

<sup>1</sup>AGENDA  
OCEANSIDE DEVELOPER'S CONFERENCE

Wednesday, November 14, 2018, 9:30 a.m.  
City Hall South, 1<sup>st</sup> Floor, Guajome Room

1. 9:30 - 10:30 a.m. Proposed 2-story, 3-unit residential apartment building on a vacant 5,000 SF lot located on Bush Street (between Santa Barbara Street and McNeil Street).

**Zoning: R-3 (Coastal Medium-Density Residential)**  
**Land Use: Coastal High-Density Residential**  
**Neighborhood Area: Eastside Capistrano**  
**Assessor Parcel Number(s): 148-063-21**  
**Contact Person: Chris Harrison**  
**Email: [harrisonconsulting@cox.net](mailto:harrisonconsulting@cox.net)**

1. 10:30 - 11:30 a.m. Proposed conversion of a single-family residence to a 3-unit residential development (517 S. Tremont Street)

**Zoning: R-3 (Coastal Medium-Density Residential)**  
**Land Use: Coastal High-Density Residential**  
**Neighborhood Area: Townsite**  
**Assessor Parcel Number(s): 150-185-12**  
**Contact Person: Mike Blackwell**  
**Email: [mblackwell11@cox.net](mailto:mblackwell11@cox.net)**

Attachments:

1. Parcel Map
2. Project Description Letter
3. Conceptual Site Plans
4. Vicinity/Regional Maps

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<sup>1</sup> *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*





## DEVELOPERS CONFERENCE APPLICATION

### BUSH STREET TRI-PLEX - McCormick General Contractors

#### Project Description:

The project proposes a 3 unit multifamily residential apartment project. The site is located on west side of Bush Street, between Mission Avenue and Santa Barbara Street (APN 148-063-21). It is located with the City's Coastal Zone and is Zoned R-3 Medium-Density Residential with a General Plan Land Use Designation of SFD-R Single-Family Detached Residential. It is within the City's East Side Capistrano neighborhood area.

The project site is an existing undeveloped 5,000 square foot lot. The proposed units will range from approximately 1,408 – 1,546 square feet. There is 1 3-bedroom unit and 2 4-bedroom units. There will be 6 covered parking spaces provided in a tandem configuration with living space above on the second floor. Parking access will be provided by the alley on the sites Covered parking will be provided with residential space above. Water and sewer service will be by existing City lines. On site landscaping and hardscape will also be provided.

#### Project Representative:

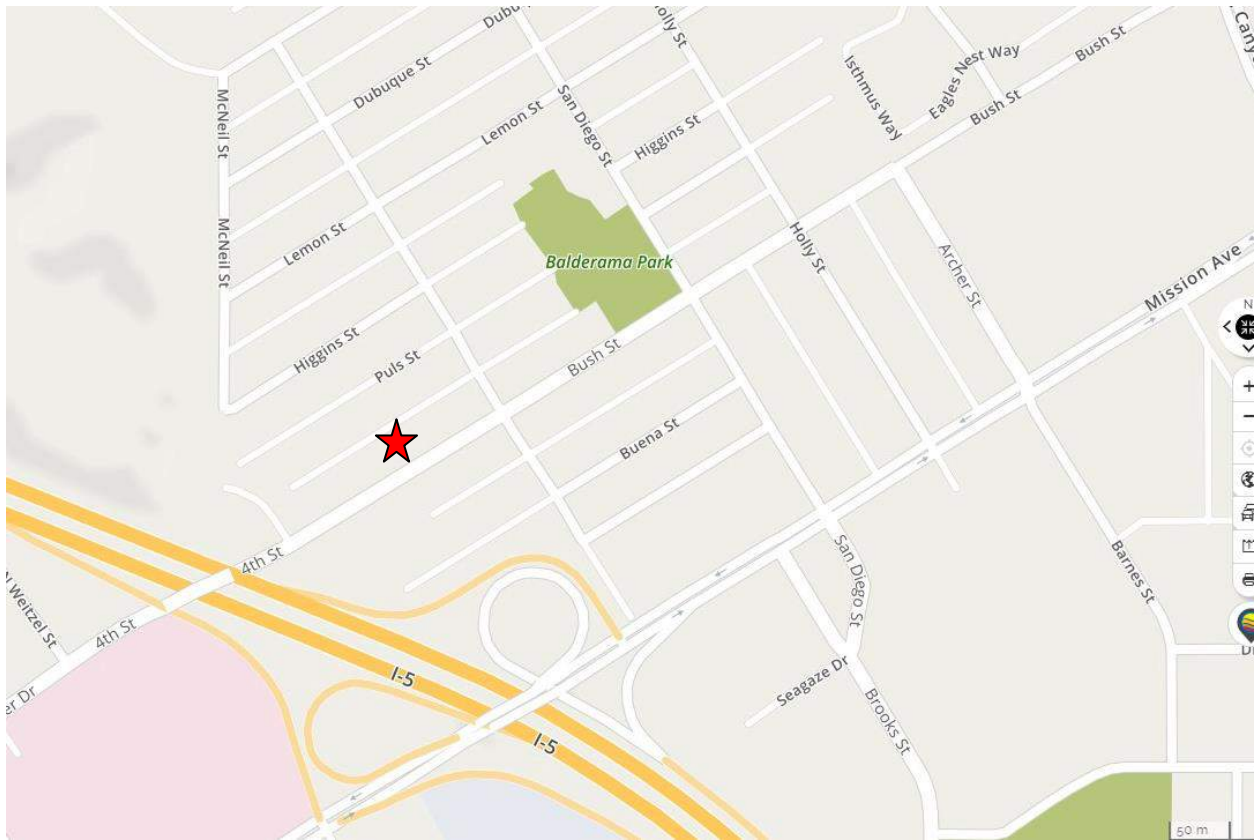
Chris Harrison, Harrison Consulting  
760.505.9921  
harrisonconsulting@cox.net



## DEVELOPERS CONFERENCE APPLICATION

### BUSH STREET TRI-PLEX - McCormick General Contractors

#### Project Regional Map:



★ Project Site

Project Representative:

Chris Harrison, Harrison Consulting  
760.505.9921  
harrisonconsulting@cox.net

Planning • Environmental • Telecom

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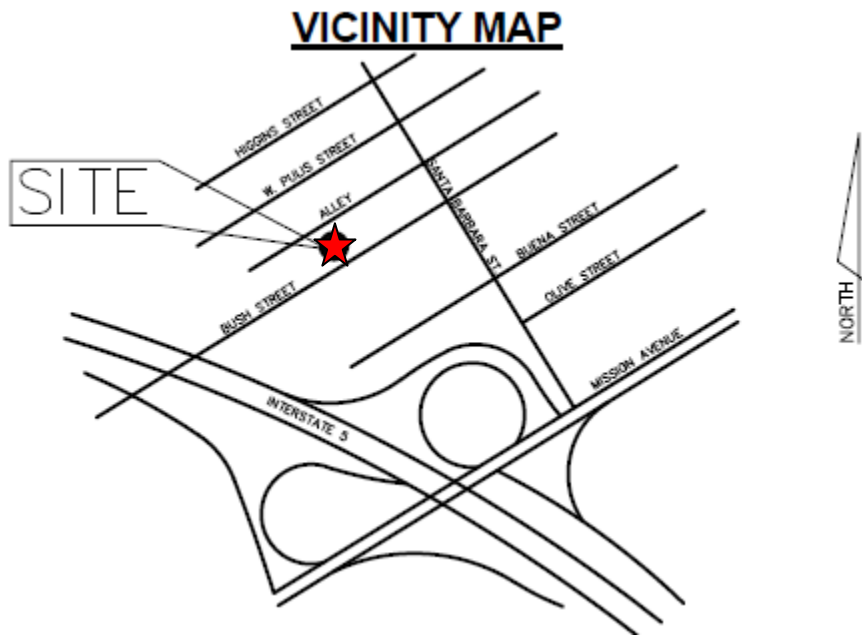
charrisonconsulting.com



## DEVELOPERS CONFERENCE APPLICATION

### BUSH STREET TRI-PLEX - McCormick General Contractors

#### Project Vicinity Map:



★ Project Site

#### Project Representative:

Chris Harrison, Harrison Consulting  
760.505.9921  
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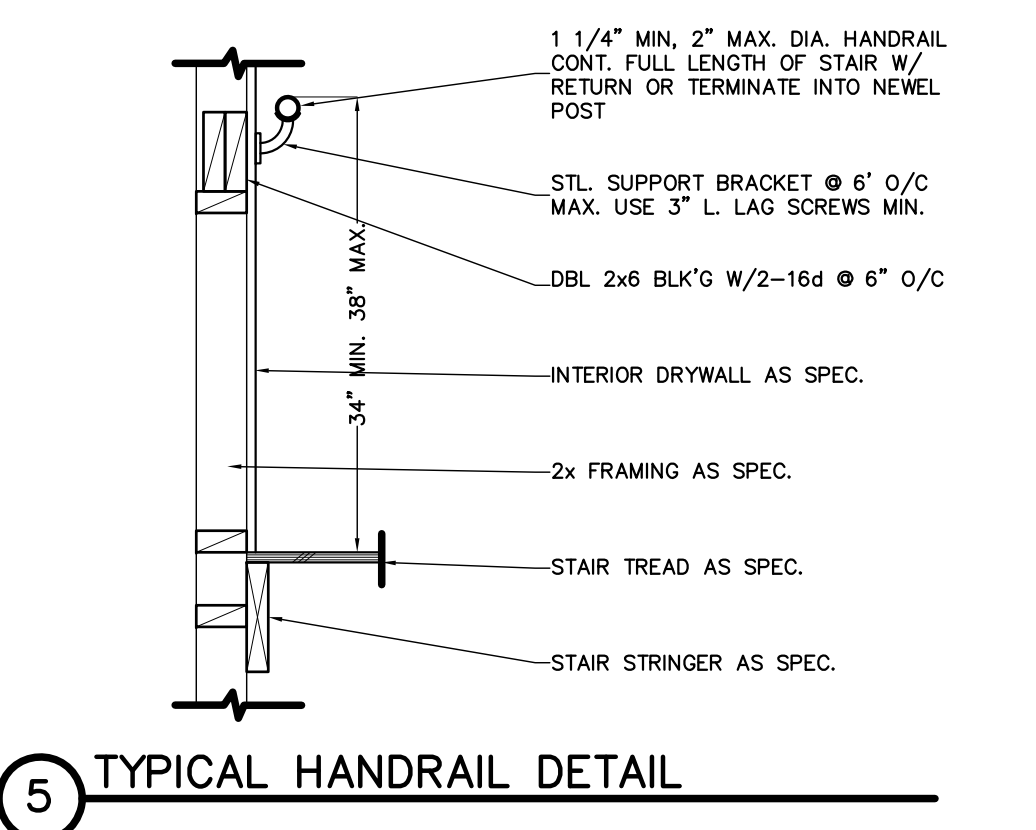
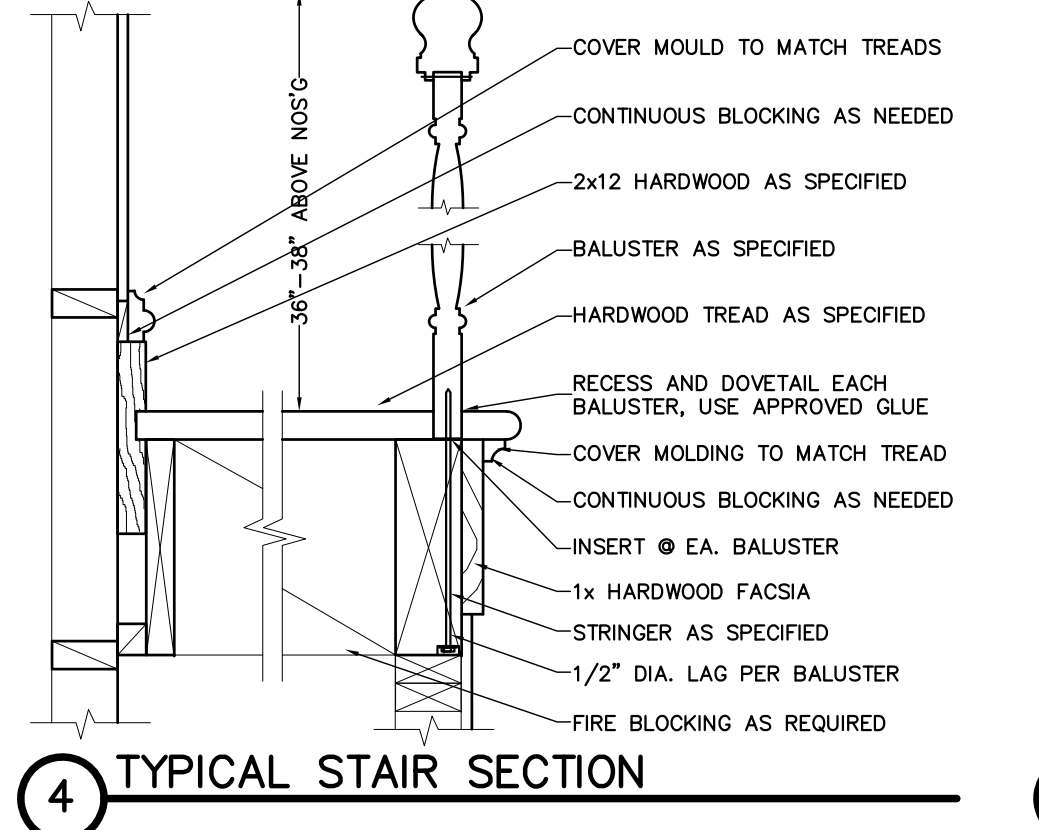
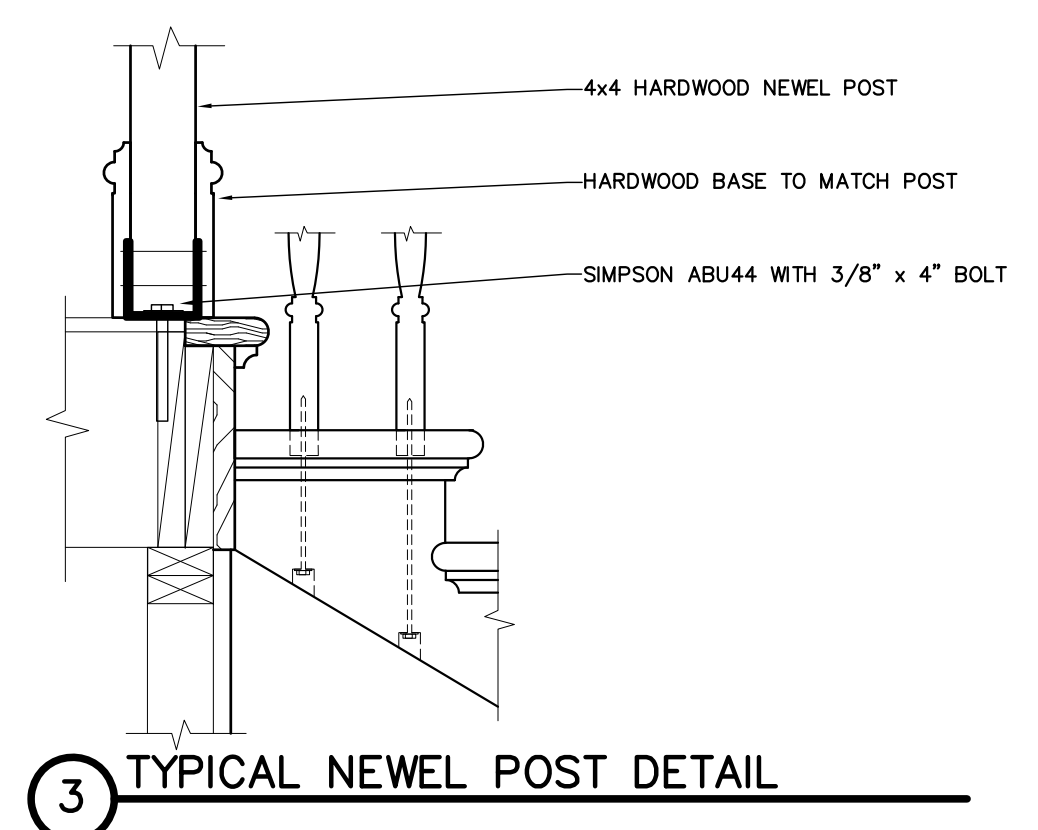
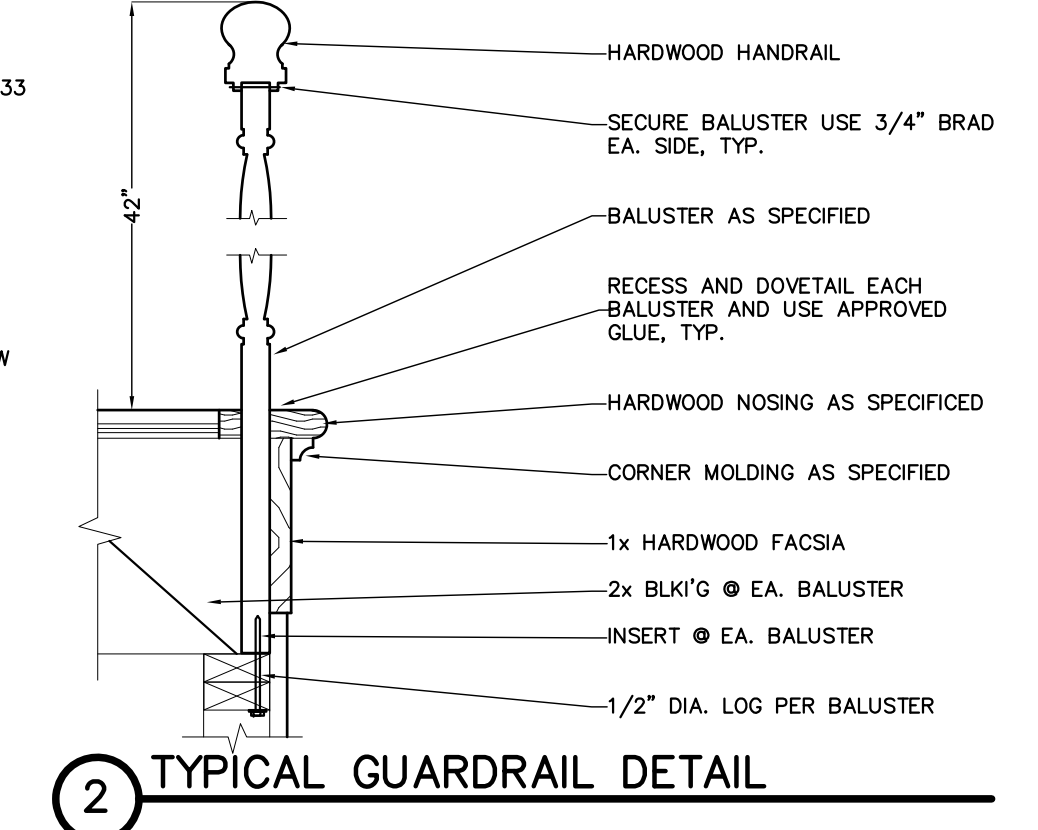
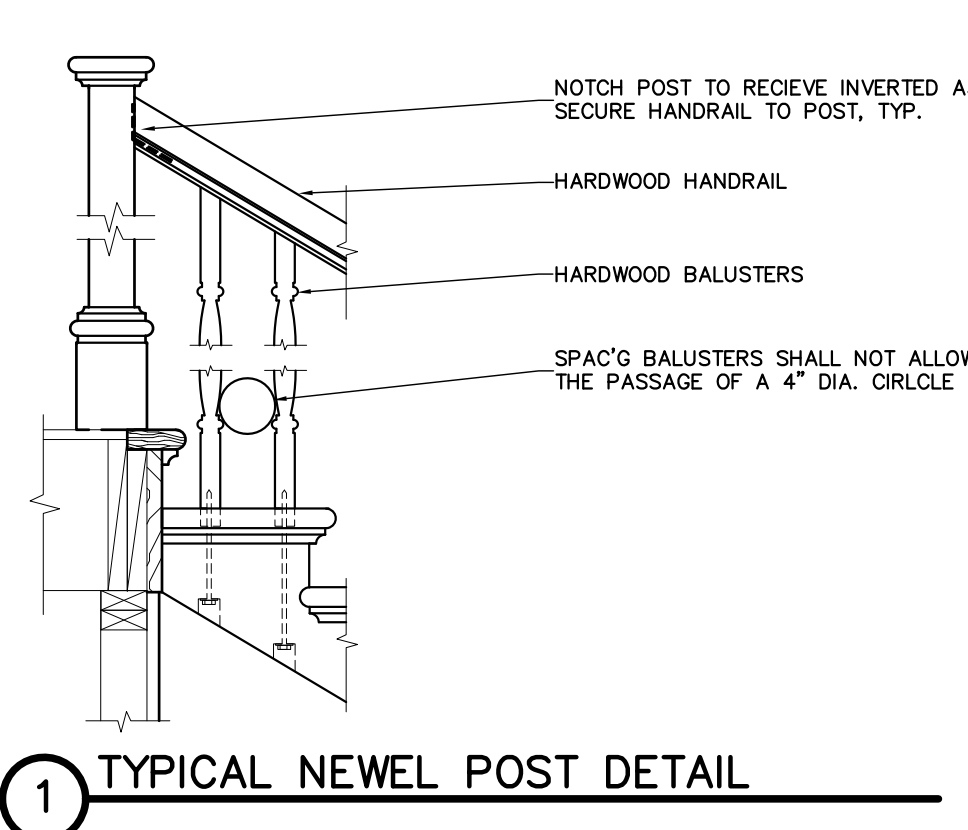
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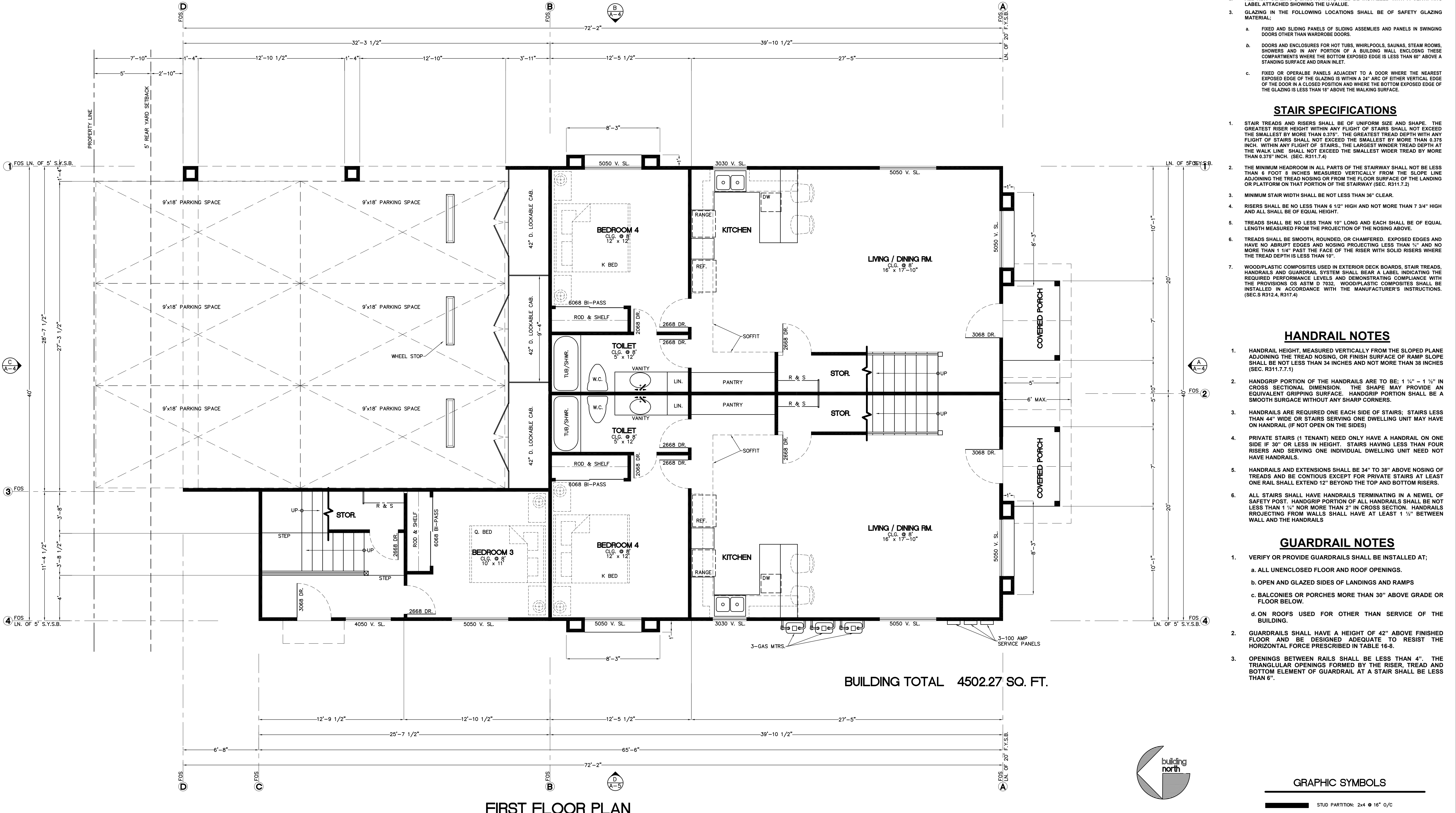
- ### GENERAL NOTES
- ALL ELEMENTS SUPPORTING FLOOR ABOVE SHALL BE PROTECTED BY A ONE HOUR FIRE RATING. USE 1 LAYER 5/8" TYPE "X" GYP. BD. FROM FOUNDATION TO UNDERSIDE FIRE RATED CEILING. SEE FINISH NOTE 9 ON SHEET A-2.
  - PROVIDE ONE HOUR FIRE RATED SEPARATION WALL WITH STC 55-59 SOUND RATING PER OVPBM ASSOC. FILE NO. WP 4509. USE 1 LAYER 5/8" TYPE "X" GYP. BD. ON BOTH SIDES AND 1/2" RESILIENT FURRING CHANNEL AS SPECIFIED FROM FOUNDATION TO UNDERSIDE OF FLOOR SHEATHING ABOVE. SEE FINISH NOTE 9 ON SHEET A-2.
  - PROVIDE ONE HOUR FIRE RATED SEPARATION WALL USE 1 LAYER 5/8" TYPE "X" GYP. BD. ON GARAGE SIDE FROM FOUNDATION TO UNDERSIDE OF FIRE RATED CEILING. SEE FINISH NOTE 9 ON SHEET A-2.
  - PROVIDE 20 MINUTE FIRE RATED DOOR ASSEMBLY. USE 1 3/8" SOLID CORE 20 MINUTE RATED DOOR. TIGHT FITTING WITH WEATHER STRIPPING AND SELF-CLOSURE.
  - PROVIDE ONE HOUR FIRE RATED CEILING USE ONE LAYER 1/2" TYPE "X" GYP. BD. SEE FINISH NOTE 9 ON SHEET A-2.
  - PROVIDE MINIMUM CLEARANCE OF 15 INCHES FROM THE CENTER LINE ON BOTH SIDES AND 24 INCHES IN FRONT OF THE WATER CLOSET.
  - PROVIDE R-19 BATT INSULATION IN ALL EXTERIOR WALLS. PROVIDE R-30 BATT INSULATION IN THE ATTIC SPACE. PROVIDE R-19 BATT INSULATION IN THE FLOOR. PAPER BACKED INSULATION IS NOT PERMITTED IN ATTIC SPACES.

- ### GLAZING NOTES
- ALL GLAZING TO BE DUAL GLAZED, U-FACTOR .32, SHGC .25 UNLESS OTHERWISE NOTED.
  - ALL NEW GLAZING (PENESTRATION) WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED SHOWING THE U-VALUE.
  - INSTALL IN THE FOLLOWING LOCATIONS SHALL BE OF SAFETY GLAZING MATERIAL:
    - FIXED AND SLIDING PANELS OF SLIDING ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
    - DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, SHOWERS AND IN ANY PORTION OF A BUILDING WALL ENCLING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 6" ABOVE A STANDING SURFACE AND DRAIN INLET.
    - FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE WALKING SURFACE.

- ### STAIR SPECIFICATIONS
- STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 0.375". THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 0.375 INCH. WITHIN ANY FLIGHT OF STAIRS, THE LARGEST WINDER TREAD DEPTH AT THE WALK LINE SHALL NOT EXCEED THE SMALLEST WIDER TREAD BY MORE THAN 0.375 INCH. (SEC. R311.7.4)
  - THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FOOT 8 INCHES MEASURED VERTICALLY FROM THE SLOPE LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY (SEC. R311.7.2)
  - MINIMUM STAIR WIDTH SHALL BE NOT LESS THAN 36" CLEAR.
  - RISERS SHALL BE NO LESS THAN 6 1/2" HIGH AND NOT MORE THAN 7 3/4" HIGH AND ALL SHALL BE OF EQUAL HEIGHT.
  - TREADS SHALL BE NO LESS THAN 10" LONG AND EACH SHALL BE OF EQUAL LENGTH MEASURED FROM THE PROJECTION OF THE NOSING ABOVE.
  - TREADS SHALL BE SMOOTH, ROUNDED, OR CHAMFERED. EXPOSED EDGES AND HAVE NO ABRUPT EDGES AND NOSING PROJECTING LESS THAN 1/4" AND NO MORE THAN 1 1/4" PAST THE FACE OF THE RISER WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 10".
  - WOOD/PLASTIC COMPOSITES USED IN EXTERIOR DECK BOARDS, STAIR TREADS, HANDRAILS AND GUARDRAIL SYSTEM SHALL BEAR A LABEL INDICATING THE REQUIRED PERFORMANCE LEVELS AND DEMONSTRATING COMPLIANCE WITH THE PROVISIONS OF ASTM D 7032. WOOD/PLASTIC COMPOSITES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. (SEC. S R312.4, R317.4)

- ### HANDRAIL NOTES
- HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FINISH SURFACE OF RAMP SLOPE SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES (SEC. R311.7.7.1)
  - HANDGRIP PORTION OF THE HANDRAILS ARE TO BE: 1 1/2" - 1 5/8" IN CROSS SECTIONAL DIMENSION. THE SHAPE MAY PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDGRIP PORTION SHALL BE A SMOOTH SURFACE WITHOUT ANY SHARP CORNERS.
  - HANDRAILS ARE REQUIRED ONE EACH SIDE OF STAIRS; STAIRS LESS THAN 44" WIDE OR STAIRS SERVING ONE DWELLING UNIT MAY HAVE ONE HANDRAIL (IF NOT OPEN ON THE SIDES)
  - PRIVATE STAIRS (1 TENANT) NEED ONLY HAVE A HANDRAIL ON ONE SIDE IF 30" OR LESS IN HEIGHT. STAIRS HAVING LESS THAN FOUR RISERS AND SERVING ONE INDIVIDUAL DWELLING UNIT NEED NOT HAVE HANDRAILS.
  - HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS EXCEPT FOR PRIVATE STAIRS AT LEAST ONE RAIL SHALL EXTEND 12" BEYOND THE TOP AND BOTTOM RISERS.
  - ALL STAIRS SHALL HAVE HANDRAILS TERMINATING IN A NEWEL OF SAFETY POST. HANDGRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1 1/2" NOR MORE THAN 2" IN CROSS SECTION. HANDRAILS PROJECTING FROM WALLS SHALL HAVE AT LEAST 1 1/2" BETWEEN WALL AND THE HANDRAILS

- ### GUARDRAIL NOTES
- VERIFY OR PROVIDE GUARDRAILS SHALL BE INSTALLED AT:
    - ALL UNENCLOSED FLOOR AND ROOF OPENINGS.
    - OPEN AND GLAZED SIDES OF LANDINGS AND RAMPS
    - BALCONIES OR PORCHES MORE THAN 30" ABOVE GRADE OR FLOOR BELOW.
    - ON ROOFS USED FOR OTHER THAN SERVICE OF THE BUILDING.
  - GUARDRAILS SHALL HAVE A HEIGHT OF 42" ABOVE FINISHED FLOOR AND BE DESIGNED ADEQUATE TO RESIST THE HORIZONTAL FORCE PRESCRIBED IN TABLE 16-8.
  - OPENINGS BETWEEN RAILS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF GUARDRAIL AT A STAIR SHALL BE LESS THAN 6".



Design and Drawings By:  
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 www.FullPerspective.com

**McCormick**  
 CONSTRUCTION GROUP, INC.  
 122 FIFTEENTH STREET, SUITE 2972  
 DEL MAR, CALIFORNIA, 92014  
 619-349-0508

A NEW TWO STORY TRIPLEX FOR  
**Mr. Thai Quoc Le and Mrs. Bach Loan Nguyen**  
 BUSH STREET, OCEANSIDE, CA 92058  
 ASSESSOR'S PARCEL NO: 148-063-2-1

ARCHITECTURAL  
**FIRST FLOOR PLAN**

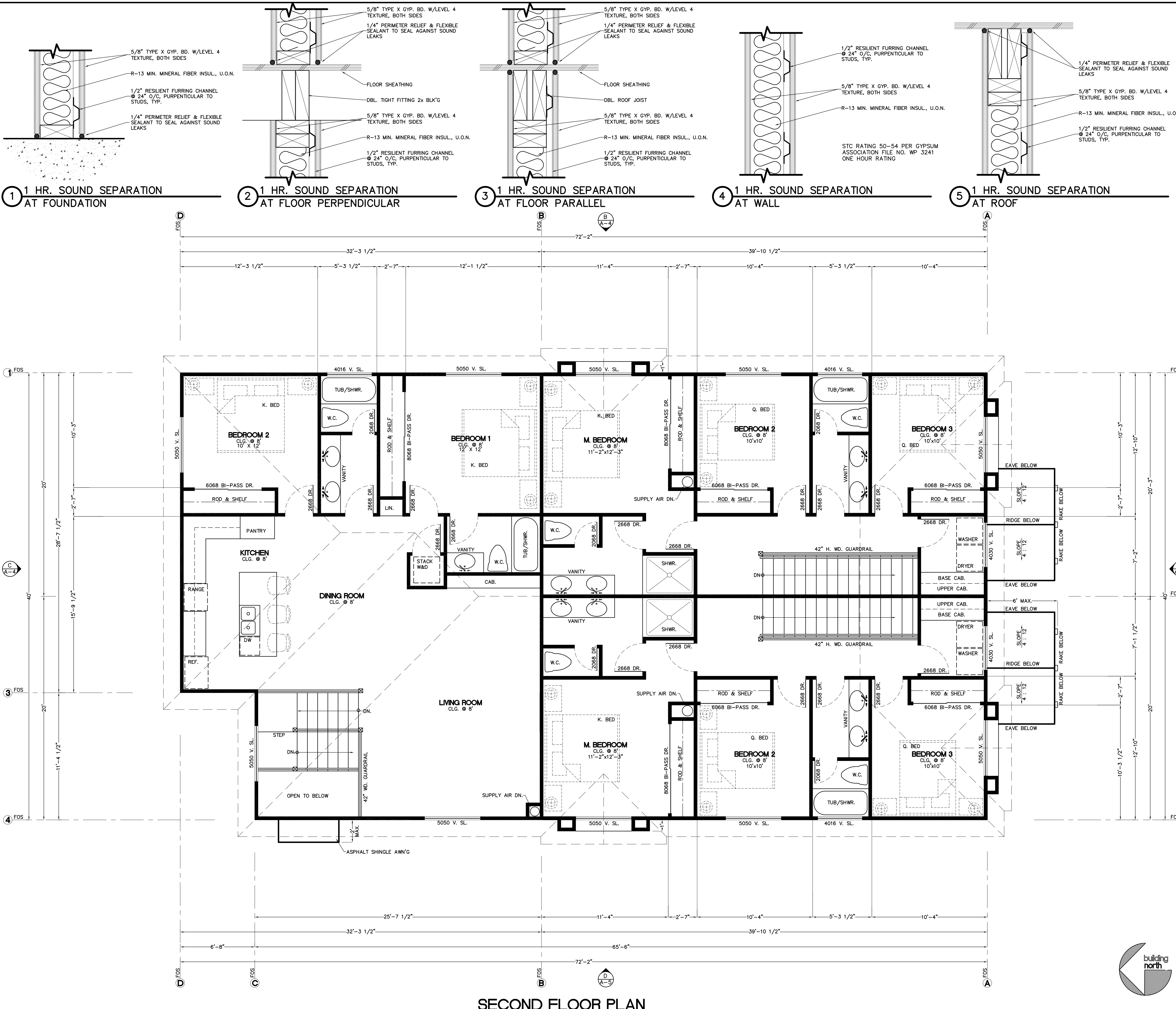
REVISIONS	BY

PLAN CHECK NO:  
 DATE: 08-28-18  
 SCALE: 1/4" = 1'-0"  
 PROJECT NO: FP #180815  
 DRAWN BY: R.A.S.  
 DRAWING NO:  
**A-1**  
 SHEET NO. 2 of 6



GRAPHIC SYMBOLS  
 STUD PARTITION: 2x4 @ 16" O/C

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**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**GENERAL NOTES**

1. PROVIDE ONE HOUR FIRE RATED SEPARATION WALL WITH STC 55-59 SOUND RATING PER GYPSUM ASSOC. FILE NO. WP 5509. USE 1 LAYER 5/8" TYPE "X" GYP. BD. ON BOTH SIDES AND 1/2" RESILIENT FURRING CHANNEL AS SPECIFIED FROM FLOOR SHEATHING TO UNDERSIDE OF ROOF SHEATHING ABOVE.
2. SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO THE HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
3. PROVIDE MINIMUM CLEARANCE OF 15 INCHES FROM THE CENTER LINE ON BOTH SIDES AND 24 INCHES IN FRONT OF THE WATER CLOSET.
4. PROVIDE AN EMERGENCY ESCAPE AND RESCUE OPENING THAT COMPLIES WITH ALL OF THE FOLLOWING: MIN. NET CLEAR OPENING OF 5.7 SQ. FT. (5 SQ. FT. MIN. AT GRADE FLR. OPENINGS, MIN. 20 INCH NET CLEAR OPENING WIDTH, MIN. 24 INCH NET CLEAR OPENING HEIGHT, BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.
5. ATTIC AREAS SHALL BE ACCESSIBLE BY AN OPENING NO LESS THAN 22 INCHES X 30 INCHES WITH 30" CLEAR HEADROOM. WITH A FURNACE IN THE ATTIC, THE OPENING SHALL BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF THE EQUIPMENT.
6. PROVIDE R-13 BATT INSULATION IN ALL EXTERIOR WALLS. PROVIDE R-30 BATT INSULATION IN THE ATTIC. PROVIDE R-19 BATT INSULATION IN THE FLOOR. PAPER BACKED INSULATION IS NOT PERMITTED IN ATTIC SPACES.

**FINISH NOTES**

1. ALL CERAMIC TILE UNLESS SPECIFIED ON THE ROOM FINISH SCHEDULE SHALL BE SPECIFIED BY OWNER.
2. CERAMIC TILE INSTALLATION SHALL CONFORM TO THE LATEST EDITION OF THE "HANDBOOK FOR CERAMIC TILE INSTALLATION" BY THE "TILE COUNCIL OF AMERICA."
3. BATHROOM WALL TILE SHALL BE INSTALLED OVER AN APPROVED "WATER RESISTANT" GYPSUM WALLBOARD WITH ORGANIC ADHESIVES IN ACCORDANCE WITH METHOD B413-87 OR ON CEMENT MORTAR IN ACCORDANCE WITH METHOD B111-87.
4. SHOWER RECEPTORS/WALLS SHALL BE INSTALLED WITH ORGANIC ADHESIVES OVER "WATER-RESISTANT" GYPSUM WALL BOARD IN ACCORDANCE WITH METHOD B416-87.
5. TILE TUBS SHALL BE INSTALLED IN ACCORDANCE WITH METHOD B14-87.
6. TILE COUNTERTOPS SHALL BE INSTALLED IN ACCORDANCE WITH METHOD C611-87.
7. GYPSUM WALL BOARD SHALL CONFORM TO THE LATEST EDITION OF THE UNIFIED BUILDING CODE CHAPTER 25 AND "AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD."
8. REGULAR 1/2" OR 5/8" THICK GYPSUM WALLBOARD EQUAL TO U.S.G. TAPED EDGE SHEETROCK WHERE TYPE "X" OR 1/1R WALLBOARD IS NOT REQUIRED.
9. TYPE "X" 1/2" OR 5/8" THICK GYPSUM WALLBOARD EQUAL TO U.S.G. TAPED EDGE FIRECODE "C" PANELS WHERE TYPE "X" WALLBOARD IS REQUIRED. REGULAR AND TYPE "X" SINGLE LAYER WALLBOARD SHALL BE INSTALLED HORIZONTALLY STAGGERING END JOINTS. NAIL WITH 5d COOLER NAILS (1/2" WALLBOARD USE 5d COOLER NAILS AND AT 58" WALLBOARD AT 6" ON CENTER FOR CEILING) AND 7" ON CENTER FOR WALLS. MULTI-LAYERED APPLICATIONS AS SPECIFIED AND APPLICABLE IN THE UNIFIED BUILDING CODE.
10. WATER RESISTANT 1/2" OR 5/8" THICK GYPSUM WALLBOARD EQUAL TO U.S.G. TAPED EDGE SHEETROCK REGULAR PANELS OR FIRECODE "C" TYPE "X" PANELS AS REQUIRED.
  - a) FOR BATHROOMS AND TOILET ROOMS, NON-ABSORBANT FINISH AND BACKING FOR WALLS AND FLOOR TO CONFORM WITH THE UNIFIED BUILDING CODE SECTION 2512.
  - b) APPLY SINGLE LAYER OF WALLBOARD HORIZONTALLY WITH FACTORY EDGE PAPER, ABUTTING TOP EDGE OF SPACER, STAGGERING END JOINTS. NAILING PER REGULAR AND TYPE "X" WALLBOARD.
  - c) ALL EDGES, HOLES AND JOINTS SHALL BE TREATED WITH SHEETROCK BRAND OF WATER RESISTANT SEALANT PRIOR TO INSTALLATION.
  - d) FLOAT ALL CEILING END JOINTS, EXCEPT AT PERIMETER.
11. GYPSUM WALLBOARD ACCESSORIES:
  - a) METAL TRIM EQUAL TO U.S.G. NO. 402 WHERE ABUTS WITH OTHER MATERIAL OR TERMINATES.
  - b) CORNER BEADS EQUAL TO U.S.G. NO. 103 BURABEAD AT ALL EXTERNAL CORNERS.
  - c) JOINT TAPE, BEDDING, FINISHING CEMENT, ADHESIVES AND LAMINATION COMPOUND TO BE AS RECOMMENDED BY SHEETROCK MANUFACTURER AND COMPLIANCE WITH U.L. INC. FOR FIRE RESISTIVE RATINGS.
  - d) ACCESS PANELS WHERE INDICATED OR REQUIRED TO BE EQUAL TO MILCOR "STYLE DW 22" x 30" UNLESS OTHERWISE NOTED.
12. GYPLAP SHEATHING SHALL BE EQUAL TO 1/2" THICK U.S.G. GYPSUM SHEATHING (TRADEMARK GYPLAP) ENCASED WITH WATER-REPELLENT PAPER ON BOTH FACES AND LONG SIDES, IN COMPLIANCE WITH UNIFIED BUILDING CODE.
13. FINISH COAT: APPLY TEXTURE FINISH COAT USING SPRAY EQUIPMENT CAPABLE OF PRODUCING A FINE ORANGE PEEL TEXTURE FINISH AS APPROVED FROM SAMPLES FURNISHED TO THE OWNER.
14. LATH AND PLASTER:
  - a) LATH AND PLASTER SHALL CONFORM TO LATEST EDITION OF THE "CALIFORNIA LATHING AND PLASTERING CONTRACTORS ASSOC. REFERENCE SPECIFICATIONS."
  - b) EXTERIOR CEMENT PLASTER (STUCCO) SHALL COMPLY WITH THE UNIFIED BUILDING CODE.
15. PORTLAND CEMENT PLASTER:
  - a) PORTLAND CEMENT SHALL BE MIXED IN PROPORTION AS REQUIRED IN APPLICABLE CODE FOR MACHINE APPLICATION WITH INTEGRALLY COLORED STUCCO FINISH AS SELECTED BY OWNER.
  - b) VERTICAL SURFACES SELF-FURRING GALVANIZED METAL LATH LAMINATED KRAFT-BACKED DIAMOND MESH "B."
  - c) HORIZONTAL SURFACES PAPER-BACKED 3/8" FURRED GALVANIZED METAL WEB LATH.
  - d) MASONRY OR CONCRETE SURFACES SHALL BE CLEANED WITH 10% MURIATE ACID TO WATER SOLUTION, WITH CLEAR WATER AND RECEIVE PLASTER BONDING AGENT TO "WEL-CRETE." APPLY BASE COAT OF PLASTER OVER BONDING AGENT, TWO MACHINE APPLIED COATS WITH FINISH STUCCO COAT AS SELECTED BY OWNER. 1/2" TOTAL THICKNESS.
16. PORTLAND CEMENT PLASTER ACCESSORIES:
  - a) CASTING BEADS, EQUAL TO MILCOR OR U.S.G. NO. 66, TO BE INSTALLED AT ALL LOCATIONS WHERE PLASTER STOPS AGAINST MASONRY, CONCRETE, WOOD OR METAL SURFACES AND AS OTHERWISE SPECIFIED.
  - b) EXPANSION JOINTS EQUAL TO MILCOR OR U.S.G. NO. 40. ONE CONTINUOUS PIECE AS SPECIFIED.
  - c) REMOVABLE GROUNDS OR SCREEDS AS REQUIRED TO MAINTAIN EXACT PLASTER THICKNESSES AND PLANE SURFACES.

**GRAPHIC SYMBOLS**

STUD PARTITION: 2x4 @ 16" O/C

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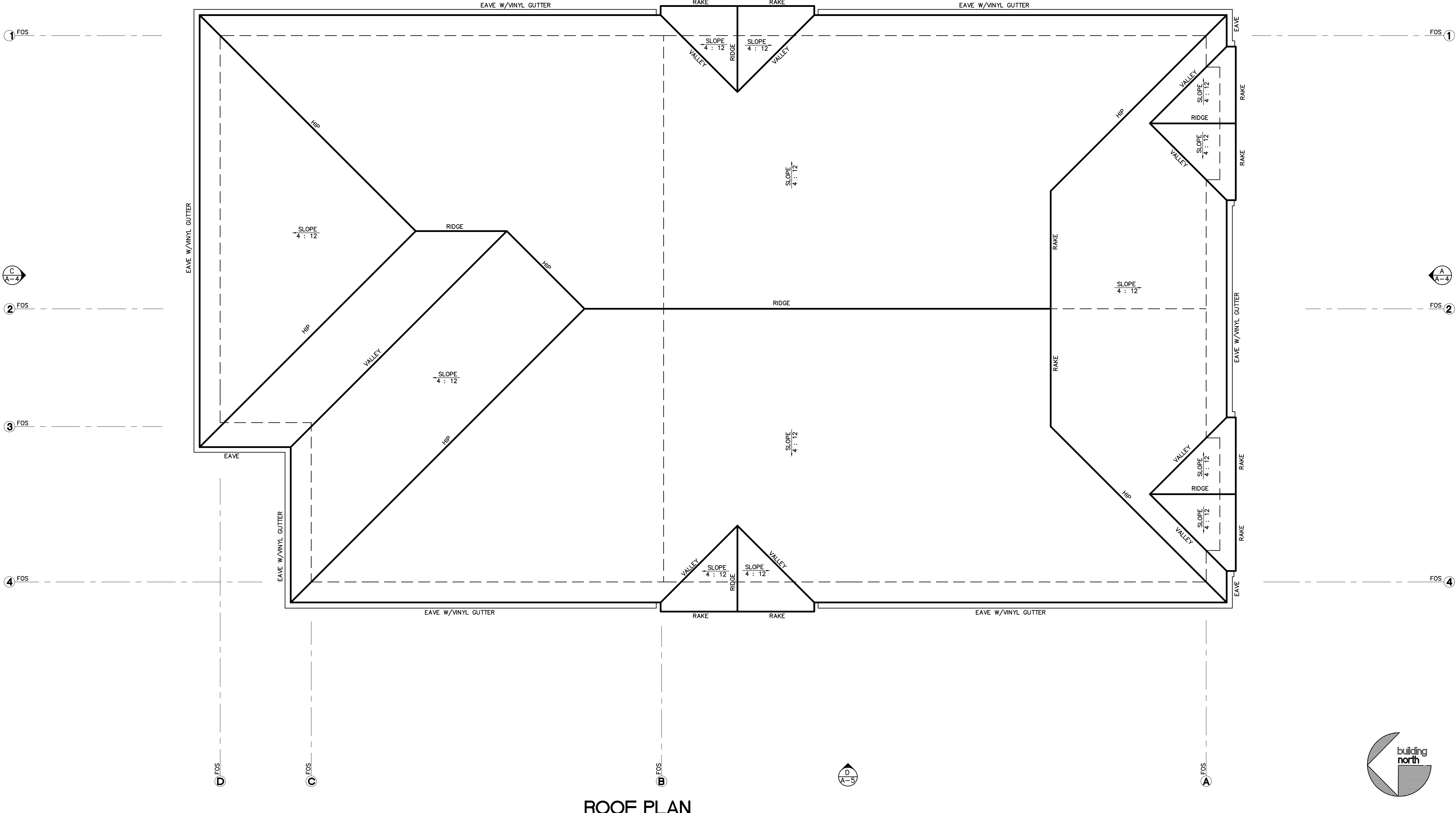
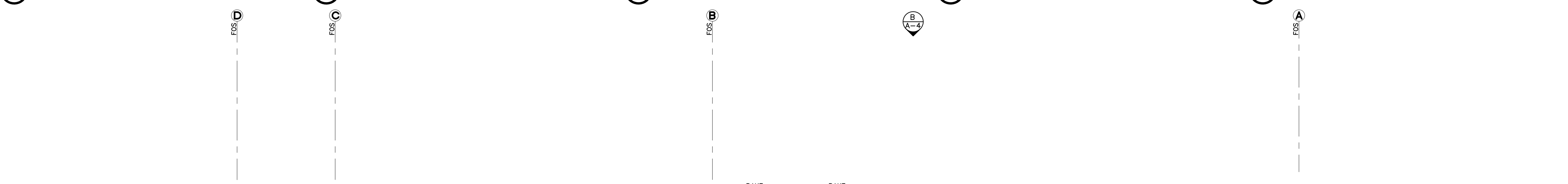
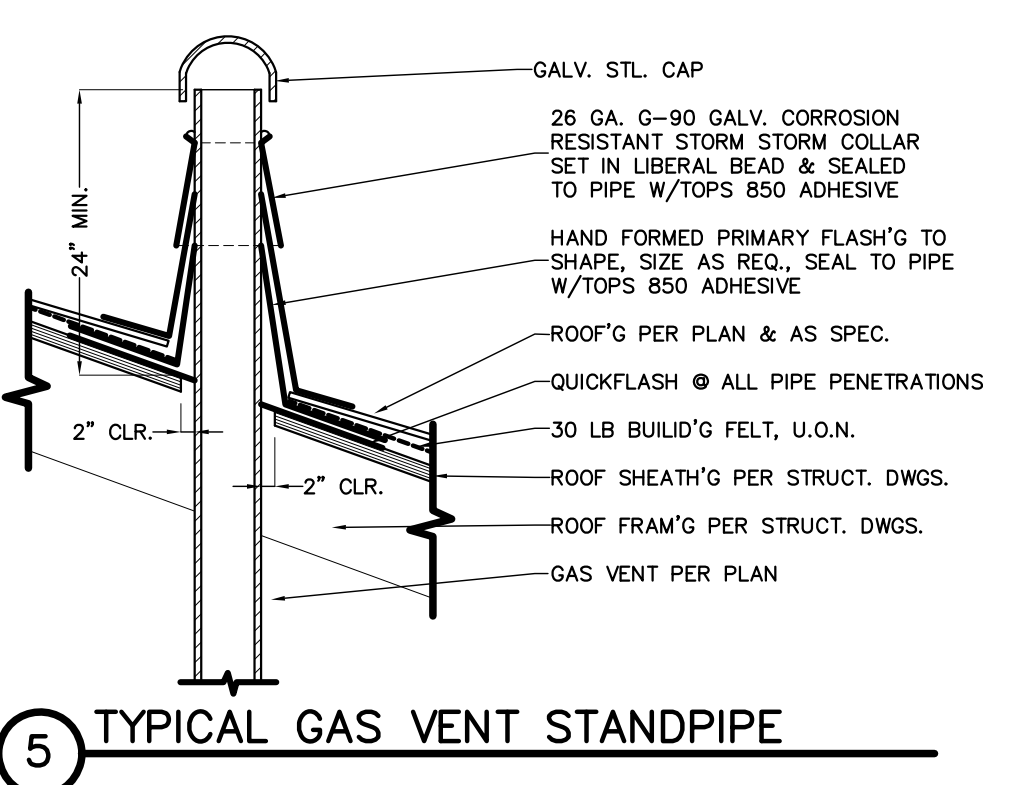
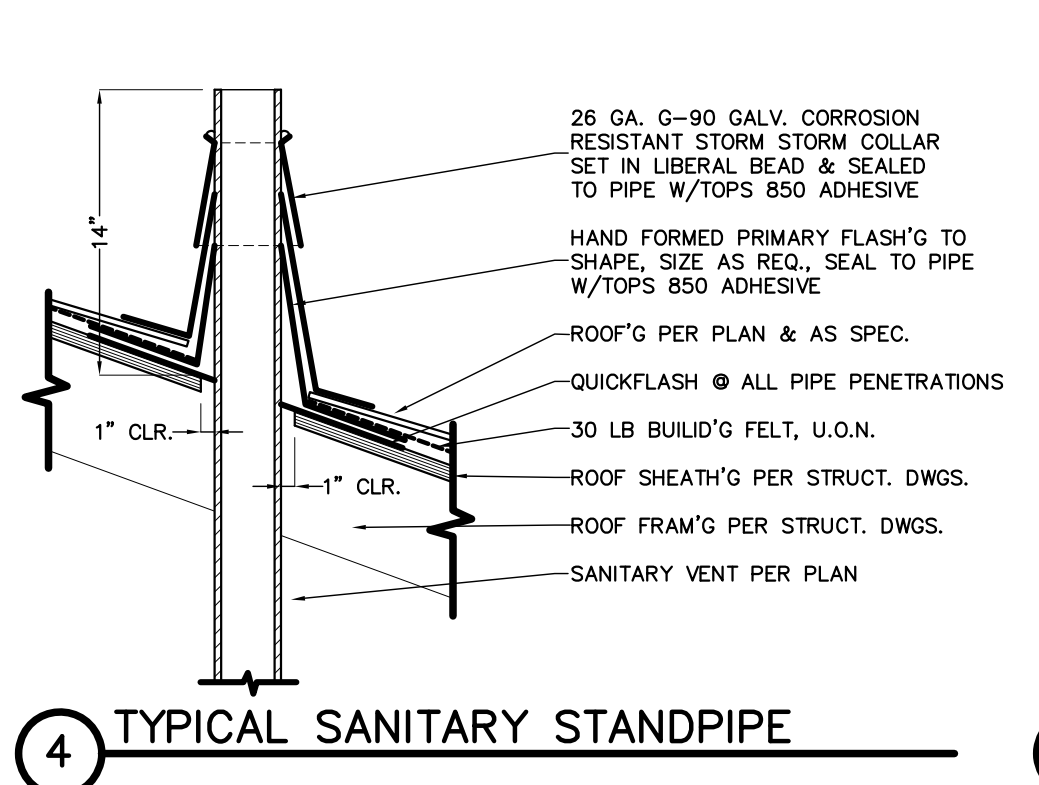
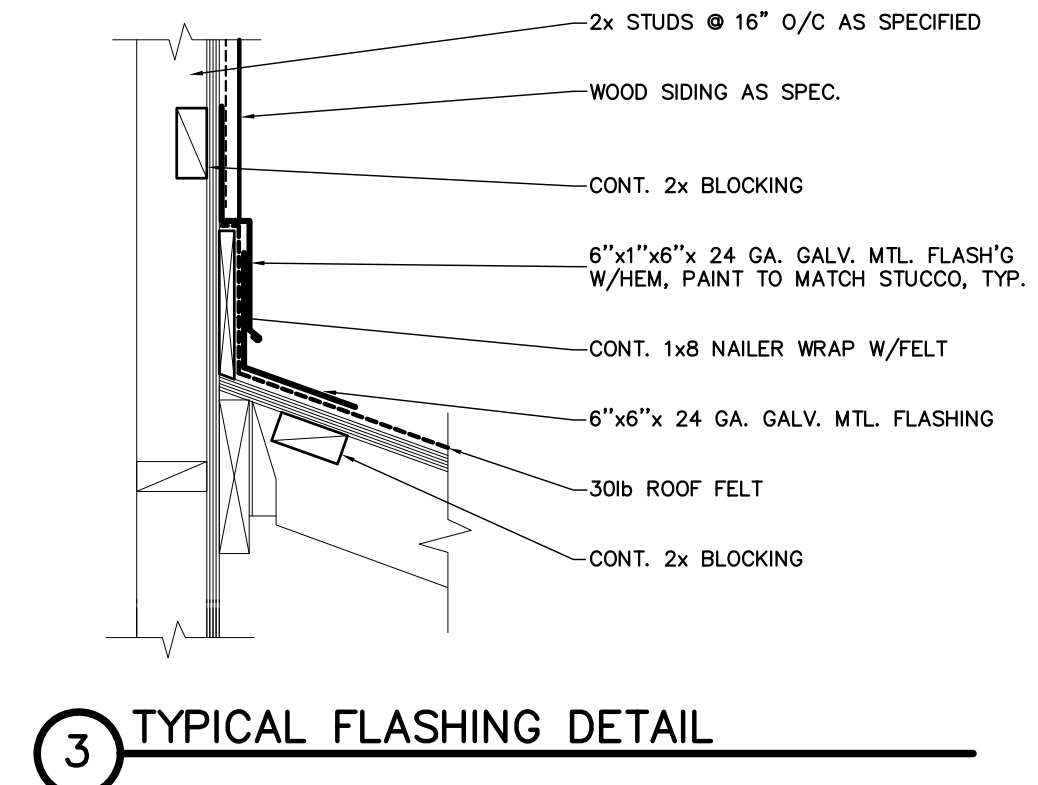
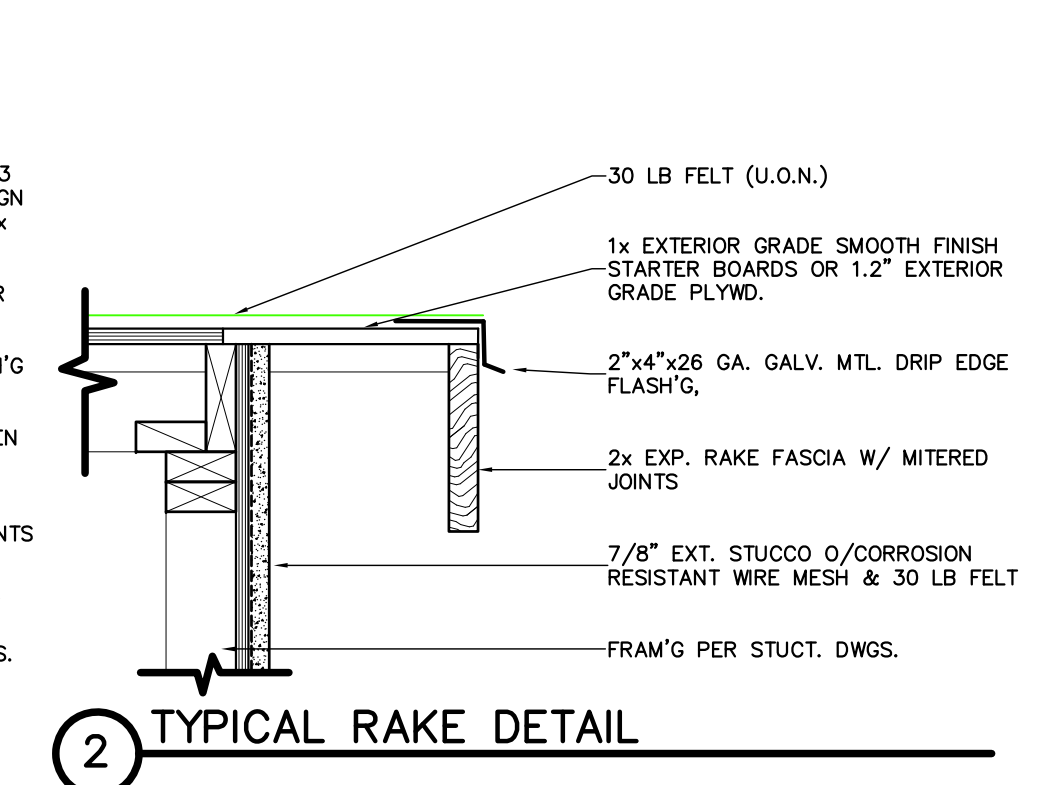
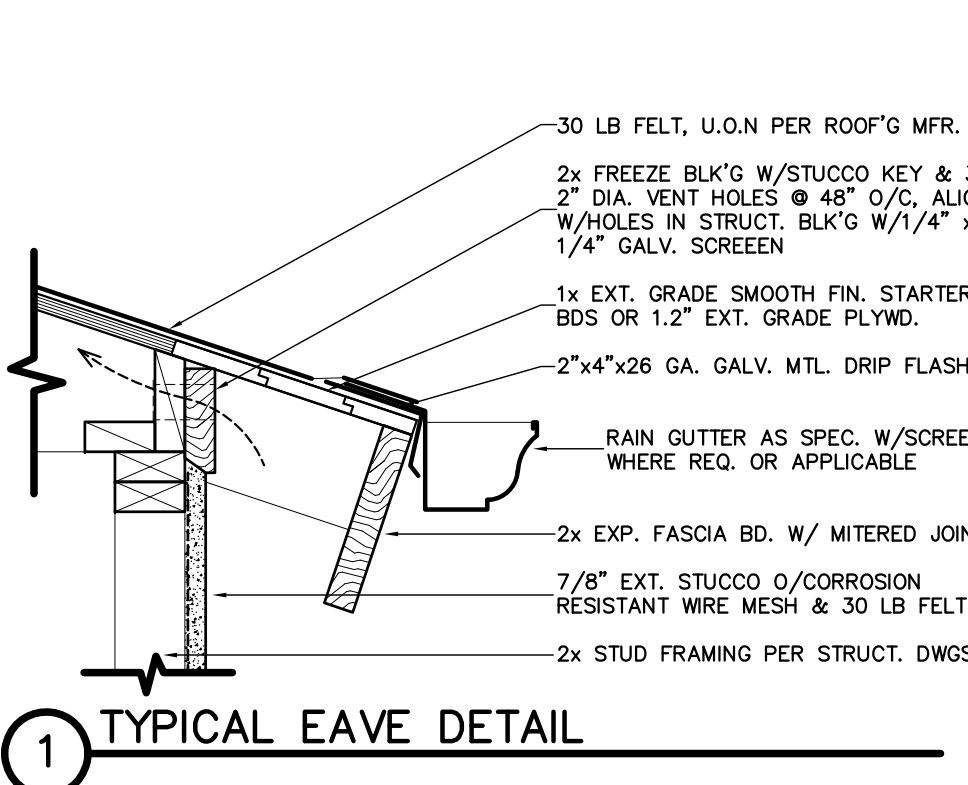
**ARCHITECTURAL**  
**SECOND FLOOR PLAN**

REVISIONS	BY

PLAN CHECK NO.	
DATE	08-28-18
SCALE	1/4" = 1'-0"
PROJECT NO.	FP #180815
DRAWN BY	R. A. S.
DRAWING NO.	

**A-2**  
 SHEET NO. 3 of 6

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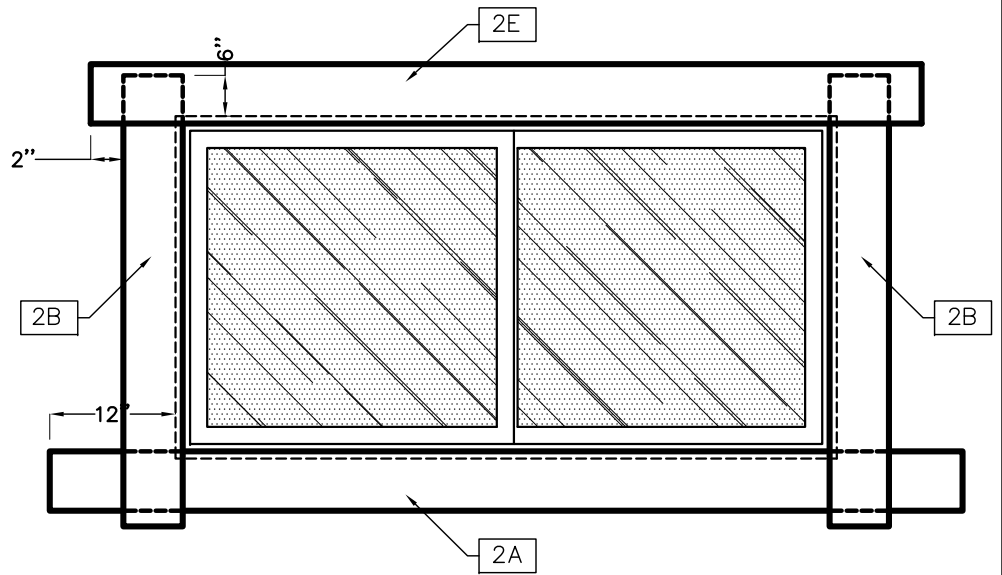


**GENERAL NOTES**

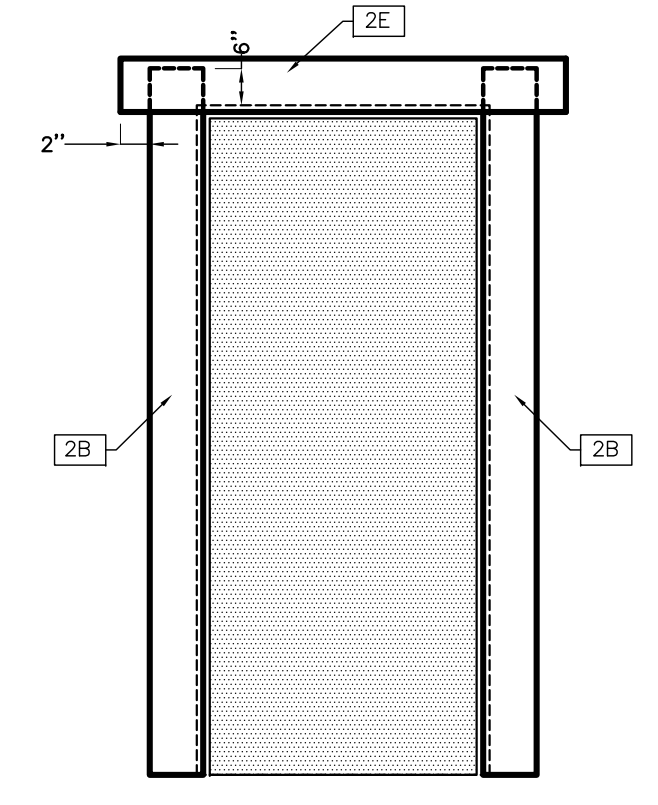
1. PROPOSED ROOFING: ASPHALT ROOF SHINGLES BY OWENS CORNING PER I.C.C. ESR-3229, CLASS "A" RATED ASSEMBLY PER CBC TABLE 1505.1 AMENDMENT
2. ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS OR SHALL BE PROTECTED BY LOUVERS AND 1/2" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ROTATION IN ONLY ONE DIRECTION.
3. RAIN GUTTERS AND DOWN SPOUTS ARE TO BE NON-COMBUSTIBLE. GUTTERS ARE TO BE INSTALLED WITH SCREENS. RAIN WATER IS TO BE DIRECTED TO LAWN AREA.
4. PAPER BACKED INSULATION IS NOT PERMITTED IN ATTIC SPACES.

**WINDOW INSTALLATION AND FLASHING INSTRUCTIONS**

EXTREME CAUTION MUST BE USED TO AVOID DAMAGE TO WINDOWS DURING INSTALLATION AND THE CONSTRUCTION PROCESS.



1. ROUGH FRAME THE OPENING 1/2" OVER THE ACTUAL WINDOW DIMENSION IN WIDTH AND HEIGHT. CHECK WINDOW TO ENSURE A PLUMB AND SQUARE CONDITION.
2. PRESSURE SENSITIVE ADHESIVE MATERIAL (P.S.A.M.) SHALL PROVIDE FOUR (4) HOUR MINIMUM PROTECTION FROM WATER PENETRATION (ASTM D-799). P.S.A.M. SHALL BE APPLIED IN THE FOLLOWING MANNER:
  - A. ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH SILL OPENING AND EXTEND TWELVE (12) INCHES BEYOND EACH JAMB.
  - B. ATTACH JAMB STRIPS WITH EDGE EVEN WITH JAMB OPENING. START ONE (1) INCH BELOW LOWER EDGE OF SILL STRIP AND EXTEND SIX (6) INCHES ABOVE THE LOWER EDGE OF HEADER.
  - C. APPLY A CONTINUOUS BEAD OF SEALANT TO THE BACK SIDE OF THE WINDOW NAIL FIN AT JAMBS, SILL AND HEAD.
  - D. INSTALL THE WINDOW, CENTERING TO PROVIDE AN EQUAL SPACE ON ALL SIDES. USE GALVANIZED FASTENERS. SILL MUST BE SUPPORTED LEVEL AND FLAT.
  - E. APPLY A CONTINUOUS BEAD OF SEALANT ALONG THE OUTSIDE OF THE HEAD NAIL FIN. EMBED THE STRIP OF HEAD FLASHING IN THE SEALANT AND EXTEND THE HEAD FLASHING TWO (2) INCHES PAST OUTSIDE EDGES OF THE JAMB FLASHING.
  - F. INSPECT CORNERS AT NAIL FIN TO ENSURE THERE ARE NO GAPS THAT WOULD ALLOW WATER TO PASS THROUGH TO THE INTERIOR. ANY GAPS IN P.S.A.M. OR NAIL FIN MUST BE SEALED.
  - G. RADIUS WINDOWS REQUIRE EXTRA CARE IN APPLICATION OF P.S.A.M. AND LIBERAL USE OF SEALANT.
  - H. PROTECT P.S.A.M. FROM DAMAGE CAUSED BY WEATHER, OTHER TRADES OR VANDALISM.
3. APPLY SUCCESSIVE LAYERS OF BUILDING PAPER, PROPERLY INTEGRATING THE FLASHING SYSTEM INTO THE WEATHER-RESISTIVE BARRIER OF THE BUILDING, WORKING UP FROM THE BOTTOM OF THE WALL. THE LOWER BUILDING PAPER MUST GO UNDER THE SILL FLASHING STRIP. OVERLAP EACH SUBSEQUENT STRIP OF BUILDING PAPER A MINIMUM OF TWO (2) INCHES AND COVER THE NAILING FIN.
4. FIELD APPLIED PETROLEUM OR OIL BASED PROTECTIVE COATINGS WILL DAMAGE WINDOW SEALANTS AND GASKETS, CAUSING INSULATION GLASS FAILURES AND POSSIBLE LEAKAGE THROUGH GASKETS.
5. MASKING TAPES SHOULD NOT BE USED ON EXPOSED WINDOW SURFACES AS THEY MAY CAUSE DAMAGE WHEN REMOVED. STUCCO OR CONCRETE LEFT TO CURE ON FRAMES OR GLASS WILL DAMAGE THESE SURFACES. REMOVE AND CLEAN ALL SUCH MATERIALS BEFORE CURING CAN OCCUR. GLASS AND FRAME SURFACES EXPOSED TO LEACHING WATER FROM NEW CONCRETE OR STUCCO MUST BE RINSED IMMEDIATELY WITH CLEAR WATER TO PREVENT PERMANENT DAMAGE.



**DOOR INSTALLATION AND FLASHING SIMILAR**

Design and Drawings By:  
**Full Perspective**  
 619-818-6491 ~ Robert@FullPerspective.com  
 2949 - G Unicornio Street, Carlsbad, CA 92009  
 City of Encinitas Business License Number 29352  
 www.FullPerspective.com

**McCORMICK**  
 CONSTRUCTION GROUP, INC.  
 122 FIFTEENTH STREET, SUITE 2972  
 DEL MAR, CALIFORNIA, 92014  
 619-349-0508

A NEW TWO STORY TRIPLEX FOR  
 Mr. Thai Quoc Le and  
 Mrs. Bach Loan Nguyen  
 BUSH STREET, OCEANSIDE, CA 92058  
 ASSESSOR'S PARCEL NO: 148-063-2-1

ARCHITECTURAL  
**ROOF PLAN**

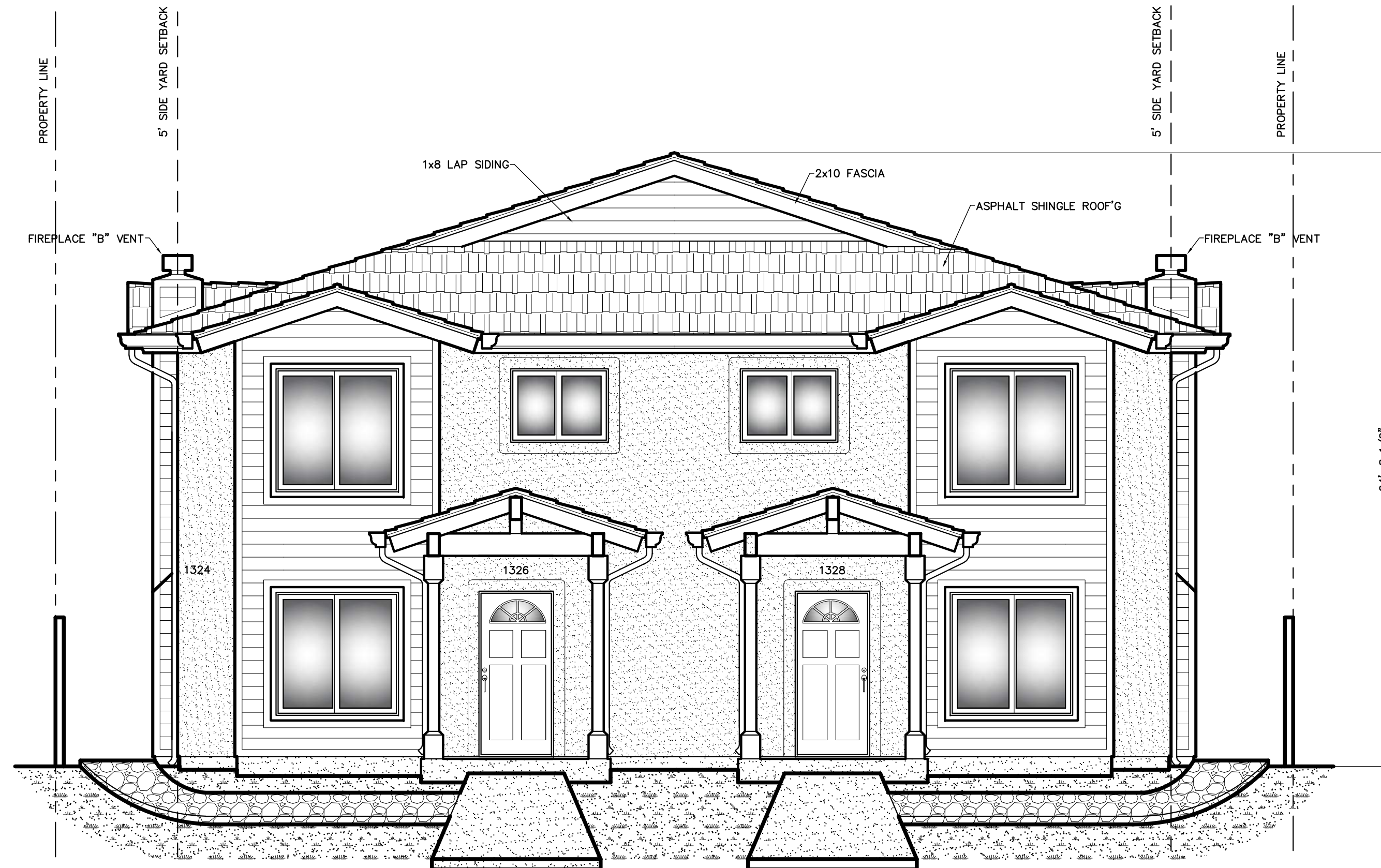
REVISIONS	BY

PLAN CHECK NO:  
 DATE: 08-28-18  
 SCALE: 1/4" = 1'-0"  
 PROJECT NO: FP #180815  
 DRAWN BY: R. A. S.  
 DRAWING NO:

**A-3**  
 SHEET NO. 4 of 6

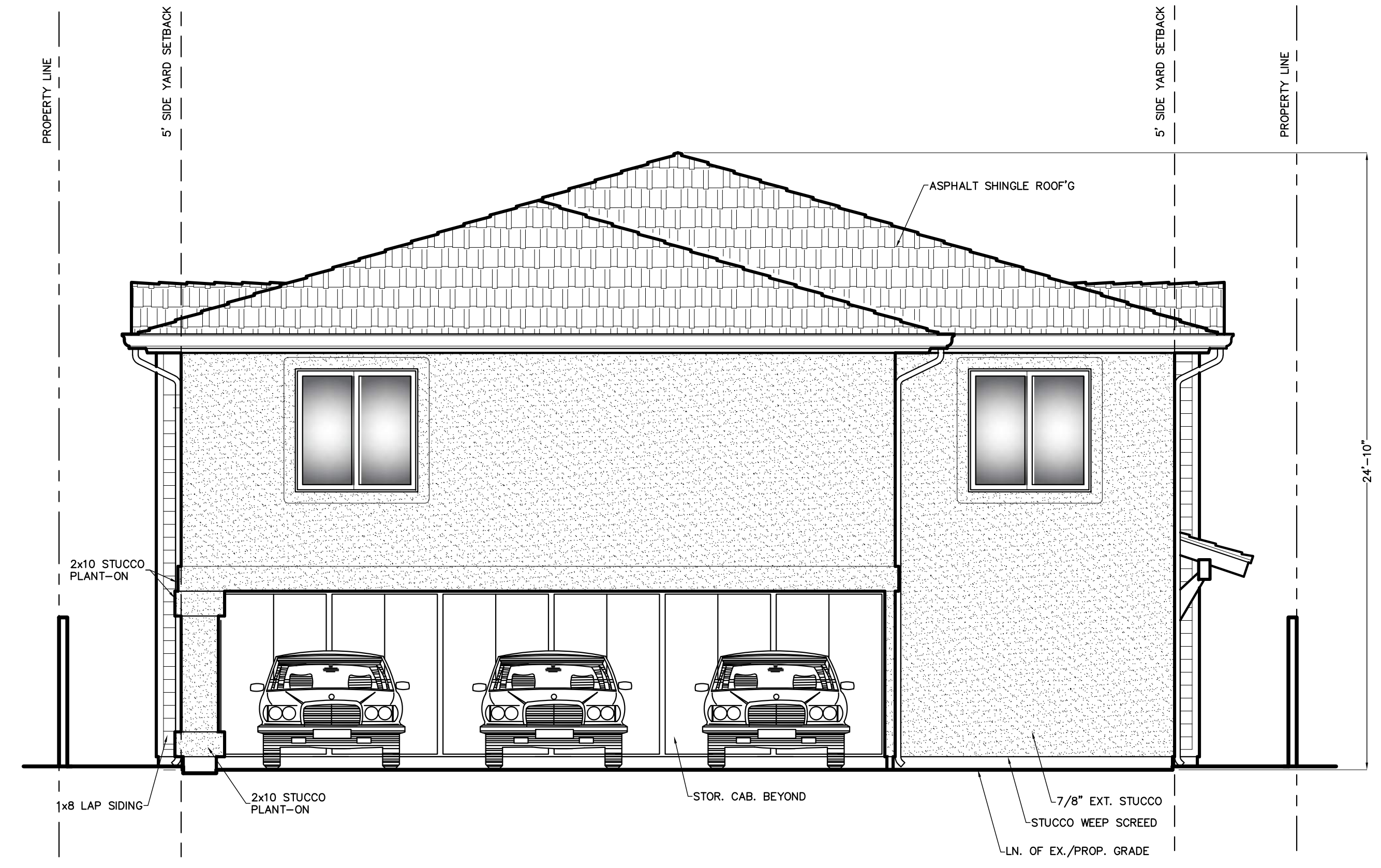


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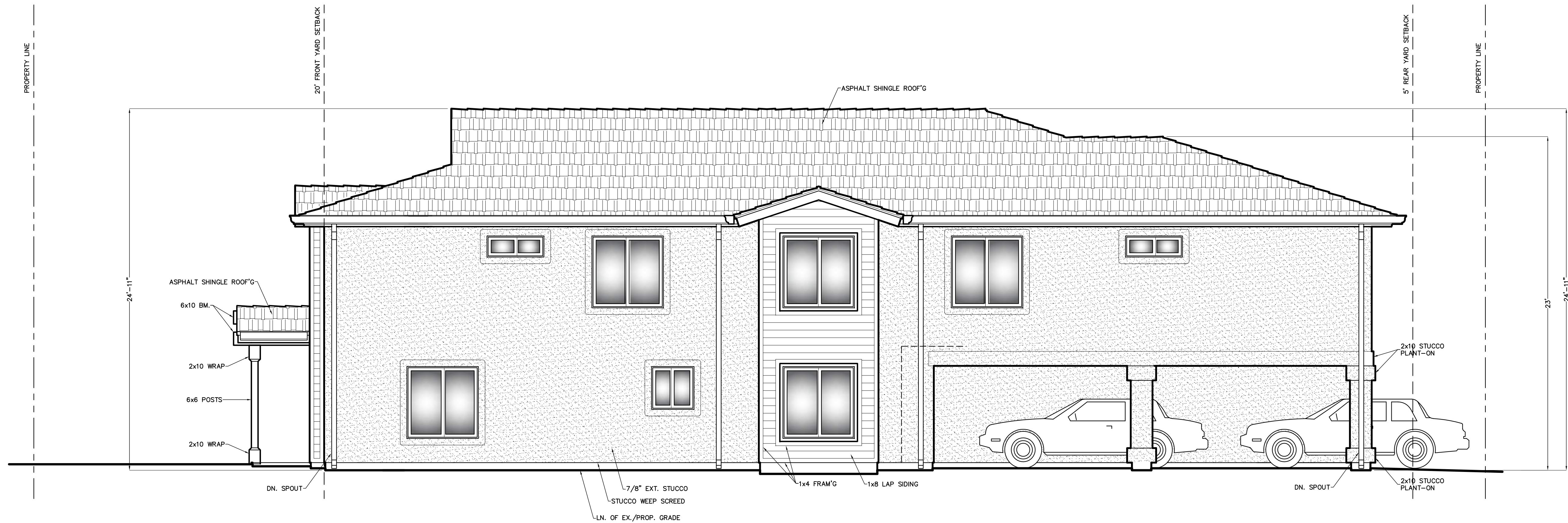
**A. SOUTH EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



**C. NORTH EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



**B. EAST EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"

Design and Drawings By:  
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 2949 - G Unicornio Street, Carlsbad, CA 92009  
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**MCCORMICK**  
 CONSTRUCTION GROUP, INC.  
 122 FIFTEENTH STREET, SUITE 2972  
 DEL MAR, CALIFORNIA, 92014  
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A NEW TWO STORY TRIPLEX FOR  
 Mr. Thai Quoc Le and  
 Mrs. Bach Loan Nguyen  
 BUSH STREET, OCEANSIDE, CA 92058  
 ASSESSOR'S PARCEL NO: 148-063-21

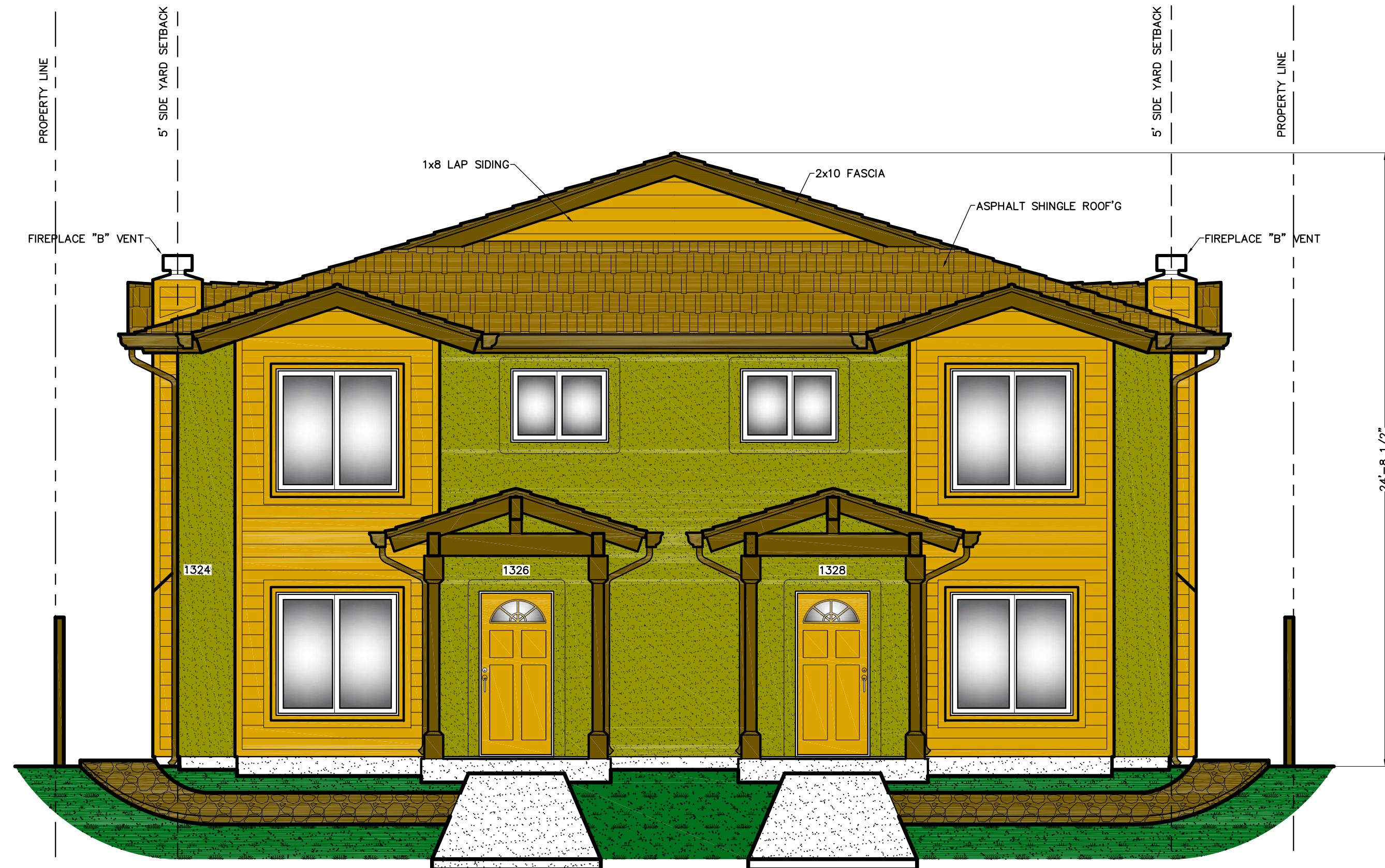
ARCHITECTURAL  
 SOUTH, EAST AND NORTH  
 EXTERIOR ELEVATIONS

REVISIONS	BY

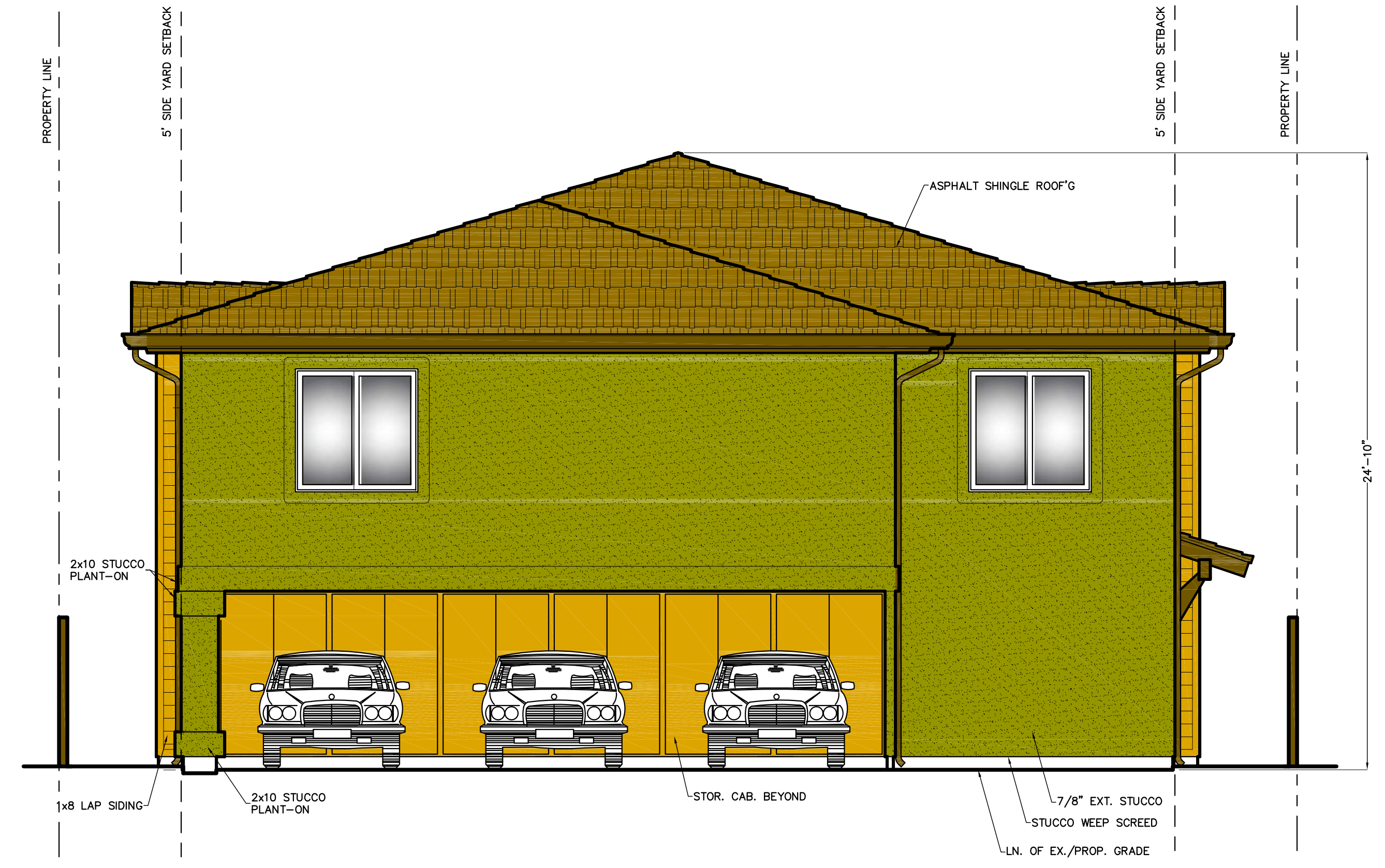
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DATE	08-28-18
SCALE	1/4" = 1'-0"
PROJECT NO.	FP #180815
DRAWN BY	R. A. S.
DRAWING NO.	

**A-4**  
 SHEET NO. 5 of 6

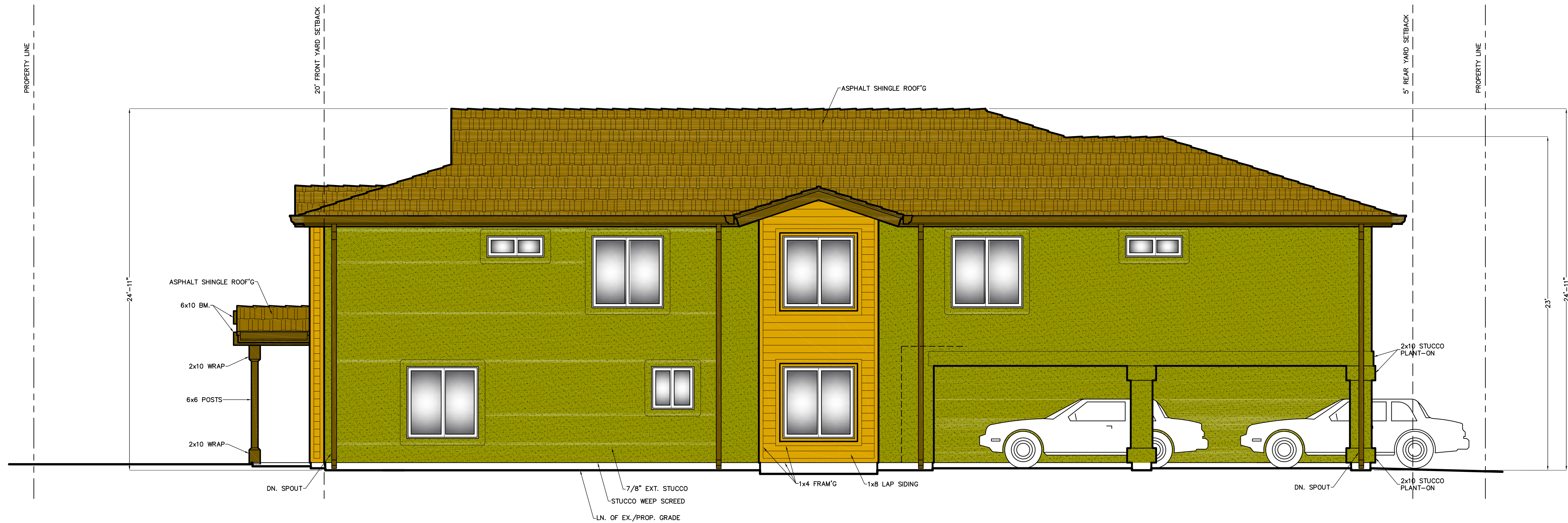
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**A. SOUTH EXTERIOR ELEVATION** SCALE: 1/4" = 1'-0"



**C. NORTH EXTERIOR ELEVATION** SCALE: 1/4" = 1'-0"



**B. EAST EXTERIOR ELEVATION** SCALE: 1/4" = 1'-0"

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 ASSESSOR'S PARCEL NO: 148-063-21

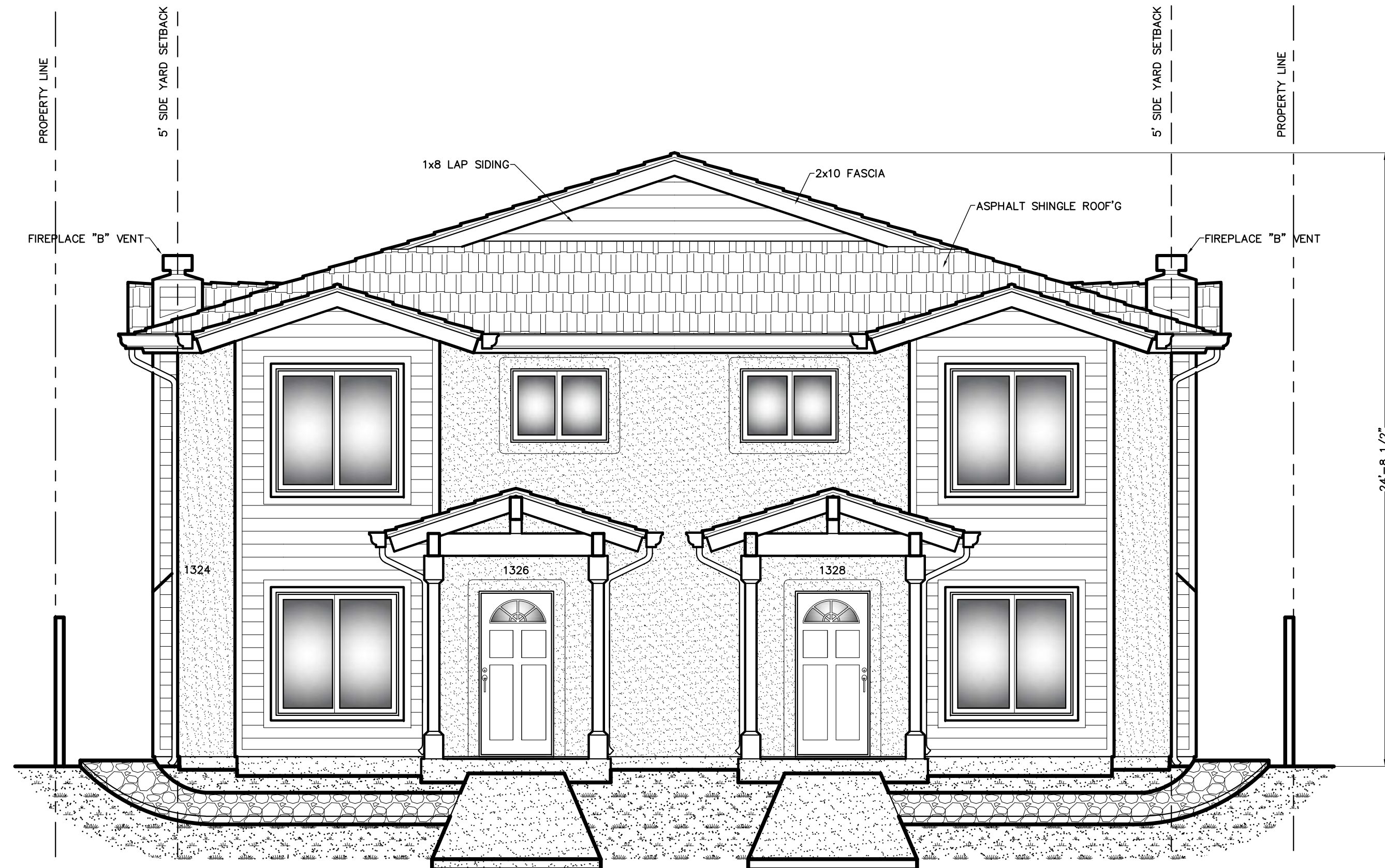
ARCHITECTURAL  
 SOUTH, EAST AND NORTH  
 EXTERIOR ELEVATIONS

REVISIONS	BY

PLAN CHECK NO.	
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PROJECT NO.	FP #180815
DRAWN BY	R. A. S.
DRAWING NO.	

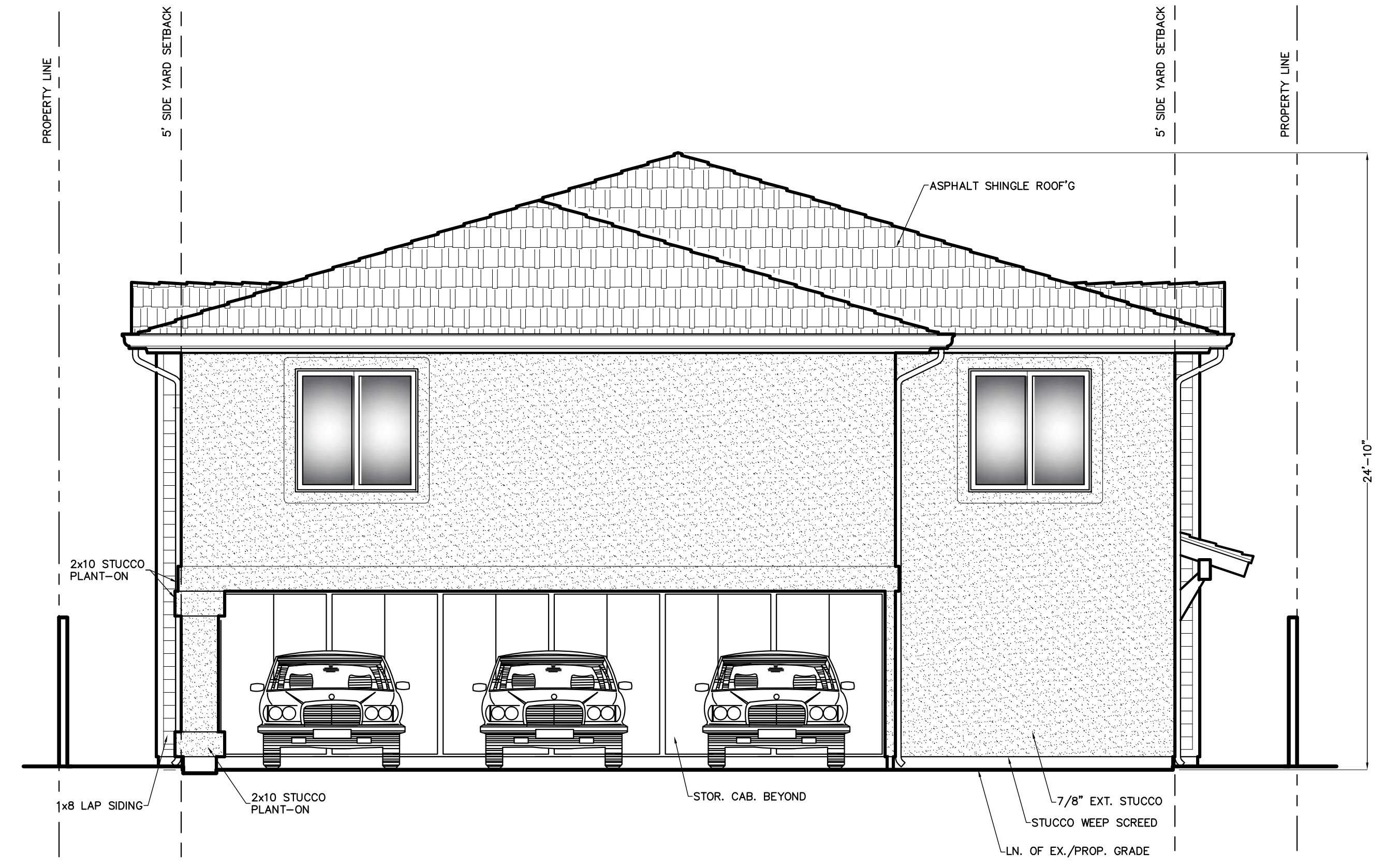
**A-4**  
 SHEET NO. 5 of 6

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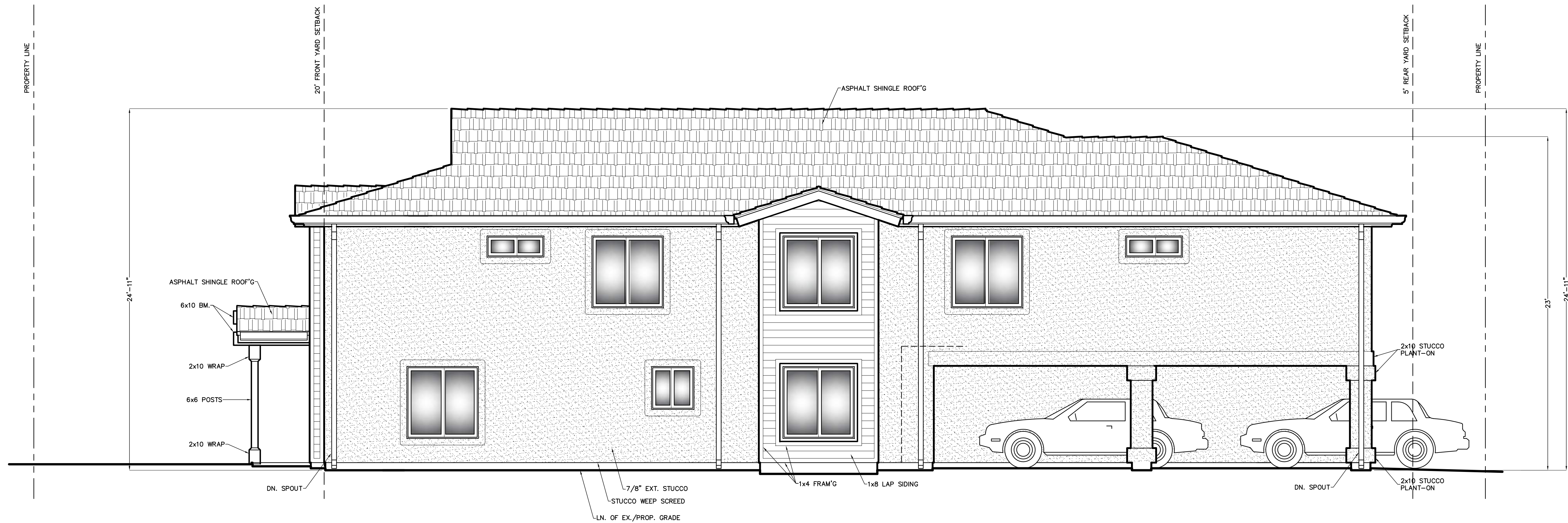
**A. SOUTH EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



**C. NORTH EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



**B. EAST EXTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"

Design and Drawings By:  
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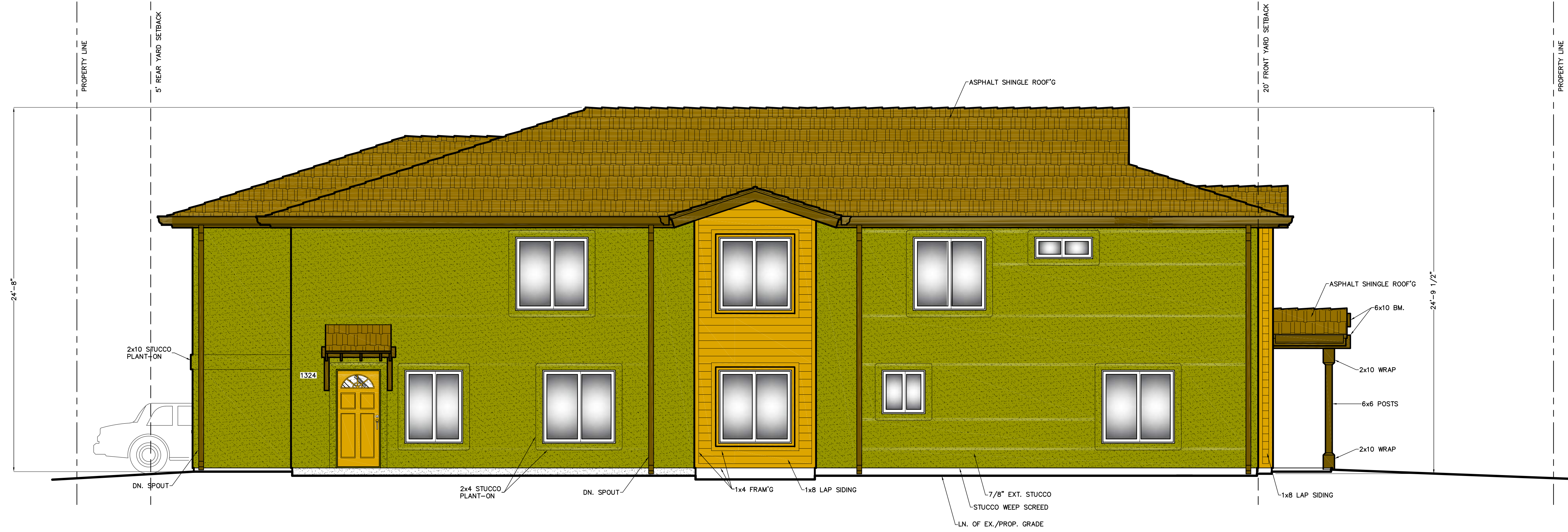
ARCHITECTURAL  
 SOUTH, EAST AND NORTH  
 EXTERIOR ELEVATIONS

REVISIONS	BY

PLAN CHECK NO.	
DATE	08-28-18
SCALE	1/4" = 1'-0"
PROJECT NO.	FP #180815
DRAWN BY	R. A. S.
DRAWING NO.	

**A-4**  
 SHEET NO. 5 of 6

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D. WEST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

ARCHITECTURAL

WEST  
EXTERIOR ELEVATION

A NEW TWO STORY TRIPLEX FOR  
Mr. Thai Quoc Le and  
Mrs. Bach Loan Nguyen  
BUSH STREET, OCEANSIDE, CA 92058  
ASSESSOR'S PARCEL NO: 148-063-21

**MCCORMICK**  
CONSTRUCTION GROUP, INC.  
122 FIFTEENTH STREET, SUITE 2972  
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619-349-0508

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REVISIONS	BY

PLAN CHECK NO.
DATE 08-28-18
SCALE 1/4" = 1'-0"
PROJECT NO. FP #180815
DRAWN BY R. A. S.
DRAWING NO.

**A-5**  
SHEET NO. 6 of 6



**City of Oceanside Developers Conference November 14, 2018**

Proposal: Conversion of a property with a single family dwelling to three (3) separate units

Project Location: 517 South Tremont Street

Oceanside, CA

APN: 150-185-12-00

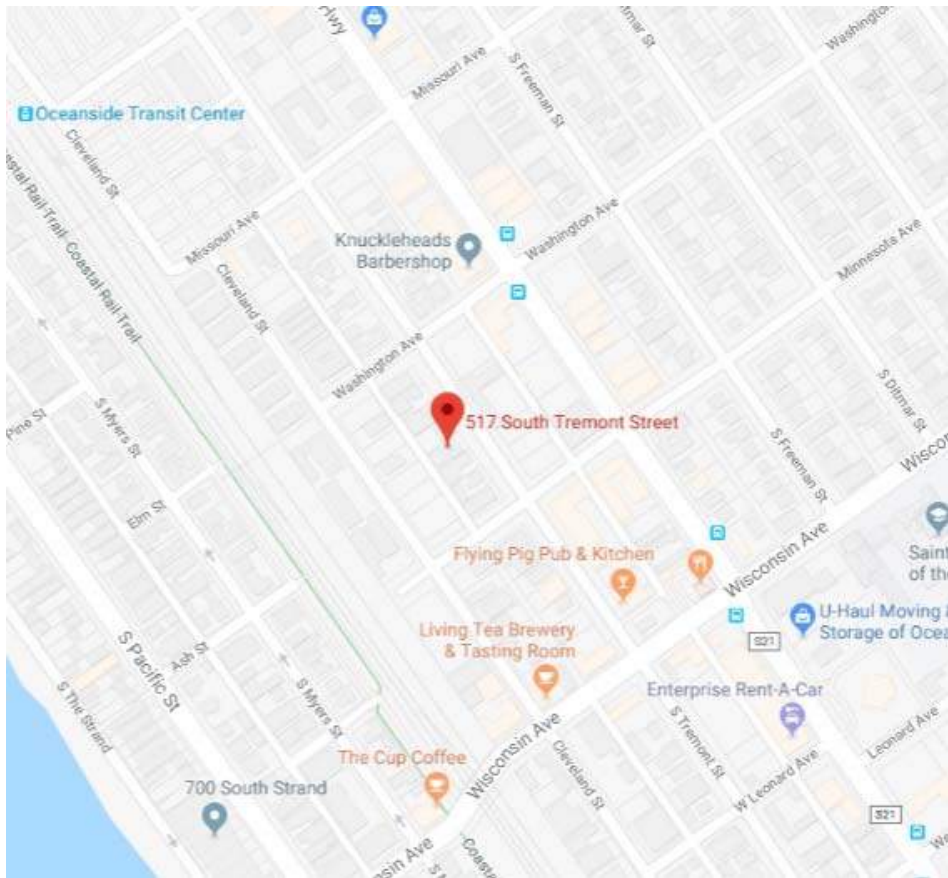
Applicant: Greg Belsaas, Owner



View from South Tremont Street



Regional Vicinity Map



Neighborhood Vicinity Map



Aerial View



Zoomed Aerial View

## PROJECT DATA

517 S TREMONT ST OCEANSIDE, CA 92054  
 CONTACT: (310) 365-3525

LEGAL DESCRIPTION - BLK 31\*LOT 5\*  
 APN 1501851200  
 APN\_8 15018512  
 PARCELID 5058083  
 SITUS\_JURIS OC

ZONING: R-3 / RH-U  
 (1) dwelling unit per 1,500 square feet of lot area.

TYPE OF CONSTR. VB

FIRE SPRINKLERS ARE REQUIRED  
 PER SECTION R313 OF THE 2013 CRC

UNIT #1 - LIVING Existing Asbuilt = TOTAL..... 880sf  
 PROPOSED TO BE PERMITTED.....140sf

UNIT #2 - LIVING Existing to remain unchanged... 565sf

UNIT #3 - LIVING 1st Fl Existing to remain unchanged.... 1460sf  
 UNIT #3 - LIVING 2nd Fl Loft Existing ..... 280sf = 1740 TOTAL  
 UNIT #3 - LIVING 2nd Fl Loft Proposed Internal Addition... 195sf = 1935 TOTAL  
 UNIT #3 - BALCONY 1st Fl Existing ..... 90sf  
 UNIT #3 - ROOF DECK 2nd Fl Existing .....520sf  
 UNIT #3 - ROOF DECK 2nd Fl PROPOSED .....1050sf

UNITS #1,2,3 - Garage(s) Existing to remain unchanged.....855sf

TOTAL LIVING = 3380sf  
 Total Under Roof = 4940sf

LOT COVERAGE: 48%  
 2400sf FOOTPRINT UNDER ROOF  
 5000sf LOT

SCOPE OF WORK: GENERAL REMODEL & CONVERSION  
 SMALL ADDITIONS & IMPROVEMENTS

Destructive removal of work performed without permits may be required for inspection(s)

Separate permit(s) is/are required for accessory building, patio, covers, walls, swimming pool, retaining wall, demolition, etc.

"The discharge of pollutants to any storm drainage system is prohibited. No solid waste, petroleum byproducts, soil particulate, construction waste materials, or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.

## DRAWING PAGE INDEX

- A1- TITLE PAGE / SITE PLAN
  - A2- MAIN FLOOR PLAN
  - A3- UNIT#3 SECOND FL PLAN ROOF PLAN
  - A4- ELEVATIONS
  - A5- ELECTRICAL PLAN
  - A6- ELECTRICAL PLAN
  - A7- MECHANICAL HVAC
  - A8- MECHANICAL HVAC
  - A9- Green Building Standards Requirements
- 
- S1 - FOUNDATION PLAN
  - S2 - FRAMING PLAN
  - S3 - STRUCTURAL DETAILS FASTENERS
  - S4 - STRUCTURAL DETAILS
  - S5 - STRUCTURAL DETAILS
  - S6 - STRUCTURAL DETAILS SHEAR
  - S7 - STRUCTURAL DETAILS HOLDOWN
  - S8 - STRUCTURAL DETAILS STAIRS DECK
- S... STRUCTURAL CALCS
- UNITS #1 / #2 / #3
- T-24.1 - TITLE 24 REPORT
  - T-24.2 - TITLE 24 REPORT
  - T-24.1 - TITLE 24 REPORT
  - T-24.2 - TITLE 24 REPORT
  - T-24.1 - TITLE 24 REPORT
  - T-24.2 - TITLE 24 REPORT

## CODE COMPLIANCE

**ALL WORK/PLANS SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND AS AMENDED BY JURISDICTIONAL ORDINANCE:**

**Amendments to the City of Oceanside Administrative Code for Building Regulations Ordinance No. 13-OR0752-1 Effective Date 01/01/2014**

- 2013 EDITION OF THE:**
- California Building Code
  - California Residential Code
  - California Mechanical Code
  - California Plumbing Code
  - California Electrical Code
  - California Green Code
  - California Energy Code (CESC)
  - California California Fire Code (CFC)
  - California Green Building Standards Code (CALGreen Code)

**PRELIMINARY** and as the following recited codes;

Section 1701: FRONT YARD. The following minimum front yard setback requirements shall be met: (for special conditions and exceptions, see further provisions in this article).

(b) Every lot which allows apartment development and is located west of Interstate 5 shall have a minimum front yard setback of not less than fifteen (15) feet.

Section 1702: SIDE YARDS. The following minimum side yard setback requirements shall be met: (for special conditions and exceptions, see further provisions in this Article).

(a) Interior lots in the R-A, R-1, R-2, and R-3 and SP zones shall have a minimum side yard setback of not less than ten (10) percent of the width of the lot provided that such side yard setback shall not be less than three (3) feet and need not exceed five (5) feet.

Section 1703: REAR YARDS. The following minimum rear yard setbacks shall be met: (for special conditions and exceptions see further provisions in this Article).

(a) Every lot in the R-A, R-1, R-2, R-3 and SP zones shall maintain a minimum rear yard setback of fifteen (15) feet except for the following:

(2) Lots which rear upon an alley shall maintain a five (5) foot setback.

Section 1707: MAXIMUM LOT COVERAGE. (c) All buildings in the R-3, R-P, and O-P zones including accessory buildings and structures shall not cover more than sixty (60) percent of the area of the lot.

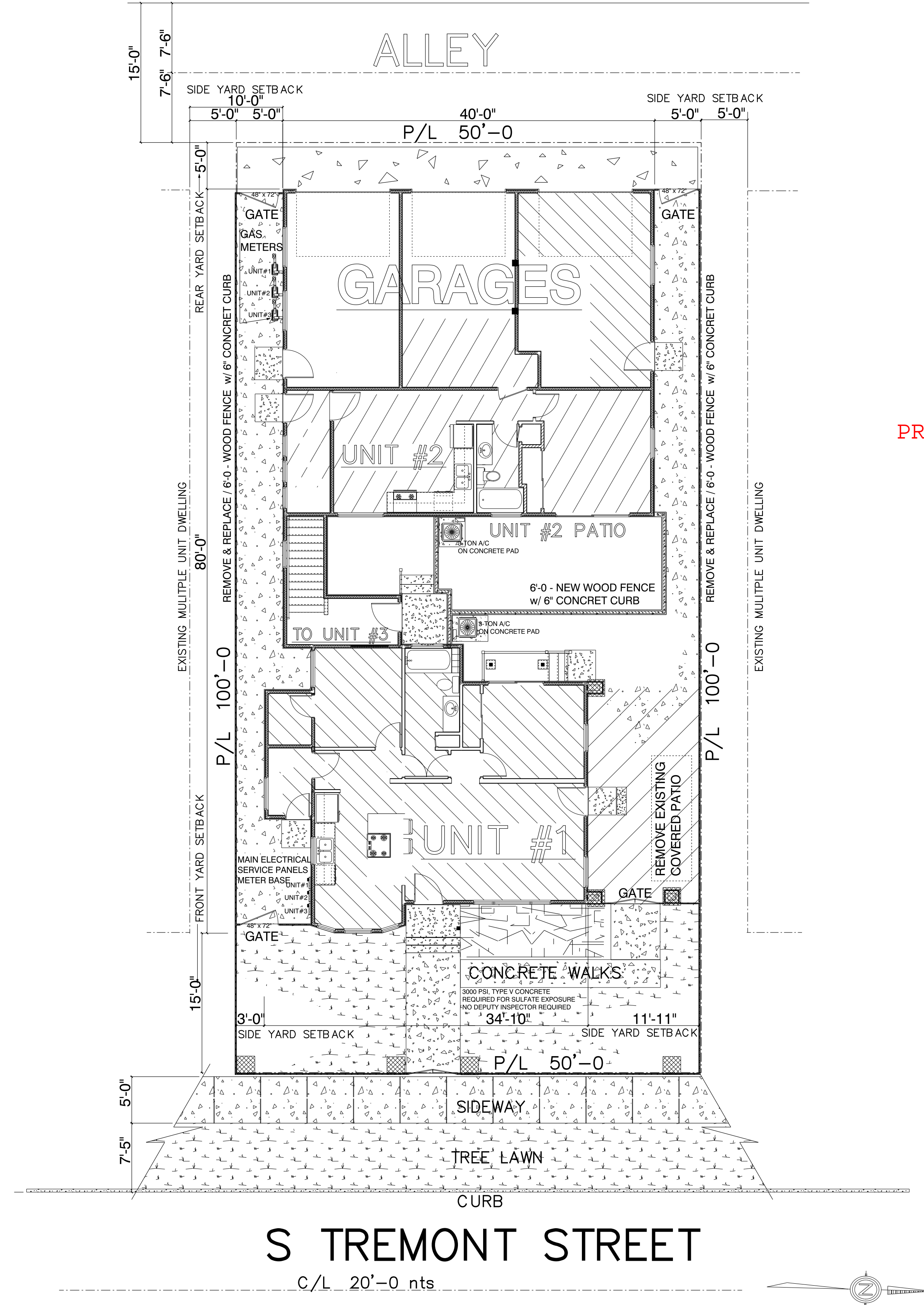
Section 1709: HEIGHT. No building or structures shall be erected or enlarge unless such building or structure complies with the height regulations for the zone in which the building or structure is located or proposed to be located. For purposes of determining the height of a building or structure, the average finished grade of the parcel on which the building or structure is located shall be used. The maximum permitted height of any building or structure shall be as follows:

(b) No building or structure used for residential purposes in the R-3, O-P, R-T, R-C, PRD, or SP zones shall exceed a height of 35 feet or three stories, whichever is less.

Section 1721: MAXIMUM HEIGHT OF WALLS, FENCES, OR HEDGES. (a) In any "R" zone a wall, fence, or hedge forty-two (42) inches in height may be located and maintained on any part of a lot. On an exterior lot a wall, fence, or hedge not more than six (6) feet in height may be located anywhere on the lot to the rear of the rear line of the required front yard, except that on corner lots and reversed corner lots a six (6) foot fence may be located anywhere on the lot to the rear of the rear line of the required front yard, or as provided for in Section 1719, whichever is greater.

Section 1729: MECHANICAL EQUIPMENT. All ground mechanical equipment shall be completely screened behind a permanent structure and all roof top mechanical equipment shall be placed behind a permanent parapet wall or screen of approved weatherproof material to be approved by the Building Official and Chief of Housing and shall be completely restricted from all view. Such screening shall be as high as the highest portion of the equipment or ducting and shall be permanently maintained.

Section 1731: LANDSCAPING REQUIREMENTS. All open areas with the exception of vehicular accessways and parking areas, pedestrian walkways, and recreational facilities shall be landscaped. A minimum of sixty (60) percent landscaping shall be provided within the required front and side street side yard setback areas, respectively. All landscaped areas shall have a permanent irrigation system providing one hundred (100) percent coverage.



EXISTING SITE PLAN w/PROPOSED MODIFICATIONS

SCALE: 1/8" = 1'-0"

JAN 17, 2017

MULTI-FAMILY  
 3-UNIT  
 CONVERSION  
 & REMODEL

**DEL RENO CAPITAL, LLC**  
 517 S TREMONT ST  
 OCEANSIDE, CA 92054  
 (310) 365-3525  
 PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET.

**SITE PLAN**  
**TITLE PAGE**  
**A1**

ALL MEASUREMENTS ARE ACCURATE BUT NOT EXACT. ALL MUST BE FIELD CHECKED PRIOR TO DEMOLITION OR CONSTRUCTION. C COPYRIGHT 2017. THESE DRAWINGS ARE NOT TO BE REPRODUCED, SOLD OR DISTRIBUTED UNLESS WRITTEN PERMISSION IS GRANTED.

DESIGNER SIGNATURE  
*Anthony Triglio*  
 ANTHONY TRIGILIO  
 2016

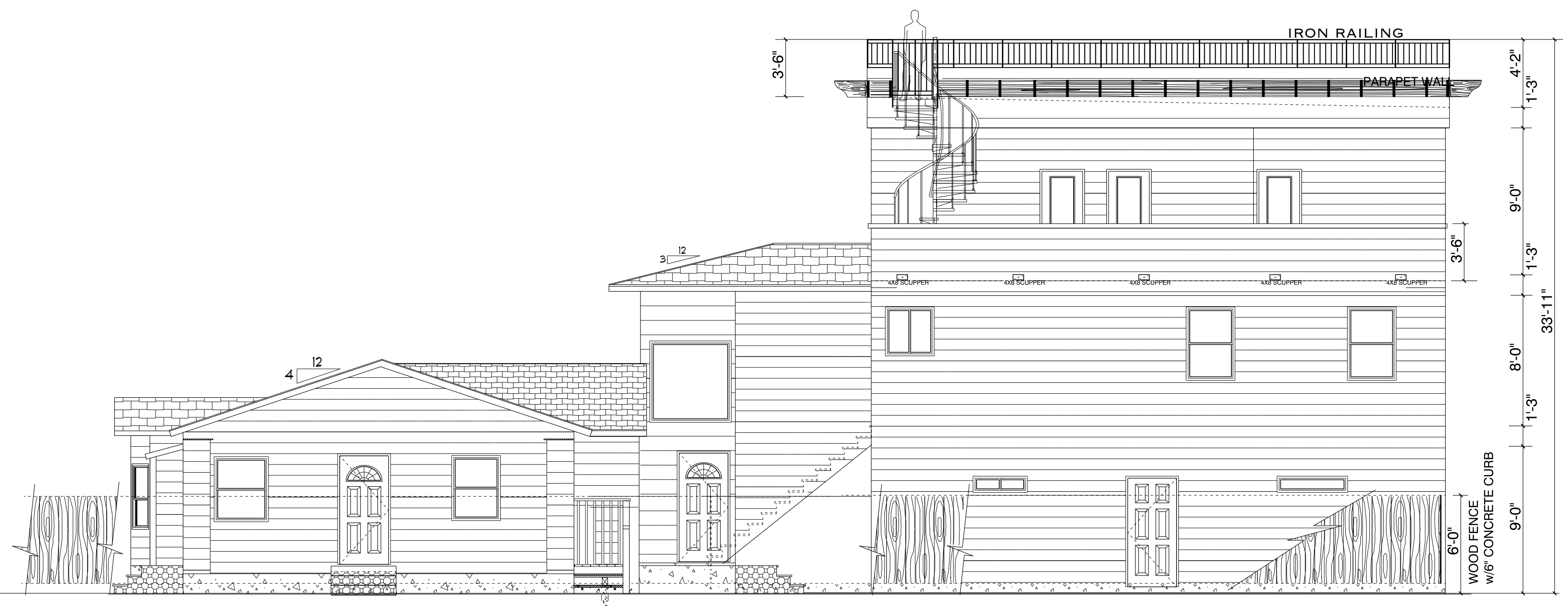
JAN 17, 2017  
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 & REMODEL

**DEL RENO CAPITAL, LLC**  
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 OCEANSIDE, CA 92054  
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 PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET.

**ELEVATIONS**

**A4**

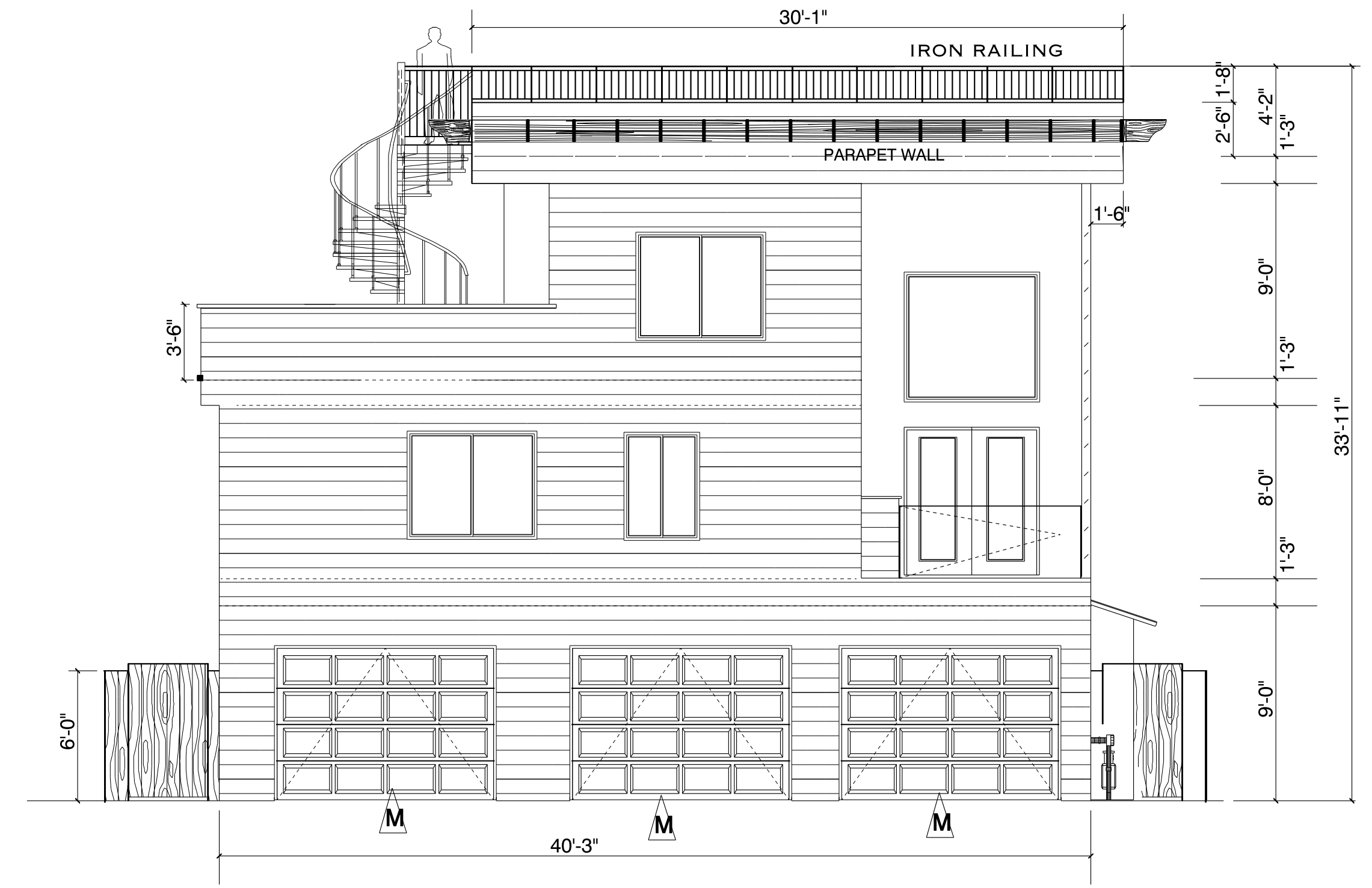
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**RIGHT ELEVATION**

EXISTING w/ PROPOSED SCALE: 3/16" = 1'-0"

PRELIMINARY



**REAR ELEVATION**

EXISTING w/ PROPOSED SCALE: 3/16" = 1'-0"



**LEFT ELEVATION**

EXISTING w/ PROPOSED SCALE: 3/16" = 1'-0"

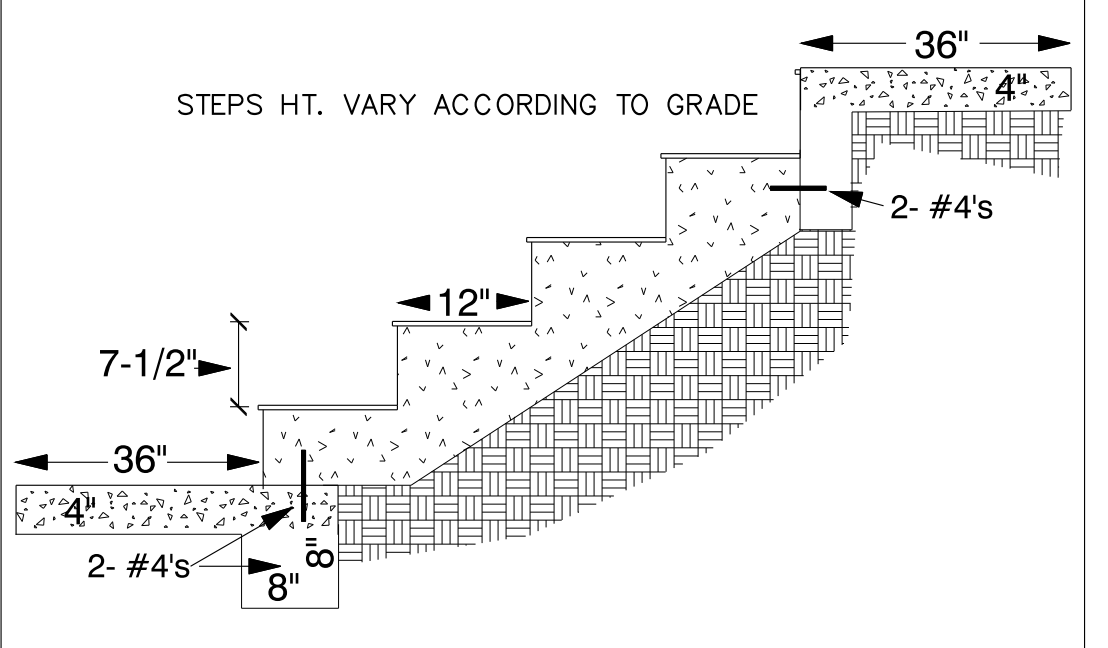


**FRONT ELEVATION**

EXISTING w/ PROPOSED SCALE: 3/16" = 1'-0"

**EXPANSION BOLTS AND EPOXY (SPECIAL INSPECTION REQUIRED)**

- Expansion bolts used in concrete shall be "KWIK Bolt-II" by Hilti, installed in accordance with ICBO report no. ER-4627, "Power - Stud" by Power Fasteners, installed in accordance with ICBO report no. ER-5225, "Wedge-All" by Simpson Strong-Tie, installed in accordance with ICBO report no. ER-3631.
- Epoxy bolts and dowels used in brick masonry shall be a threaded rod or reinforcing bar dowel with on of the following adhesive systems. The "Set" adhesive system by Simpson Strong-Tie, installed in accordance with ICBO report no. ER-5279 or "Power-Fast" Adhesive system by Powers Fasteners, installed in accordance with ICBO report no. ER-4803 or "HY-150 adhesive system by Hilti, installed in accordance with ICBO report no. ER-5193.
- Epoxy bolts and dowels used in concrete, concrete masonry, or AAC block shall be a threaded rod or reinforcing bar dowel with on of the following adhesive systems. The "Set" adhesive system by Simpson Strong-Tie, installed in accordance with ICBO report no. ER-5279 or "Power-Fast" Adhesive system by Powers Fasteners, installed in accordance with ICBO report no. ER-4514 (Concrete Only) or "HY-150 adhesive system by Hilti, installed in accordance with ICBO report no. ER-5193.
- Expansion and Epoxy bolts and screws in anchors shall be used only where specifically shown on the drawings or when application is approved in writing by the structural engineer.
- Contractor may request in writing to substitute expansion or epoxy bolts of equal value in the specified material with a current ICBO report for review by the structural engineer of record. A copy of the ICBO report shall be forwarded to the development services department for plan review after the engineer of record has reviewed and approved the item and prior to erection of the item.



TYPICAL CONCRETE STEPS DETAIL  
 15

**DOORS, WINDOWS & GLAZING - GENERAL SPECIFICATIONS**

- EXTERIOR DOORS AS INDICATED. PROVIDE LOCKING HARDWARE, METAL THRESHOLDS AND WEATHERSTRIPPING.
- DOORS BETWEEN HOUSE AND GARAGE SHALL BE 1-3/4" SOLID CORE, ONE HOUR FIRE RATED WITH SELF CLOSING HINGES AND SPRING BRONZE FULL WEATHERSTRIPPING, METAL SADDLE.
- INTERIOR DOORS TO BE PAINT GRADE 6 OR 8 PANEL MASONITE OR EQUAL OR OTHER AS SELECTED.
- EXTERIOR WINDOWS TO BE "MASTERVIEW OR EQUAL WITH DUAL PANE INSULATED GLASS AND A WHITE PAINTED ALUMINUM FRAME WITH STUCCO MOLDING UNLESS AS OTHERWISE INDICATED OR SELECTED.
- EXTERIOR WOOD WINDOWS AND CUSTOM WOOD DOOR FRAMES AND SIDE LITES WHERE SELECTED SHALL BE FINISHED TO MATCH COLOR ON ALUMINUM FRAMES.
- ALL EXTERIOR WINDOWS TO BE DOUBLE PANE INSULATED U.N.O.
- INTERIOR WINDOWS TO BE SINGLE PANE WITH WOOD FRAME.
- SAFETY GLAZING - PROVIDE TEMPERED GLASS OR LAMINATED SAFETY GLASS AS SELECTED IN ALL SLIDING GLASS PORCH OR PATIO DOORS AND FRENCH DOORS, ENTRY SIDELITES, ANY WINDOWS THAT EXTEND BELOW 18" ABOVE THE FLOOR AND SHOWER DOORS AND TUB ENCLOSURES AND WHERE OTHERWISE REQUIRED BY CODE. AT CLEDESTORY WINDOW SKYLITES, GLAZING SHALL ALL BE SAFETY GLAZING EITHER LAMINATED TYPE OR WIRED SAS SELECTED BY OWNER WITHIN CODE LIMITATIONS. CLEDESTORY WINDOW SKYLITES SHALL NOT HAVE TEMPERED SAFETY GLASS.
- HARDWARE TYPES & FINISHES SHALL BE AS APPROVED INCLUDING ALL LATCHING, LOCKING, SECURITY MECHANISM.
- ALL OPERATING WINDOWS SHALL HAVE INTERIOR OPERATING HARDWARE AND MECHANISMS AS SELECT BY OWNER. OPERATING ALUMINUM WINDOWS SHALL HAVE HEAVY DUTY ALUMINUM CATCHES WITH MANUAL OPERATION UNLESS SELECTED OTHERWISE. HARDWARE FOR ANY OPERATING WOOD WINDOWS SHALL MATCH THE PREDOMINANT HARDWARE FINISH TYPE FOR DOORS, FIXTURES IN ROOM. CLEDESTORY WINDOWS WHICH ARE OPERABLE SHALL BE PROVIDED WITH A HARDWOOD POLE WITH METAL HOOK SPECIALLY MADE FOR THE MANUAL OPERATION OF THE WINDOW LATCHES AND PIVOTING NECESSARY FROM INDOORS, BELOW AT THE GROUND FLOOR.
- EMERGENCY ESCAPE AND RESCUE - GENERAL REQUIREMENTS PER CODE. EACH BEDROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE WHICH SHALL OPEN DIRECTLY TO THE OUT SIDE. THE UNITS SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ.FT. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MIN. NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WINDOWS USED FOR ESCAPE OR RESCUE SHALL HAVE FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. INCLUDE FOR THE OFFICE.

**NOTES**

Door & Window dimensions shown as actual sizes.  
 ALL EXTERIOR WALLS ARE STRUCTURAL WALLS.  
 Doors & openings on structural walls require 4x10 header unless otherwise noted. House structure to be constructed according to all applicable ICC codes in effect at the time of construction.  
 Steps into home will vary according to grade.  
 If roof is to be stick built, provide proper ridge support, collar ties, purlins, strongbacks, and rafter ties as req'd.

PRELIMINARY