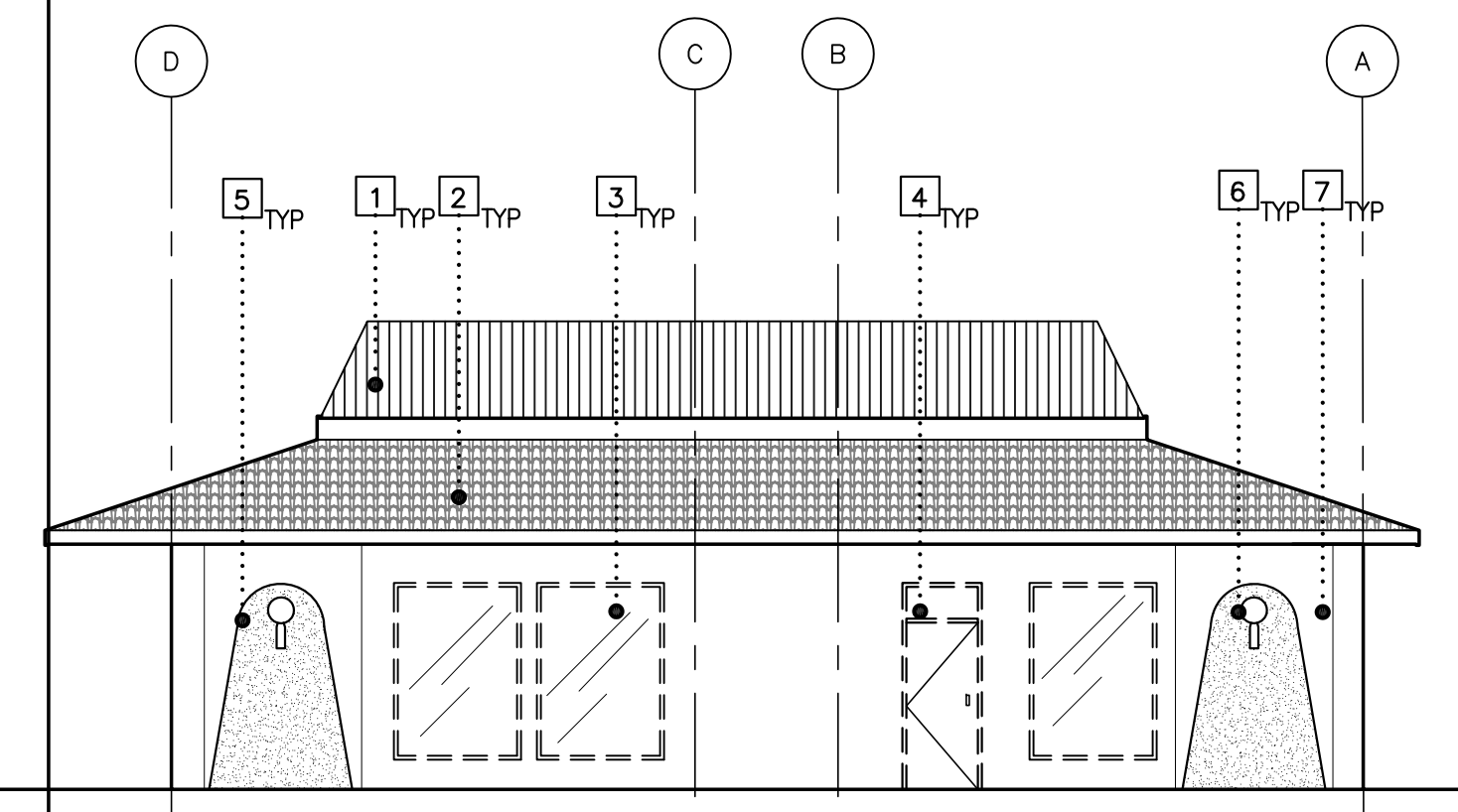
DEMOLITION PLAN- SOUTH ELEVATION SCALE: 1/8" = 1'-0" 3



NEW- WEST ELEVATION SCALE: 1/8" = 1'-0" 6



DEMOLITION PLAN- EAST ELEVATION SCALE: 1/8" = 1'-0" 5



DEMOLITION PLAN- WEST ELEVATION SCALE: 1/8" = 1'-0" 4

GENERAL NOTES

DEMO ALL DUCTS, CASINGS AND MISCELLANEOUS CASEWORK, ATTACHED TO WALLS BEING DEMOLISHED.
REMOVE ALL EXISTING T-BAR CEILINGS FROM THE ROOMS TO BE DEMOLISHED.

- EXISTING WALL TO REMAIN
- DEMO EXISTING WALLS
- NEW WALLS
- DEMO DOOR
- EXISTING DOOR TO REMAIN
- EXHAUST HOOD TO BE REMOVED
- SAVE DOOR FOR REUSE
- DOORS TO BE REMOVED
- WINDOWS TO BE REMOVED

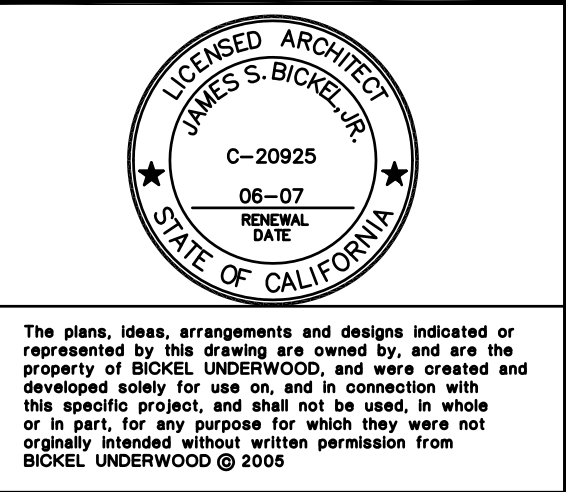
KEY NOTES

- 1 EXISTING WOOD PARAPET WALL
- 2 EXISTING TILE ROOF
- 3 EXISTING STOREFRONT WINDOWS
- 4 EXISTING STOREFRONT DOORS
- 5 EXISTING ARCH
- 6 EXISTING EXTERIOR LIGHTING FIXTURE
- 7 EXISTING PAINTED STUCCO PROJECTIONS
- 8 NEW STOREFRONT DOOR

DATE/DELTA	REMARKS
04/18/05	PLAN CHECK CORRECTIONS
05/13/05	PLAN CHECK CORRECTIONS
09/22/05	ON SITE CORRECTIONS
12/08/05	REV PER BUILDING INSPECTOR

COASTLINE BAPTIST CHURCH
SANCTUARY BUILDING AND SUNDAY SCHOOL
Contact: PASTOR STEVE CHAPPELL
547 VISTA BELLA OCEANSIDE, CA 92057
PHONE: (760) 754-2302

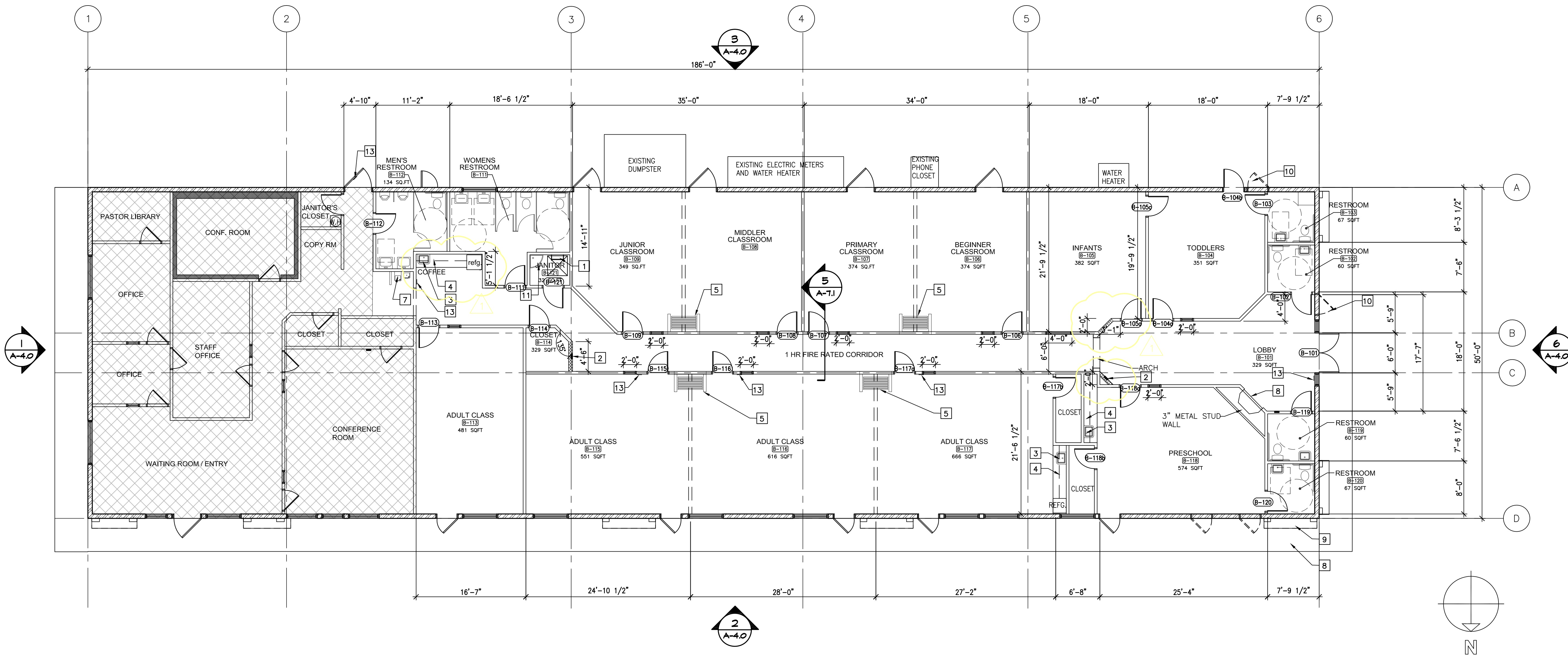
BICKEL UNDERWOOD
JAMES S. BICKEL JR., ARCHITECT
A CALIFORNIA CORPORATION
3600 Birch Street . Suite 120 . Newport Beach, CA 92660
949. 757 - 0411 FAX 949. 757 - 0511



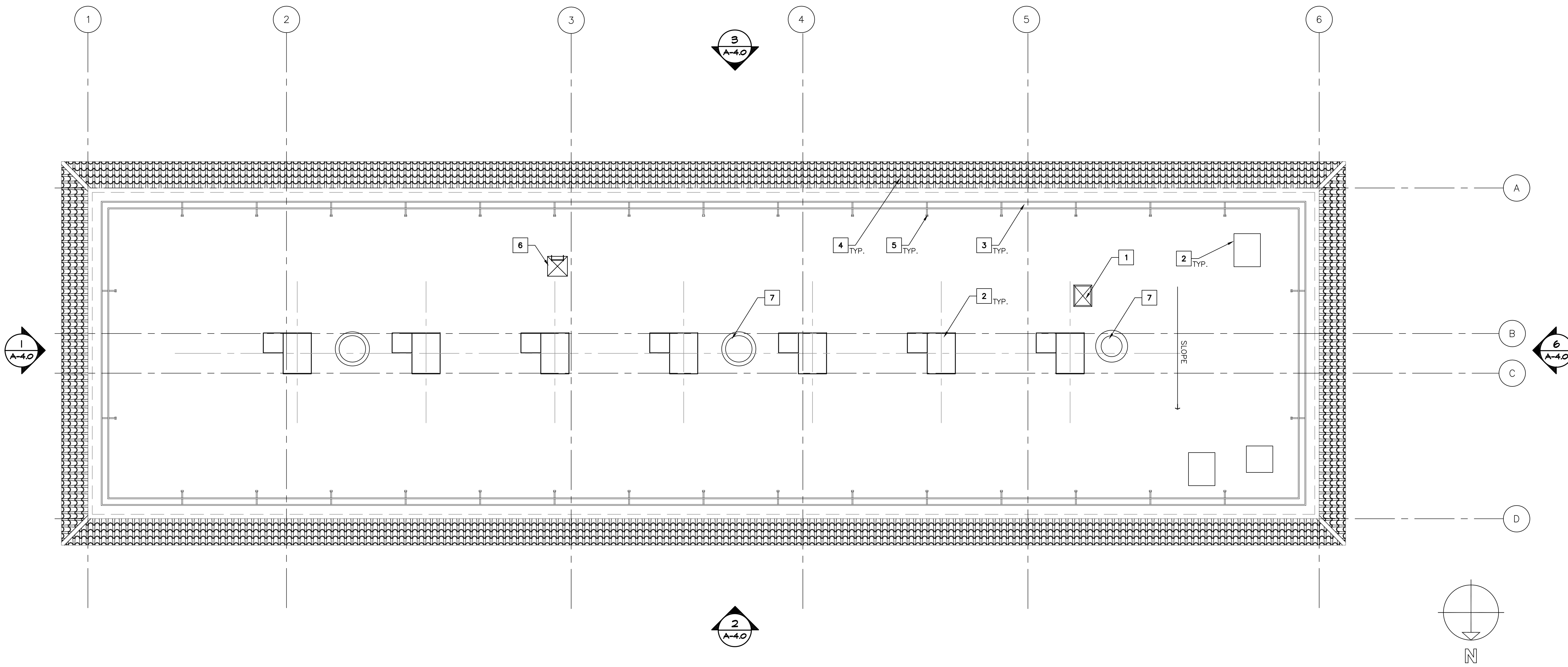
DEMOLITION PLAN AND ELEVATIONS

SUB DATE	03/17/05
BID DATE	XX/XX/XX
DATE:	02/02/05
DRAWN BY:	CS
JOB NO:	03090
CHECKED BY:	JBS

SHEET NUMBER: **A-4.0**



FLOOR PLAN- SCHOOL BUILDING SCALE: 1/8" = 1'-0" 2



ROOF PLAN- SCHOOL BUILDING SCALE: 1/8" = 1'-0" 1

GENERAL NOTES

- GRIDLINES ARE FOR LOCATION OF CENTERLINES OF STRUCTURAL STEEL COLUMNS, CENTERLINES OF STRUCTURAL WALLS AND EDGE OF WALL, U.N.O.
- DIMENSIONS (EXCEPT GRIDLINES) ARE: EXTERIOR WALLS TO FACE OF SHEATHING AT EXTERIOR SIDE, AND FACE OF FINISH AT INTERIOR U.N.O.
- SEE WALL LEGEND FOR WALL TYPES.
- CDX SHEATHING SHALL BE USED FOR ALL VERTICAL (WALL) SHEATHING CONDITIONS. CONTRACTOR MAY SUBMIT REQUEST TO ARCHITECT TO SUBSTITUTE OSB FOR CDX. RE: TO STRUCTURAL FOR ALL SHEATHING INFORMATION.
- ALL RAIN WATER LEADERS, OVERFLOW PIPES AND PLUMBING PIPING, ELEC. CONDUIT ETC. SHALL BE CENTERED IN WALL FRAMING U.N.O.
- FLOOR PLANS COMMUNICATE BUILDING INFORMATION ONLY. SEE CIVIL & LANDSCAPE DRAWINGS FOR ALL SITE WORK INFORMATION. NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES OCCUR PRIOR TO COMMENCEMENT OF WORK.
- ALL EXIT DOORS LEADING DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT PASSAGEWAY, SHALL HAVE THE WORDS "EXIT ROUTE."
- APPROVED NOTIFICATION APPLIANCES FOR THE HEARING IMPAIRED SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL STANDARD IN RESTROOMS CORRIDORS MULTIPURPOSE ROOMS

FLOOR PLAN KEYNOTES

- ROOF HATCH RE: (14 A-7.0) (18 A-7.0)
- FIRE EXTINGUISHER (13 A-7.0)
- COUNTER TOP MOUNTED SINK (3 A-7.0)
- CASEWORK PER INTERIOR ELEVATIONS
- FOLDING WALL - KWIK-WALL MODEL 2030 - STC 49 OR EQUAL (TYP. OF 2)
- FURNITURE- N.I.C
- DRINKING FOUNTAIN (16 A-7.0)
- SOFFIT LINE ABOVE
- ARCH PER EXTERIOR ELEVATION
- EXISTING DOOR TO BE REMOVED
- JANITOR'S SINK
- WALL HOLDING FLAT SCREEN TV
- TACTILE EXIT SIGNAGE (14 A-7.1)

ROOF PLAN KEYNOTES

- ROOF ACCESS HATCH. HATCH SHAFT HAS GYP BD ON THE INSIDE ONLY
- EXISTING MECHANICAL UNITS
- PARAPET
- EXISTING ROOF
- EXISTING PITCH POCKET TO HOLD PARAPET
- NEW ROOF ACCESS
- EXISTING VENTS

WALL LEGEND

- EXISTING CMU WALL TO REMAIN
- NEW WALLS- 3 5/8" 20 GA METAL STUD WALL @ 24" O.C. 5/8" TYP X GYP ON BOTH SIDES, WITH R-11 BATT INSULATION. WALL EXTENDS FROM FLOOR LVL TO ROOF.DET 17/A7.0
- NEW WALLS- 6" 20 GA METAL STUD WALL @ 24" O.C. 5/8" TYP X GYP ON BOTH SIDES, WITH R-11 BATT INSULATION. WALL EXTENDS FROM FLOOR LVL TO ROOF.DET 17/A7.0
- DEMO DOOR
- EXISTING DOOR TO REMAIN
- STOREFRONT DOOR CENTERED IN GLAZING (BETWEEN ELEMENTS) WHEN POSSIBLE. GLAZING HEIGHT 10'-0" ALL EQUAL PANELS RE: 9, 10 AND 7/A-6.0
- EXISTING OFFICE NOT IN CONTRACT
- TIMLEY 3/4 HOUR RATED WINDOW

ROOF SYMBOL LEGEND

- H.V.A.C. PACKAGE UNIT
- ROOF HATCH

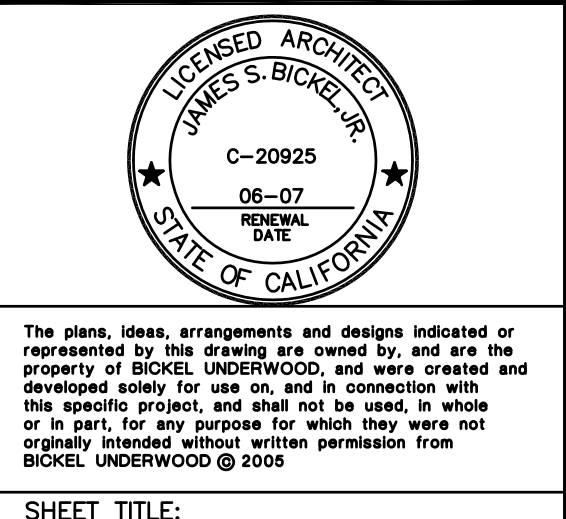
NOTE: ALL T.S. & T.P. DIM'S. ARE FROM BLDG. FINISHED FLOOR ELEVATION 0'-0"

REVISIONS

DATE/DELTA	REMARKS
04/18/05	PLAN CHECK CORRECTIONS
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FLOOR PLAN & ROOF PLAN

SHEET TITLE: A4.1

SUB DATE: 03/17/05
 BID DATE: XX/XX/XX
 DATE: 02/02/05
 DRAWN BY: CS
 JOB NO: 03090
 CHECKED BY: JES
 SHEET NUMBER: