

¹AGENDA
OCEANSIDE DEVELOPER'S CONFERENCE

Wednesday, October 3, 2018, 9:30 a.m.
City Hall South, 1st Floor, Guajome Room

1. 9:30 - 10:30 a.m. Proposed 138 room, 2-story hotel with subterranean parking located at 901 N. Coast Highway

Zoning: Downtown D-7B
Land Use: Downtown
Neighborhood Area: Townsite
Assessor Parcel Number(s): 143-201-11
Contact Person: Clyde Kim
Email: ckim@architectsck.com

1. 10:30 - 11:30 a.m. Proposed development of two vacant parcels with a proposed 2,400 SF metal industrial building to house metal furniture manufacturing (west of Benet Road and Jones Road)

Zoning: IL (Limited Industrial)
Land Use: LI (Light Industrial)
Neighborhood Area: East Side Capistrano
Assessor Parcel Number(s): 146-100-42 & -43
Contact Person: Bruce Tait
Email: btait@taitconsulting.com

Attachments:

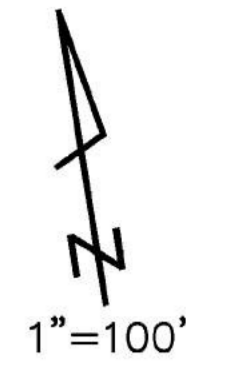
1. Parcel Map
2. Project Description Letter
3. Conceptual Site Plans
4. Vicinity/Regional Maps

¹ *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*

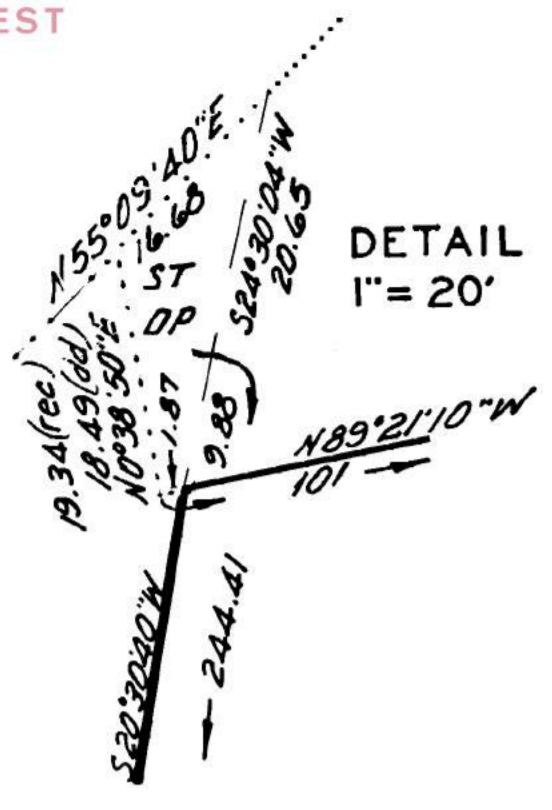
THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

ITEM #1

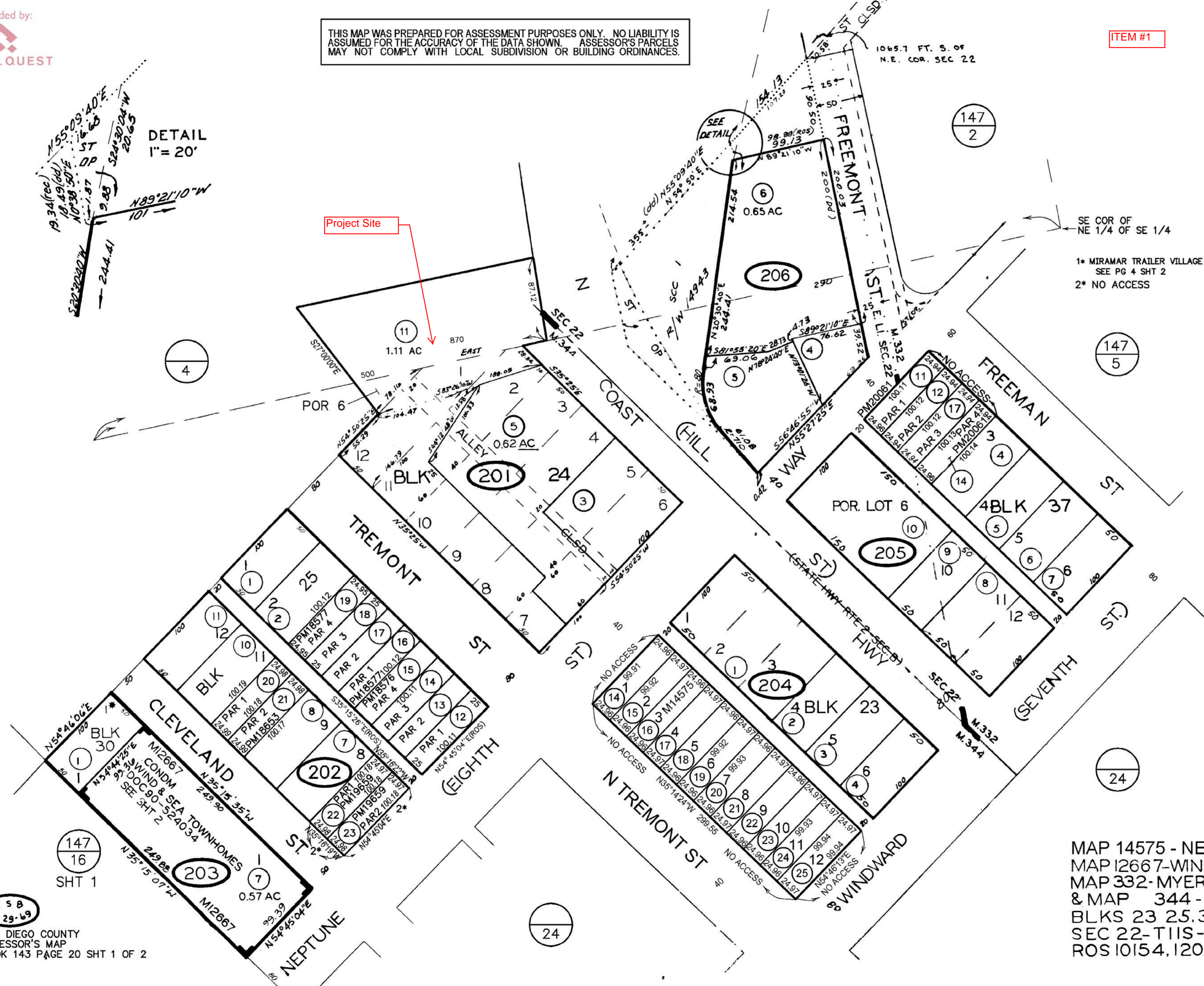
143-20
SHT 1 OF 2



143-20, 21 & 25



Project Site

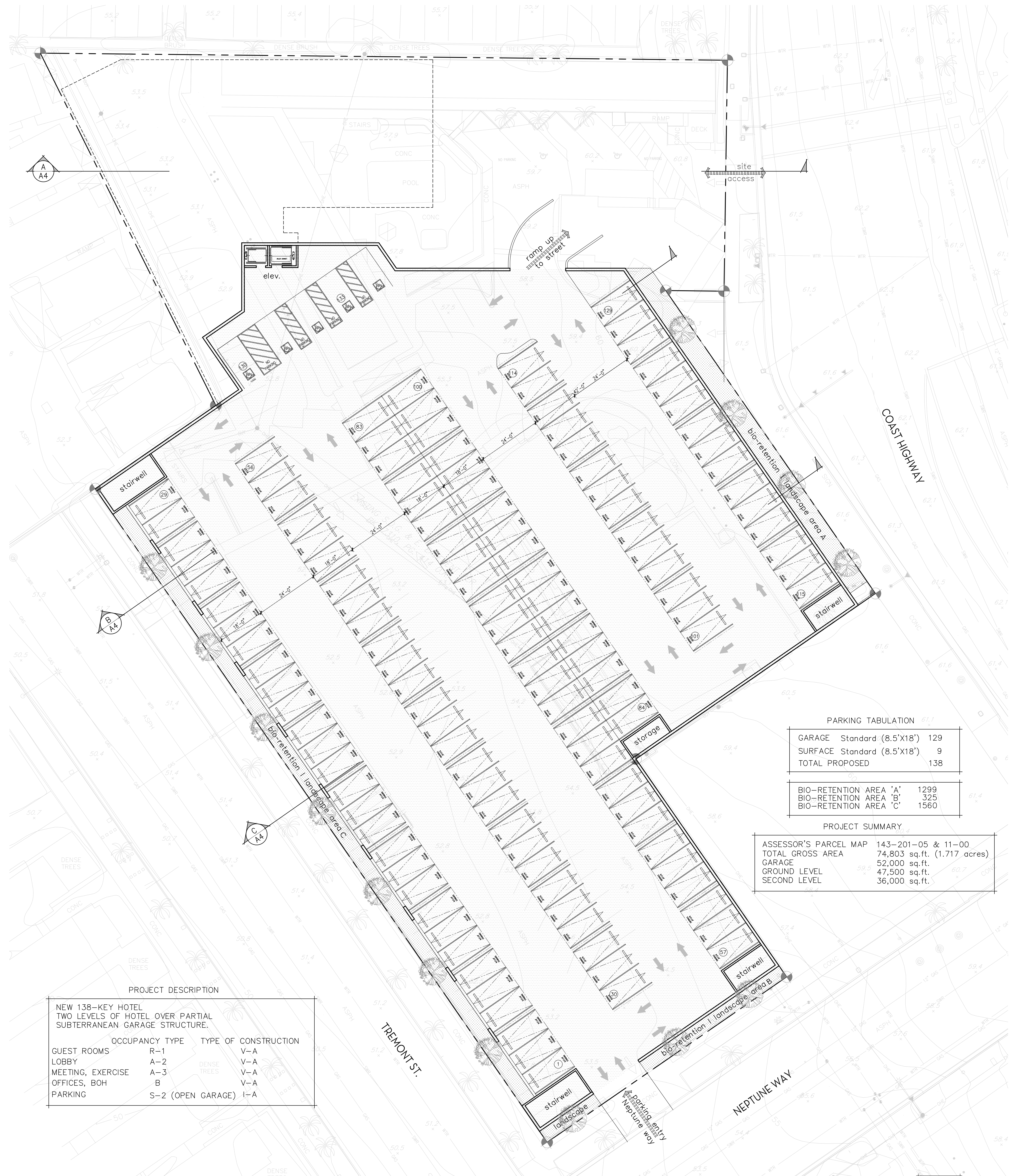


SE COR OF NE 1/4 OF SE 1/4
1* MIRAMAR TRAILER VILLAGE SEE PG 4 SHT 2
2* NO ACCESS

7/23/18 AAA

CHANGES				
BLK	OLD	NEW	YR	CUT
206	03	05&06	70	3234
206	01	WID	70	6006
203	2-6	7	72	4960
201	1,2&4	5&6		
201	2	85 ONLY	748	
	4	85 ONLY	9410	1451
203	7	CONDM	92	590
206	2	POR 147-020-41	99	1692
202	5	12-15	01	1624
202	3&4	16-19	01	1625
202	9	20&21	02	1103
201	6 & 30	11	02	1618
204	6,9&10	11-13	03	1972
204	5,7,8,11,12,13	14-25	04	37
202	6	22&23	06	1215
205	1-3	11-14	07	1306
VOID	205	13&14	15&16	08 1190
	205	13	15&16	08 1190
	205	15&16	17	19 1120

MAP 14575 - NEPTUNE VILLAGE II
MAP 12667-WIND & SEA TOWNHOMES
MAP 332-MYERS & MC COMBERS ADD
& MAP 344-A.J. MYERS ADD
BLKS 23 25, 30 & 37
SEC 22-TIIS-R5W-POR SE 1/4
ROS 10154, 12046, 16663



PARKING TABULATION

GARAGE	Standard (8.5'X18')	129
SURFACE	Standard (8.5'X18')	9
TOTAL PROPOSED		138

BIO-RETENTION AREA 'A'	1299
BIO-RETENTION AREA 'B'	325
BIO-RETENTION AREA 'C'	1560

PROJECT SUMMARY

ASSESSOR'S PARCEL MAP	143-201-05 & 11-00
TOTAL GROSS AREA	74,803 sq.ft. (1.717 acres)
GARAGE	52,000 sq.ft.
GROUND LEVEL	47,500 sq.ft.
SECOND LEVEL	36,000 sq.ft.

PROJECT DESCRIPTION

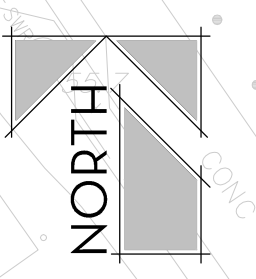
NEW 138-KEY HOTEL TWO LEVELS OF HOTEL OVER PARTIAL SUBTERRANEAN GARAGE STRUCTURE.		
	OCCUPANCY TYPE	TYPE OF CONSTRUCTION
GUEST ROOMS	R-1	V-A
LOBBY	A-2	V-A
MEETING, EXERCISE	A-3	V-A
OFFICES, BOH	B	V-A
PARKING	S-2 (OPEN GARAGE)	I-A

ARCHITECTS 

649 E. BROADWAY LONG BEACH CA 90802
T 310.525.6866 ckim@architectsck.com

PARKING GARAGE LEVEL

PROPOSED 138 ROOM HOTEL
901 N. Coast Highway, Oceanside CA 92054

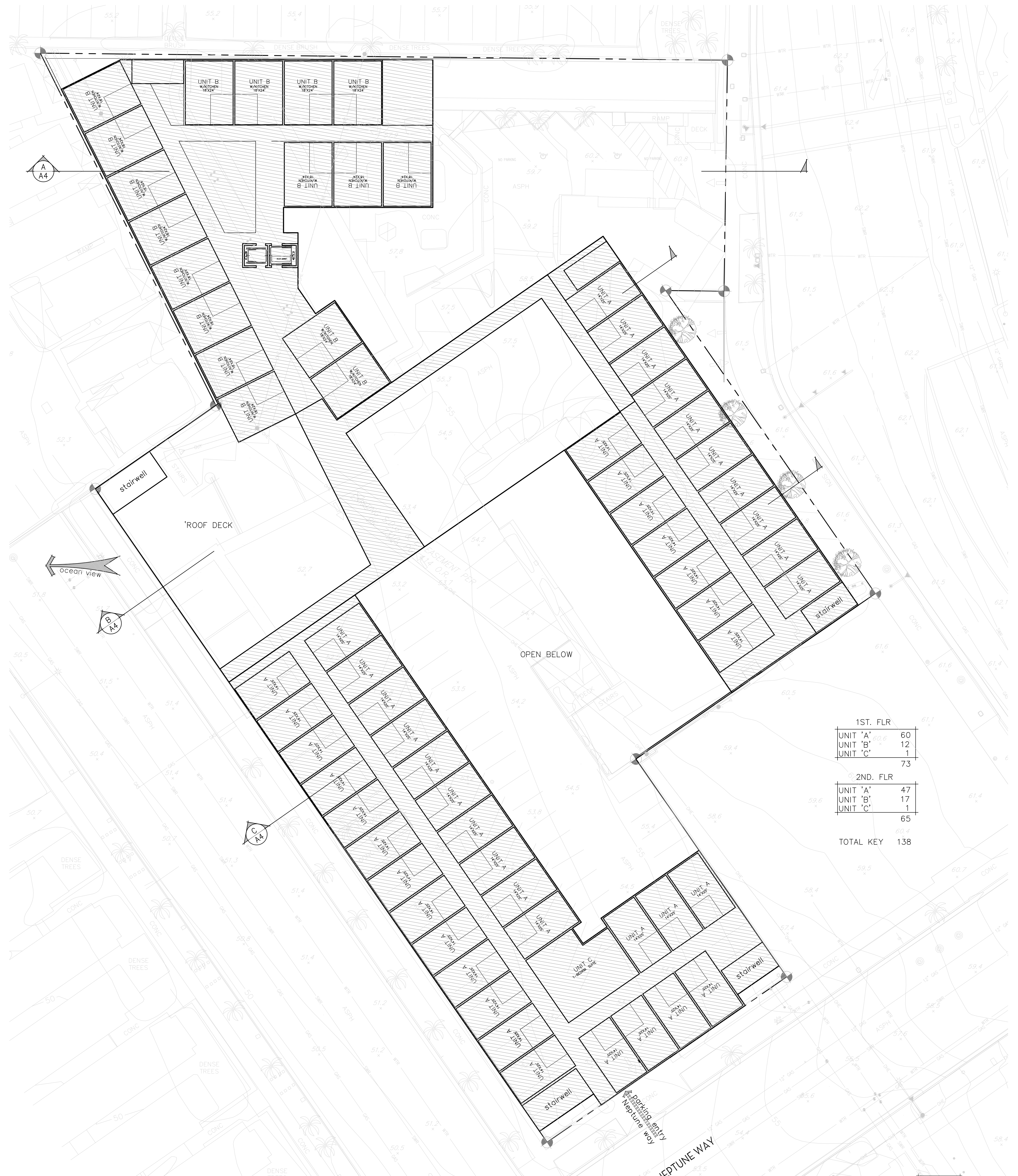
A1 

SCALE: 1/16"=1'-0"
SEPT. 27, 2018



1ST. FLR	
UNIT 'A'	60
UNIT 'B'	12
UNIT 'C'	1
	73
2ND. FLR	
UNIT 'A'	47
UNIT 'B'	17
UNIT 'C'	1
	65
TOTAL KEY	138

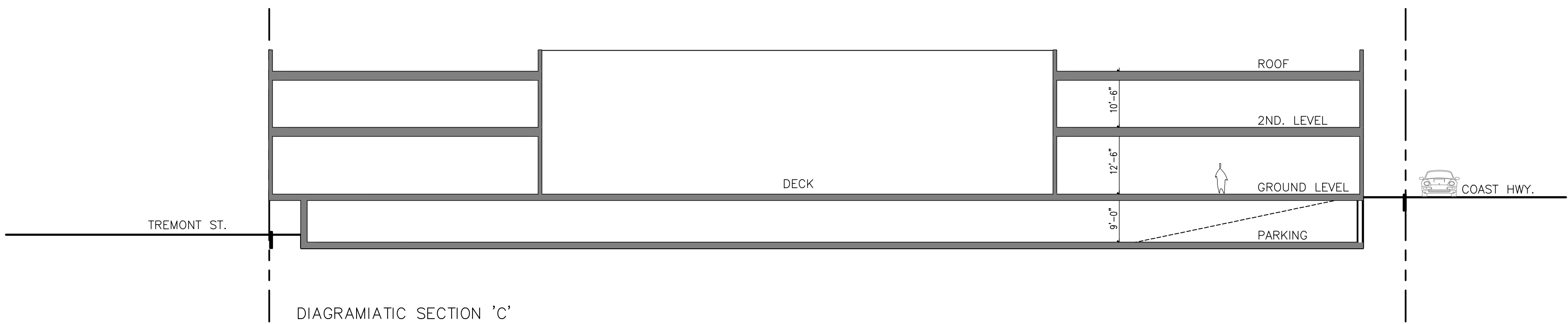
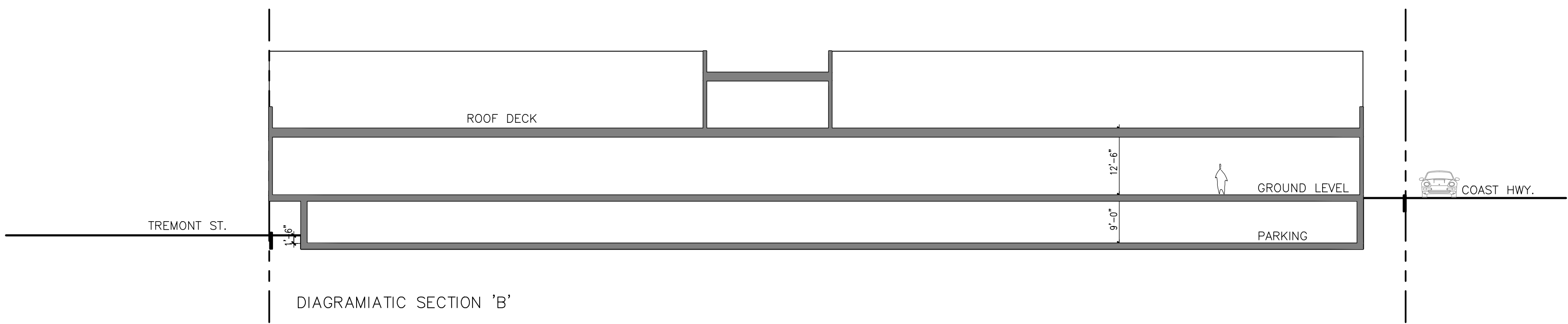
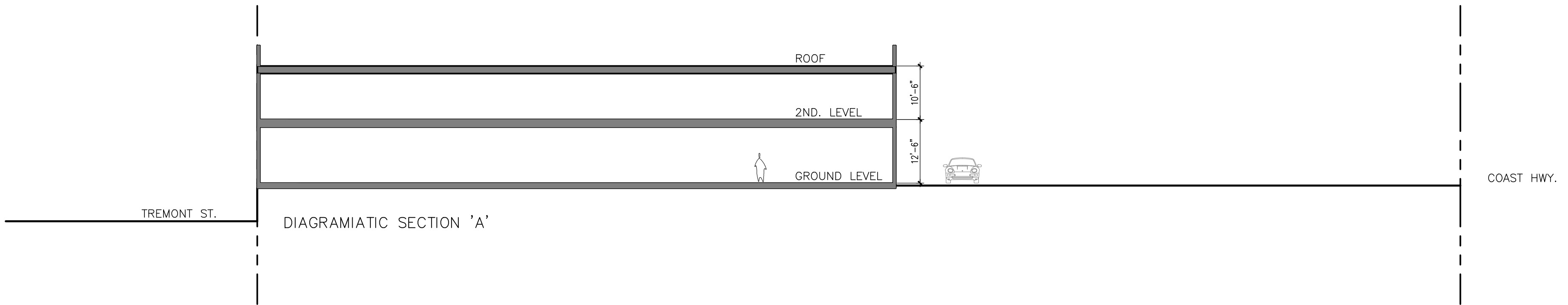
GROUND LEVEL



1ST. FLR	
UNIT 'A'	60
UNIT 'B'	12
UNIT 'C'	1
	73

2ND. FLR	
UNIT 'A'	47
UNIT 'B'	17
UNIT 'C'	1
	65

TOTAL KEY 138



SITE SURVEY

LEGAL DESCRIPTION

PARCEL 1:
A PORTION OF LOTS 1, 2 AND 12 IN BLOCK 24 OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 344, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 1, 1885, TOGETHER WITH THAT PORTION OF THE ALLEY LYING BETWEEN SAID LOTS 1 AND 12 VACATED AND CLOSED TO PUBLIC USE BY RESOLUTION NO. 58-85, EXCEPTING THOSE PORTIONS OF SAID LOTS 1 AND 2 THAT LIE WITHIN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 11 SOUTH, RANGE 5 WEST, SAN BERNARDINO MERIDIAN. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT AT THE INTERSECTION OF AND LYING ON THE NORTHEASTERLY LINE OF SAID LOT 2 AND THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22; THENCE SOUTH 35° 25' 00" EAST, 28.84 FEET ALONG THE NORTHEASTERLY LINE OF SAID LOT 2 TO A POINT 10.00 FEET FROM THE SOUTHEASTERLY CORNER OF SAID LOT; THENCE SOUTH 83° 26' 01" WEST, 188.05 FEET TO THE NORTHWESTERLY LINE OF SAID LOT 12 BEING 55.29 FEET NORTHEASTERLY OF THE SOUTHWESTERLY CORNER OF SAID LOT 12; THENCE ALONG SAID NORTHWESTERLY LINE OF SAID LOT 12 AND ITS NORTHEASTERLY PROLONGATION NORTH 54° 50' 25" EAST, 78.16 FEET TO THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22; THENCE ALONG SAID SOUTH LINE NORTH 90° 00' 00" EAST TO THE POINT OF BEGINNING.

PARCEL 2:
ALL OF LOT 7 IN BLOCK 24 OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 344, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 1, 1885.

PARCEL 3:
ALL OF LOT 8 IN BLOCK 24 OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 344, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 1, 1885, EXCEPTING THE NORTHEASTERLY 40.00 FEET OF SAID LOT.

PARCEL 4:
ALL OF LOT 9 IN BLOCK 24 OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 344, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 1, 1885, EXCEPTING THE NORTHEASTERLY 40.00 FEET OF SAID LOT.

PARCEL 5:
ALL OF LOT 10 IN BLOCK 24 OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 344, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 1, 1885.

PARCEL 6:
A PORTION OF LOTS 2 AND 11 IN BLOCK 24 OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 344, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 1, 1885, TOGETHER WITH THAT PORTION OF THE ALLEY LYING BETWEEN SAID LOTS 2 AND 12 VACATED AND CLOSED TO PUBLIC USE BY RESOLUTION NO. 58-85. THIS PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST WESTERLY CORNER OF SAID LOT 11; THENCE NORTH 54° 50' 25" EAST, 146.79 FEET ALONG THE NORTHWESTERLY LINE OF SAID LOTS 11 AND ITS NORTHEASTERLY PROLONGATION; THENCE NORTH 83° 26' 01" EAST, 13.58 FEET; THENCE SOUTH 44° 12' 48" WEST, 100.33 FEET; THENCE SOUTH 35° 25' 00" EAST, 25.00 FEET TO THE SOUTHEAST LINE OF LOT 11; THENCE SOUTH 54° 50' 25" WEST, 60.00 FEET ALONG SAID SOUTHEAST LINE TO THE SOUTHWEST LINE OF LOT 11; THENCE ALONG SAID SOUTHWEST LINE NORTH 35° 25' 00" WEST, 50.00 FEET AND THE POINT OF BEGINNING.

PARCEL 7:
A PORTION OF LOTS 1 AND 12 IN BLOCK 24 OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 344, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 1, 1885, TOGETHER WITH THAT PORTION OF THE ALLEY LYING BETWEEN SAID LOTS 1 AND 12 VACATED AND CLOSED TO PUBLIC USE BY RESOLUTION NO. 58-85, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST WESTERLY CORNER OF SAID LOT 12; THENCE ALONG THE NORTHWESTERLY LINE NORTH 54° 50' 25" EAST, 55.29 FEET; THENCE NORTH 83° 26' 01" EAST, 104.47 FEET TO THE SOUTHEASTERLY LINE OF LOT 1; THENCE ALONG THE SOUTHEASTERLY LINES OF LOTS 1 AND 12 SOUTH 54° 50' 25" WEST, 146.79 FEET TO THE NORTHWESTERLY LINE OF SAID LOT 12, THENCE ALONG SAID NORTHWESTERLY LINE NORTH 35° 25' 00" WEST, 50.00 FEET TO THE POINT OF BEGINNING.

PARCEL 8:
THAT PORTION OF LOT 6 AND THE SOUTHERLY 87.12 FEET OF THE WEST 500.00 FEET OF THE EAST 870 FEET, OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 11 SOUTH, RANGE 5 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, BOUNDED AS FOLLOWS:
ON THE WEST BY THE EASTERLY LINE OF THE 200.00 FOOT RIGHT OF WAY OF THE ATCHISON, TOPEKA AND SANTA FE RAILROAD ON THE SOUTHEASTERLY BY THE NORTHWESTERLY LINE OF OCEANSIDE, ACCORDING TO MAP THEREOF NO. 344.
EXCEPTING THEREFROM THAT PORTION LYING WESTERLY OF THE LOCATION AND PROLONGATION OF A LINE WHICH BEARS SOUTH 27° 00' 00" EAST FROM A POINT IN THE SOUTHERLY LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 22, DISTANT THEREON 580.36 FEET WEST FROM THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER.

EASEMENTS - EXCEPTIONS

EASEMENTS AND EXCEPTIONS PER SCHEDULE B OF PRELIMINARY TITLE REPORT BY CHICAGO TITLE COMPANY - ORDER NO. 111806920-EA, DATED MAY 14, 2018

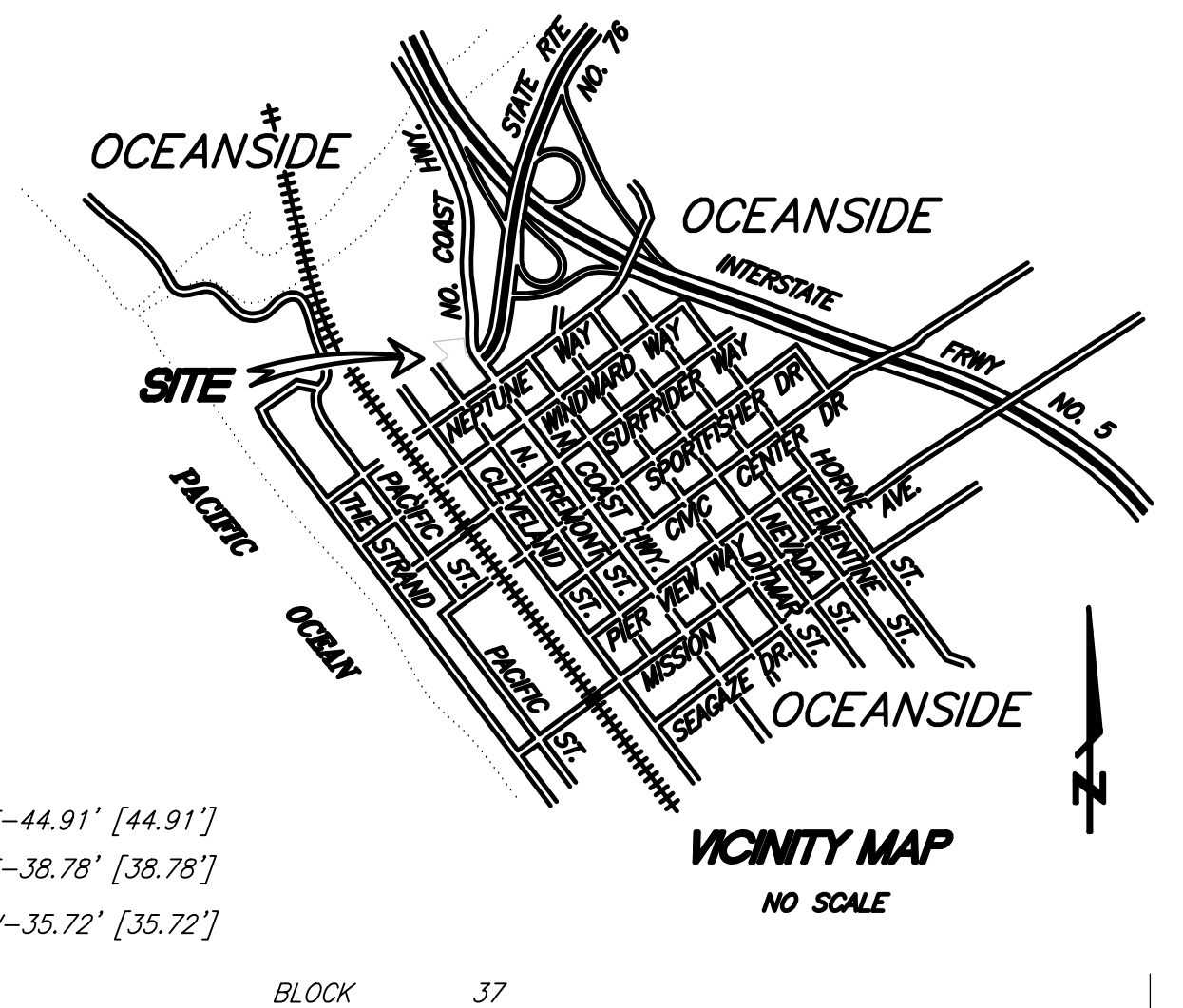
- AN EASEMENT FOR PUBLIC UTILITIES, APPURTENANCES, INGRESS, EGRESS AND RIGHTS INCIDENTAL IN FAVOR OF SAN DIEGO GAS & ELECTRIC COMPANY; PER DOCUMENT RECORDED JANUARY 4, 1928 IN BOOK 1123, PAGE 255 OF DEEDS. (NO SPECIFIC LOCATION) (NOTED HEREON)
- AN EASEMENT FOR PUBLIC UTILITIES, APPURTENANCES, INGRESS, EGRESS AND RIGHTS INCIDENTAL IN FAVOR OF SAN DIEGO GAS & ELECTRIC COMPANY; PER DOCUMENT RECORDED OCTOBER 21, 1958 IN BOOK 7310, PAGE 414 OF OFFICIAL RECORDS. (PLOTTED HEREON)
- THE MATTERS CONTAINED IN AN INSTRUMENT ENTITLED "LOT TIE AGREEMENT", DATED APRIL 24, 1985, BY AND BETWEEN WARNER C. LUSARDI AND THE CITY OF OCEANSIDE, UPON THE TERMS THEREIN PROVIDED, RECORDED MAY 1, 1985 AS INSTRUMENT NO. 85-150780 OF OFFICIAL RECORDS. (NOTED HEREON)
- THE MATTERS CONTAINED IN AN INSTRUMENT ENTITLED "RECIPROCAL DRIVING, PARKING AND PEDESTRIAN USE AGREEMENT BY AND BETWEEN W.C. LUSARDI AND ANDREW LAI AND AUDREY LAI, UPON THE TERMS THEREIN PROVIDED, RECORDED JULY 8, 1986 AS INSTRUMENT NO. 86-280151 OF OFFICIAL RECORDS. (NOTED HEREON)

SURVEYOR'S CERTIFICATE

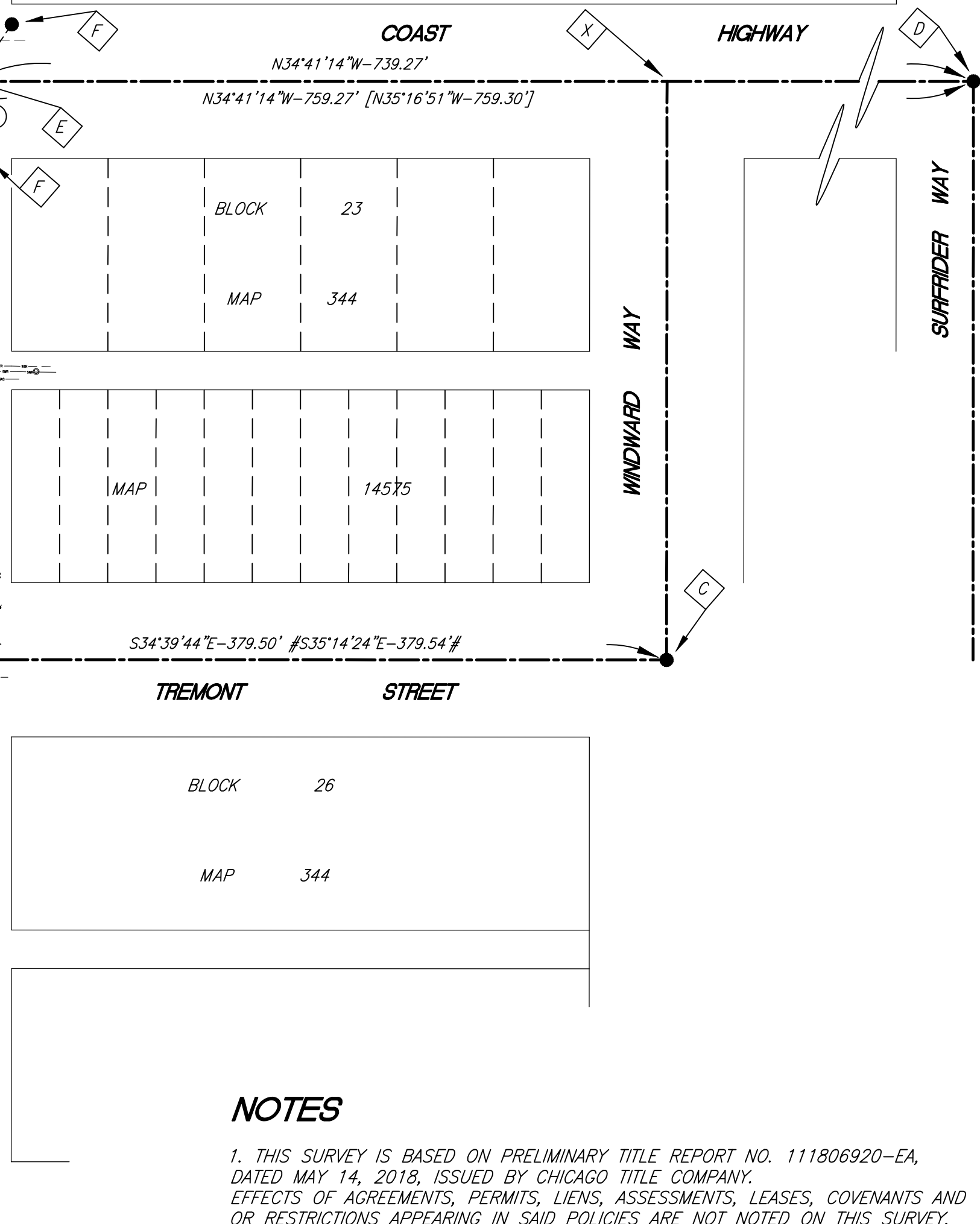
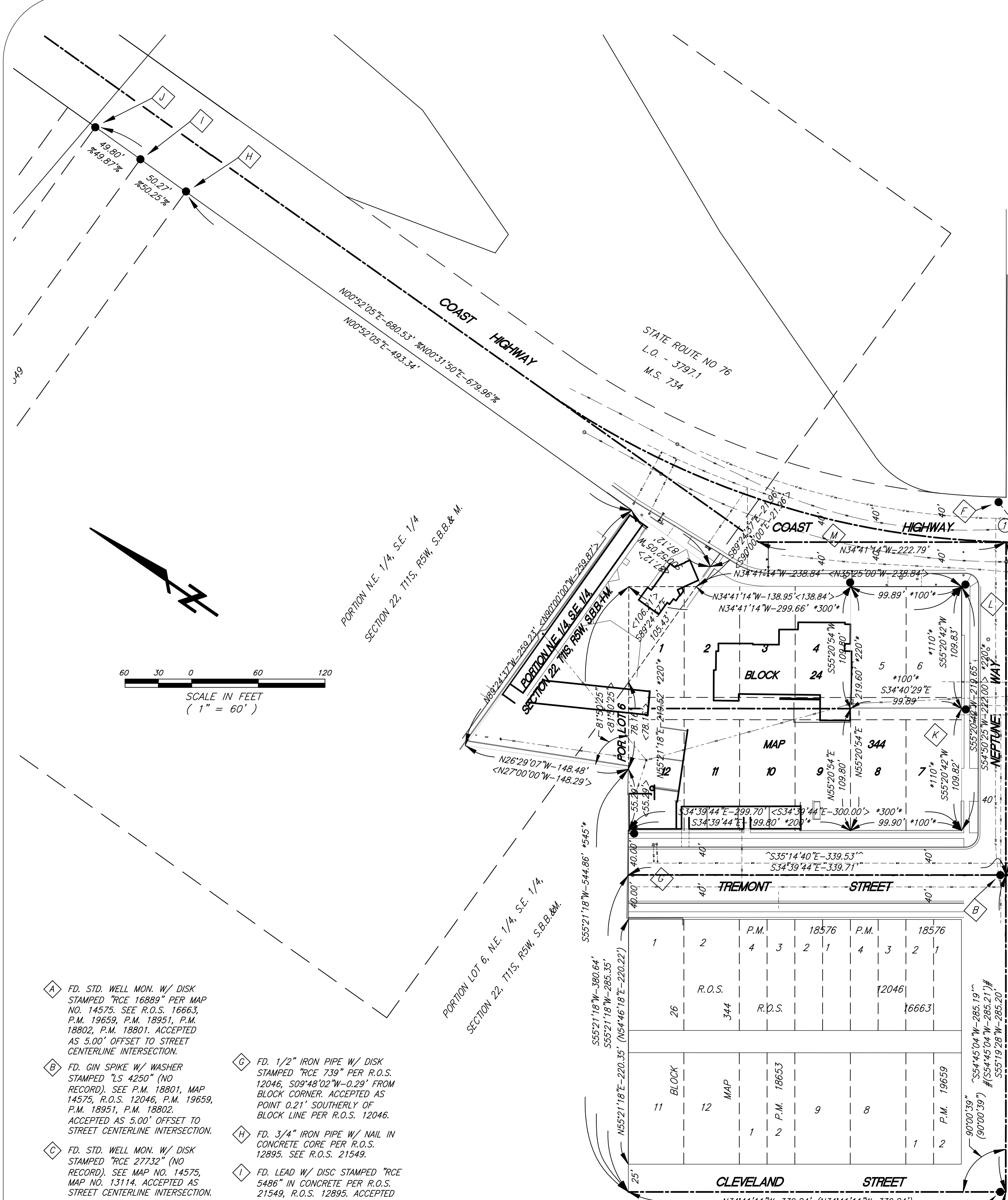
I HEREBY CERTIFY: (a) THAT THE SURVEY REPRESENTED HEREIN IS AN ACCURATE SURVEY OF ALL THE REAL PROPERTY LEGALLY DESCRIBED HEREIN; (b) THAT THE WITHIN SURVEY, PROPERLY AND ACCURATELY INDICATES AND LOCATES ALL VISIBLE IMPROVEMENTS ON THE REAL PROPERTY AS OF THE DATE OF THE SURVEY, AUGUST 20, 2018; (c) THAT THE WITHIN SURVEY WAS PREPARED UNDER THE DIRECT SUPERVISION AND CONTROL OF THE UNDERSIGNED FROM AN ACTUAL SURVEY MADE OF THE REAL PROPERTY LEGALLY DESCRIBED HEREIN; (d) THAT THERE ARE NO ENCROACHMENTS ACROSS PROPERTY LINES, EXCEPT AS SHOWN HEREON; (e) INGRESS AND EGRESS TO THE SUBJECT PROPERTY IS PROVIDED BY NO. COAST HIGHWAY (FORMALLY HILL STREET), NEPTUNE WAY (FORMALLY 8TH STREET) AND NORTH TREMONT STREET, UPON WHICH THE PROPERTY ABUTS, THE SAME BEING PAVED AND DEDICATED RIGHT-OF-WAYS MAINTAINED BY THE CITY OF OCEANSIDE.

NOTE: SECTION 8770.6 OF THE PROFESSIONAL LAND SURVEYORS ACT IN THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA STATES THAT THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" HEREON ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

STEVEN M. HOWELL L.S. 5758
MY REGISTRATION EXPIRES 06/30/20



- ① N18°46'32"E-44.91' [44.91']
- ② N47°11'03"E-38.78' [38.78']
- ③ S89°29'40"W-35.72' [35.72']



- A. FD. STD. WELL MON. W/ DISK STAMPED "RCE 18889" PER MAP NO. 14575. SEE R.O.S. 16663, P.M. 19659, P.M. 18951, P.M. 18802, P.M. 18801. ACCEPTED AS 5.00' OFFSET TO STREET CENTERLINE INTERSECTION.
- B. FD. GIN SPIKE W/ WASHER STAMPED "LS 4250" (NO RECORD). SEE P.M. 18801, MAP 14575, R.O.S. 12046, P.M. 19659, P.M. 18951, P.M. 18802. ACCEPTED AS 5.00' OFFSET TO STREET CENTERLINE INTERSECTION.
- C. FD. STD. WELL MON. W/ DISK STAMPED "RCE 27732" (NO RECORD). SEE MAP NO. 14575, MAP NO. 13114. ACCEPTED AS STREET CENTERLINE INTERSECTION.
- D. FD. SPIKE W/ WASHER STAMPED "COS CITY ENG" PER MAP 13114, C.R. 17665, P.M. 15462. ACCEPTED AS CENTERLINE INTERSECTION.
- E. CENTERLINE INTERSECTION ESTABLISHED FROM CITY TIE POINTS FILED WITH P.M. 20061. NOTE: MONUMENT PER P.M. 20061 NOT FD.
- F. FD. LEAD W/ TACK IN TOP OF CURB. ACCEPTED AS TIE POINT FOR STREET CENTERLINE INTERSECTION PER CITY TIES FOR P.M. 20061. NOTE: MONUMENT PER P.M. 20061 NOT FD.
- G. FD. 1/2" IRON PIPE W/ DISK STAMPED "RCE 739" PER R.O.S. 12046, S09°48'02"W-0.29' FROM BLOCK CORNER. ACCEPTED AS POINT 0.21' SOUTHERLY OF BLOCK LINE PER R.O.S. 12046. ACCEPTED AS 5.00' OFFSET TO STREET CENTERLINE INTERSECTION.
- H. FD. 3/4" IRON PIPE W/ NAIL IN CONCRETE CORE PER R.O.S. 12895. SEE R.O.S. 21549.
- I. FD. LEAD W/ DISK STAMPED "RCE 5486" IN CONCRETE PER R.O.S. 21549, R.O.S. 12895 ON WESTERLY RIGHT-OF-WAY OF NORTH COAST HIGHWAY PER R.O.S. 21549.
- J. FD. 2" IRON PIPE W/ DISK STAMPED "RCE 5486" PER R.O.S. 21549, R.O.S. 12895 ON WESTERLY RIGHT-OF-WAY OF NORTH COAST HIGHWAY PER R.O.S. 21549.
- K. FD. 3/4" IRON PIPE W/ NAIL IN CONCRETE CORE (NO RECORD), S10°22'34"E-0.17' FROM LOT CORNER.
- L. FD. 3/4" IRON PIPE W/ NAIL IN CONCRETE CORE (NO RECORD), S77°49'35"E-0.34' FROM LOT CORNER.
- M. FD. 3/4" IRON PIPE W/ NAIL IN CONCRETE CORE (NO RECORD), N26°05'51"E-0.15' FROM LOT CORNER.

LEGEND

- () RECORD DATA PER R.O.S. 12046
- [] RECORD DATA PER P.M. 20061
- ⌋ RECORD DATA PER P.M. 19659
- * RECORD DATA PER R.O.S. 21549
- # RECORD DATA PER MAP NO. 344
- ⚡ RECORD DATA PER MAP NO. 14575
- > RECORD DATA PER CERTIFICATE OF COMPLIANCE RECORDED 05-01-1985 AS DOC. NO. 85-151894 O.R.
- R.O.S. DENOTES RECORD OF SURVEY
- P.M. DEMOTES PARCEL MAP

BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS CITY OF OCEANSIDE CONTROL PT. NO. 1003, A STD. WELL MONUMENT WITH DISK STAMPED "RCE 33069" AT THE CENTERLINE INTERSECTION OF PACIFIC STREET AND NEPTUNE WAY. ELEVATION = 46.17 FEET NAVD88 DATUM

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE NAD83 GRID BEARING BETWEEN CITY OF OCEANSIDE CONTROL POINTS 1003 AND 1005 AS SAID POINTS ARE SHOWN AND DESCRIBED ON RECORD OF SURVEY MAP NO. 21787. I.E. SOUTH 47°07'31" EAST

NOTES

- THIS SURVEY IS BASED ON PRELIMINARY TITLE REPORT NO. 111806920-EA, DATED MAY 14, 2018, ISSUED BY CHICAGO TITLE COMPANY. EFFECTS OF AGREEMENTS, PERMITS, LIENS, ASSESSMENTS, LEASES, COVENANTS AND OR RESTRICTIONS APPEARING IN SAID POLICIES ARE NOT NOTED ON THIS SURVEY.
- EXISTING LAND USE: COMMERCIAL
- FIELD SURVEY OF THIS SITE WAS PERFORMED ON AUGUST 7, 9, 14 & 20, 2018 BY STEVEN M. HOWELL, LAND SURVEYOR, LS 5758.
- ASSESSOR PARCEL NO. 143-201-05 & 11-00
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND IS BASED ON RECORD INFORMATION AND FIELD LOCATION OF SURFACE FACILITIES INDICATED ON THIS SURVEY.
- LEGAL DESCRIPTIONS SHOWN UNDER THE CAPTION (LEGAL DESCRIPTION) ARE FROM THE PRELIMINARY TITLE REPORT DESCRIBED IN NOTE 1 AND ARE BASED ON RECORD INFORMATION ONLY AND MAY NOT REFLECT ADJUSTMENTS MADE BY BOUNDARY SURVEYS AND FUTURE MAPPING EFFORTS.
- TOTAL GROSS AREA: 74,803 SQ. FT. (1.717 ACRES)
- BOUNDARY SHOWN IS BASED ON RECORD INFORMATION AND FOUND MONUMENTS PER RECORD OF SURVEY NO. 12046, PARCEL MAP NO. 20061, PARCEL MAP NO. 19659, RECORD OF SURVEY NO. 21549, MAP NO. 14575 AND MAP NO. 344.

STEVEN M. HOWELL,
LAND SURVEYOR
9760 MESA SPRINGS WAY #33
SAN DIEGO, CA. 92126
(858) 621-6050
2018-25 09/03/2018

SITE SURVEY

LEGEND

- INDICATES POINT FOUND AND DESCRIBED AS SHOWN.
- - - - - INDICATES SITE BOUNDARIES
- WTR EXISTING WATER LINE
- SEWER EXISTING SEWER LINE
- OHE EXISTING OVERHEAD ELECTRIC
- GAS EXISTING GAS LINE
- SD EXISTING MANHOLE (SWR=SEWER) (SD=STORM DRAIN)
- WTR EXISTING WATER GATE VALVE
- LIT EXISTING LIGHT - 18" BASE
- TS EXISTING TRAFFIC SIGNAL
- WTR EXISTING WATER METER
- EXISTING TREE
- EXISTING PALM TREE
- INDICATES EXISTING CONCRETE CURB AND GUTTER
- INDICATES EXISTING CONCRETE CURB
- TC INDICATES TOP OF CURB
- FL INDICATES FLOWLINE
- GRD INDICATES EXISTING GROUND
- TW INDICATES TOP OF WALL
- AC INDICATES ASPHALT
- CONC INDICATES CONCRETE
- TS INDICATES TRAFFIC SIGNAL
- SL INDICATES STREET LIGHTING
- PM INDICATES PARCEL MAP



STEVEN M. HOWELL,
 LAND SURVEYOR
 9760 MESA SPRINGS WAY #33
 SAN DIEGO, CA. 92126
 (858) 621-6050
 2018-25 09/03/2018



REGIONAL MAP

818 Crestview Court



San Marcos, CA 92078



Phone 760 613-1613





VICINITY MAP

818 Crestview Court

|

San Marcos, CA 92078

|

Phone 760 613-1613





August 14, 2018

Ms. Tiffany Chen
Planning Department
City of Oceanside
300 North Coast Highway
Oceanside, CA 92054

RE: Proposed Project On Benet Road – Developers Conference

Dear Ms. Chen,

The proposed project is on Benet Road on Assessor's Parcel Numbers 146-100-42 & 43. The proposed project is for the manufacture of metal furniture and would include:

1. A metal industrial building of approximately 2400 sf.
2. 3 parking spaces
3. 1 loading zone
4. Additional storage of non-flammable materials accessed via a gravel driveway
5. Grading for two pads with driveways and parking (grading will require a combination of segmented and CMU retaining walls).
6. If the total amount of new or replaced impervious area is more than 5,000 sf, the project will provide for treatment control storm water BMPs.
7. Construction of the building may be under an existing power line of less than 69 KV. Preliminary feedback from SDG&E indicates that this is acceptable to them.
8. Sidewalk across the property frontage.
9. Pavement enhancement or repair as necessary to comply with design criteria for a non-collector industrial street.
10. 1 water service
11. 1 sewer service
12. No offsite storm drain improvements are proposed.

In addition:

There are some slopes on the site in excess of 20% with a elevation differential of greater than 25 feet, so the site will be designed in accordance with the Hillside Regulations. There are no slopes qualifying as significant natural resources on the site.

We will be requesting a directors waiver of Hillside Regulations M(1) and M(2) regarding roof plans and horizontal offsets, since this project is in an industrial zone and would be harmony with the existing character of the area.

A geotechnical investigation is underway

We look forward to discussing this project with the City.

Sincerely,



Bruce Tait
RCE 32247

TOPOGRAPHICAL SURVEY

VACANT LAND, BENET ROAD, OCEANSIDE CA

OWNER:
HEIRS OR DEVISEES OF CHRISTOPHER ADAMS
JACK & TAMRA COX (TAMRA COX FAMILY TRUST)

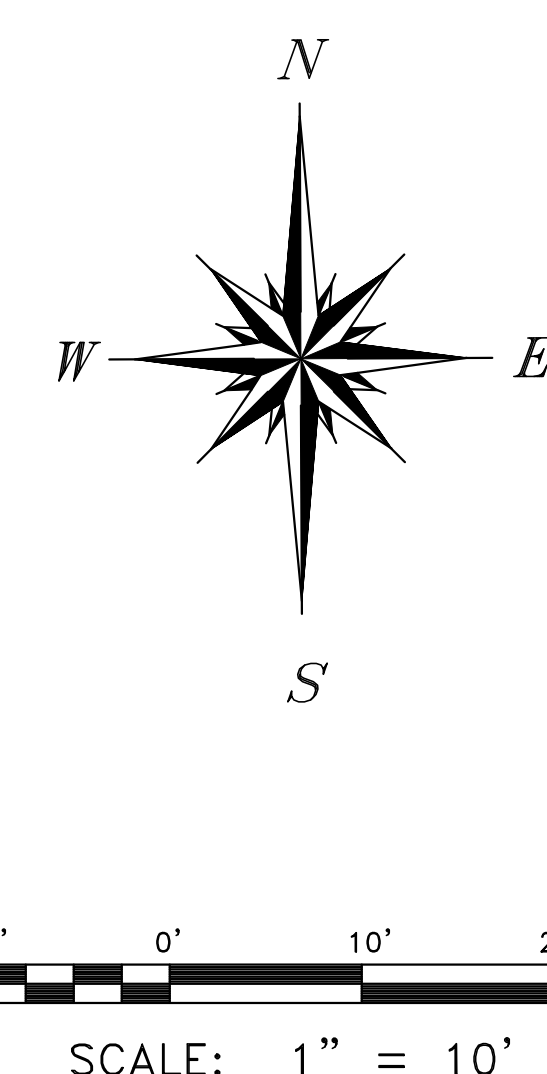
ASSESSOR'S PARCEL NUMBER:
146-100-42 & 146-100-43

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, GRID BEARING BETWEEN HIGH STATION 1011 AND CP1 PER CONTROL SURVEY AS SHOWN ON RECORD OF SURVEY 16709 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 29, 2000.

BENCHMARK FOR THIS SURVEY IS THE ABOVE STATED GPS CONTROL STATION NO. CP11 PER SAID RECORD OF SURVEY 16709, BEING A 2.5" BRASS DISC STAMPED "RCE 26748" @ N 2,016,448.059, E 6,224,822.040 CONVERTED ELEVATION PER CORPSCON6=41.54 CITY DATUM: (NAVD88)

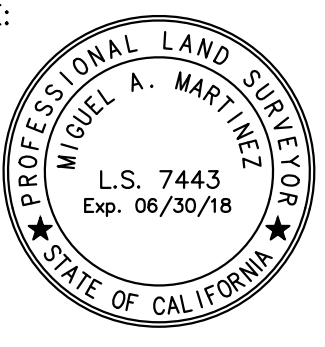
LEGAL DESCRIPTION:
PORTIONS THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 11 SOUTH, RANGE 5 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS DESCRIBED AS PARCELS 1 & 2 IN PRELIMINARY TITLE REPORT ORDER NO. DIV-5670508 ISSUED BY FIRST AMERICAN TITLE COMPANY ON APRIL 19, 2018.

- ABBREVIATIONS**
- AC= ASPHALT PAVEMENT
 - AD= AREA DRAINS
 - AVAC= AIR VACUUM VALVE
 - BF= BACKFLOW
 - BC= BEGIN CURVE
 - BW= BACK OF WALK
 - BK= BOTTOM OF CURB TRANSITION
 - C-VLT= COMMUNICATIONS VAULT
 - COM-BX= COMMUNICATIONS BOX
 - CON, CONC= CONCRETE
 - CONA= CONCRETE ANGLE POINT
 - DL= DAYLIGHT
 - DD= DOWN DRAIN
 - EC= END CURVE
 - EB= ELECTRIC BOX
 - EM= ELECTRIC METER
 - EMH= ELECTRIC MANHOLE
 - EP= EDGE OF AC PAVEMENT
 - E-PNL= ELECTRIC PANEL
 - E-VLT= ELECTRIC VAULT
 - FF= FINISH FLOOR
 - G= GROUND
 - GB= GRADE BREAK
 - GBA= GRADE BREAK ANGLE POINT
 - GV= GAS VALVE
 - GB= GRADE BREAK
 - GM= GAS METERS/REGULATORS
 - GP= GAURD POST
 - GSD= GAS SHUT OFF
 - HOLD= HANDICAP LOADING
 - IE= INVERT ELEVATION
 - IRB= IRRIGATION BOX
 - IRV= IRRIGATION VALVE
 - JB= JUNCTION BOX
 - MT= MULTIPLE TREE
 - PB-RSR= PABCELL RISER
 - PED= PETSATL/PAD
 - PL= PROPERTY LINE
 - SCO= SEWER CLEAN OUT
 - SD/MH= STORM DRAIN INLET W/MANHOLE
 - SDHM= STORM DRAIN MANHOLE
 - SL= STREET LIGHT
 - SLB= STREET LIGHT BOX
 - SMH= SEWER MANHOLE
 - STR= STAIRS
 - RSR= UTILITY RISER
 - T= TREE
 - T= TOP OF
 - TB= TELEPHONE BOX
 - TC= TOP FACE OF CURB
 - TCA= TOP FACE CURB @ ANGLE POINT
 - TC2= TOP FACE OF CURB (POINT ON CURVE)
 - TOR= TELECOMM RISER
 - TG= TOP OF GRATE
 - TR= ELECTRIC TRANSFORMER
 - TS= TRAFFIC SIGNAL
 - TSD= TRAFFIC SIGNAL BOX
 - TSC= TRAFFIC SIGNAL CONTROL
 - TX= TOP FACE OF CURB @ DWY
 - TW= TOP OF WALL
 - WM= WATER METER
 - WMH= WATER MANHOLE
 - WV= WATER VALVE

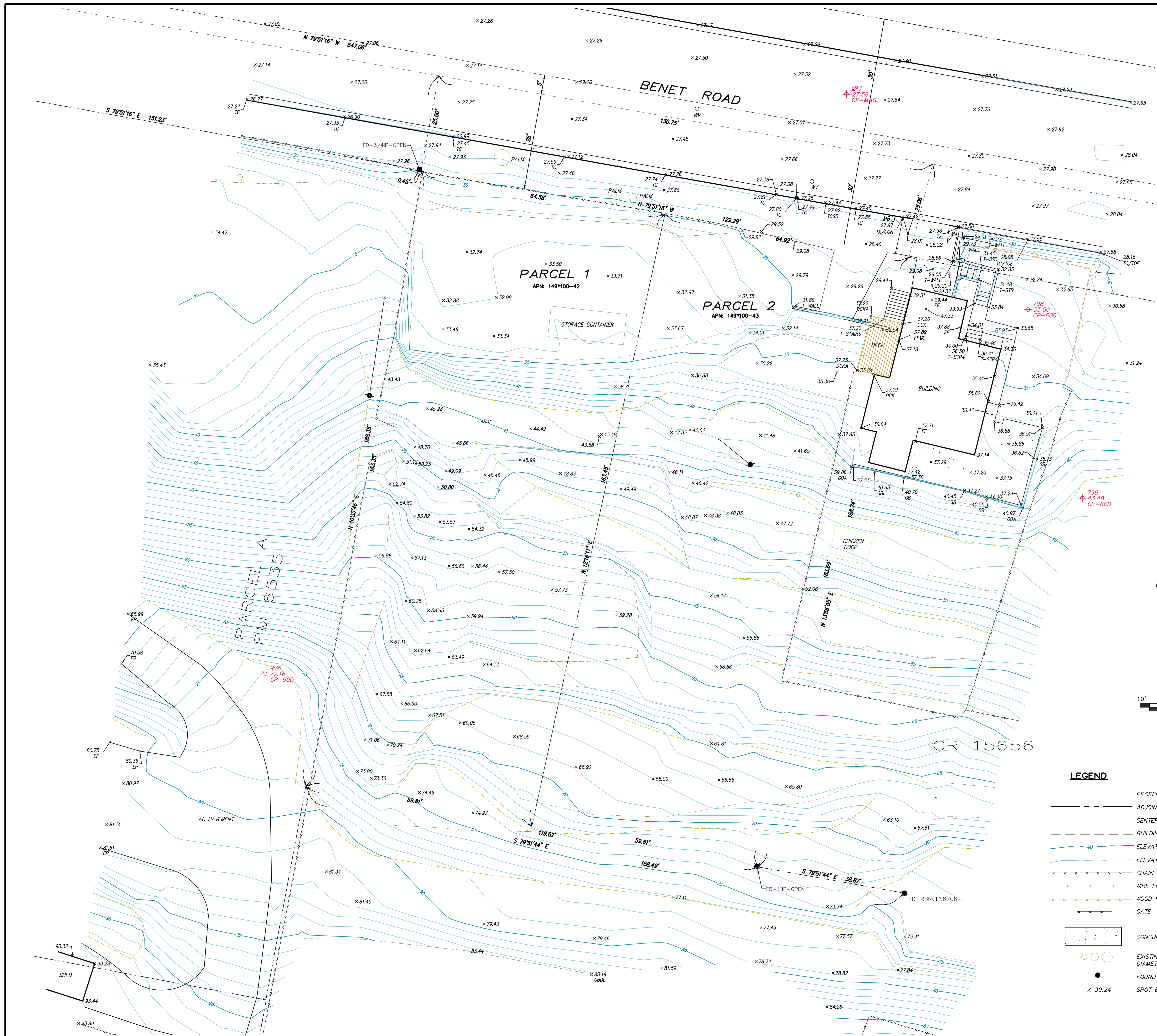


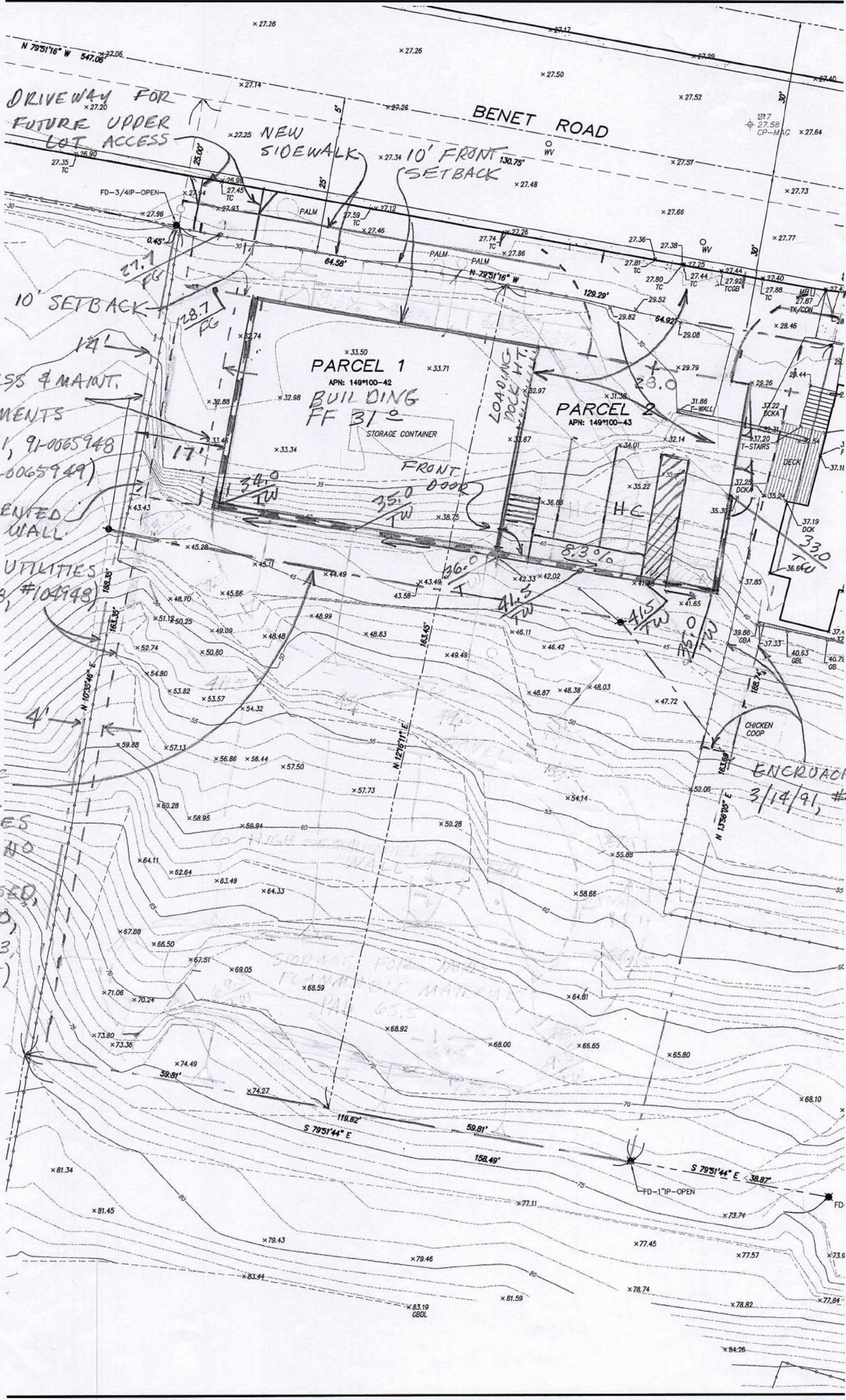
- LEGEND**
- PROPERTY LINE
 - ADJOINING LOT LINES/RIGHT-OF-WAY
 - CENTERLINE OF RIGHT-OF-WAY
 - BUILDING OVERHANG
 - ELEVATION CONTOUR LINE (5 FOOT INTERVAL)
 - ELEVATION CONTOUR LINE (1 FOOT INTERVAL)
 - CHAIN LINK FENCING
 - WIRE FENCING
 - WOOD FENCING
 - GATE
 - CONCRETE SURFACE
 - EXISTING TREES (TRUNKS OF VARYING DIAMETERS)
 - FOUND SURVEY MONUMENT AS NOTED
 - SPOT ELEVATION

[Signature] 07/31/18
 MIGUEL A. MARTINEZ
 L.S. 7443
 LIC. EXP. 6/30/18



ALTA LAND SURVEYING, INC.
 9517 Grossmont Summit Dr.
 La Mesa, CA 91941
 Phone/fax: (619) 713-2582
 altaandsurveying.com





DRIVEWAY FOR
FUTURE UPPER
LOT ACCESS

BENET ROAD

NEW
SIDEWALK
10' FRONT
SETBACK

10' SETBACK

PARCEL 1
APN: 149*100-42
BUILDING
FF 31'0"

PARCEL 2
APN: 149*100-43

ACCESS & MAINT.
EASEMENTS
(2/12/91, 91-0065948
& 91-0065949)

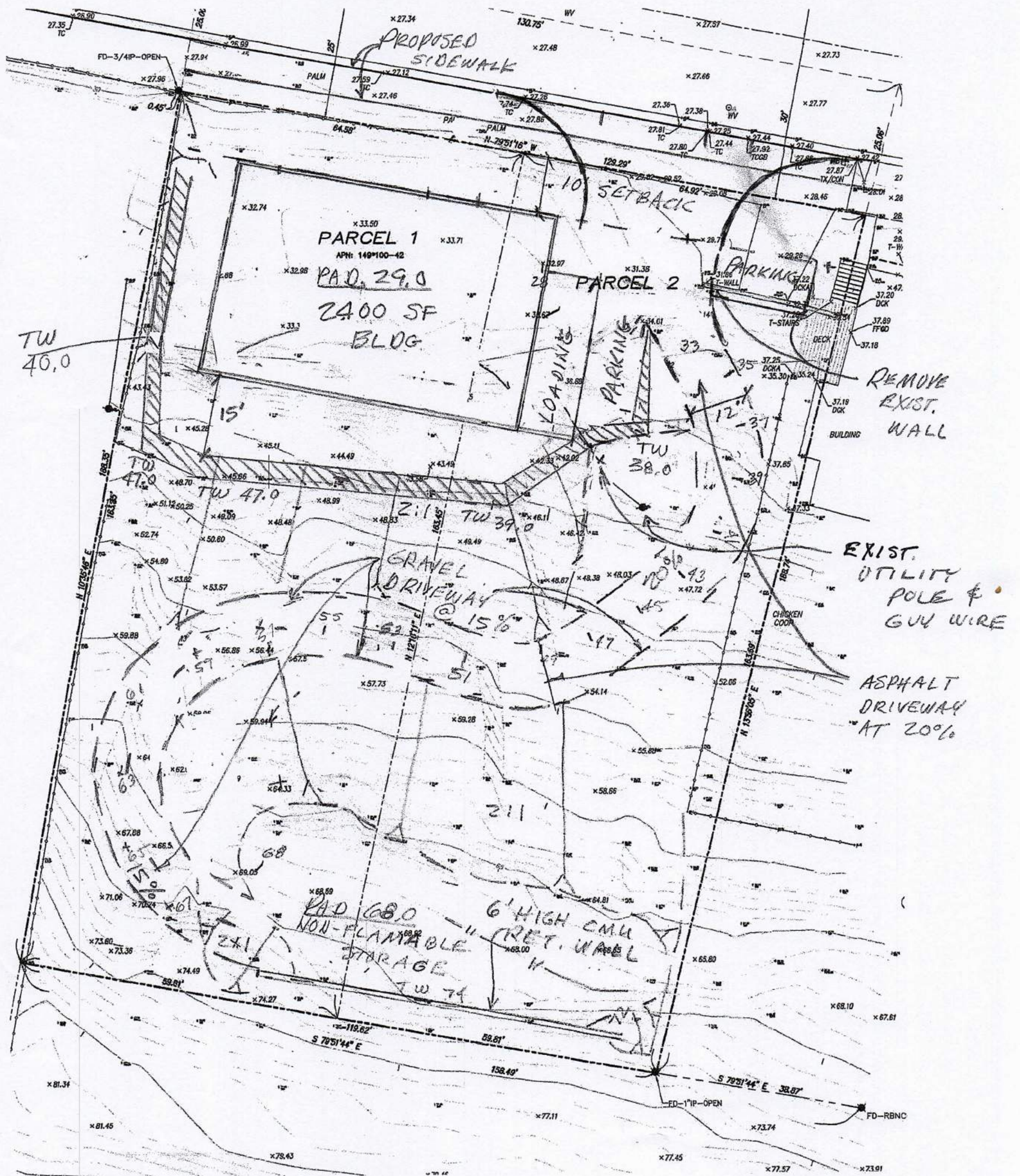
SEGMENTED
WALL

PUBLIC UTILITIES
(6/21/68, #104948)

CL. OF
PUBLIC
UTILITIES
ESMT, NO
WIDTH
DISCLOSED,
(11/16/50,
BK 3803,
PG 375)

ENCROACHMENT
3/14/91, #91-0112923

9/17/18
1"=20'
OPTION 4



BENET ROAD CONCEPT PLAN

SCALE 1" = 20'

AUGUST 20, 2018



PRIDE STATE
EMS



SCANIA





DRIVERS
MUST CHECK IN
OFFICE BEFORE
ENTERING

