

<sup>1</sup>AGENDA  
OCEANSIDE DEVELOPER'S CONFERENCE

Wednesday, March 20, 2019, 9:30 a.m.  
City Hall South, 1<sup>st</sup> Floor, Guajome Room

1. 9:30 - 10:30 a.m.                      Proposed residential development on a vacant approx. 2 acre parcel along Vista Way, to include 20 one-story duplex units (on Vista Way between Lile Street and North Way)

**Zoning: RM-A (Medium-Density Residential A)**  
**Land Use: Medium Density Residential A**  
**Neighborhood Area: Mira Costa**  
**Assessor Parcel Number: 165-493-47**  
**Contact Person: Reza Shera**  
**Email: [rezashera@gmail.com](mailto:rezashera@gmail.com)**

2. 10:30 - 11:30 a.m.                      Proposed 3-unit residential development located at 417 S. Tremont Street

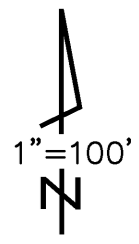
**Zoning: R-3 (Coastal Medium-Density Residential)**  
**Land Use: Coastal High Density Residential**  
**Neighborhood Area: Townsite**  
**Assessor Parcel Number: 150-182-10**  
**Contact Person: Isaac Benedek**  
**Email: [isaac@usbuidingsolution.com](mailto:isaac@usbuidingsolution.com)**

Attachments:

1. Parcel Map
2. Project Description Letter
3. Conceptual Site Plans
4. Vicinity/Regional Maps

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<sup>1</sup> *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*



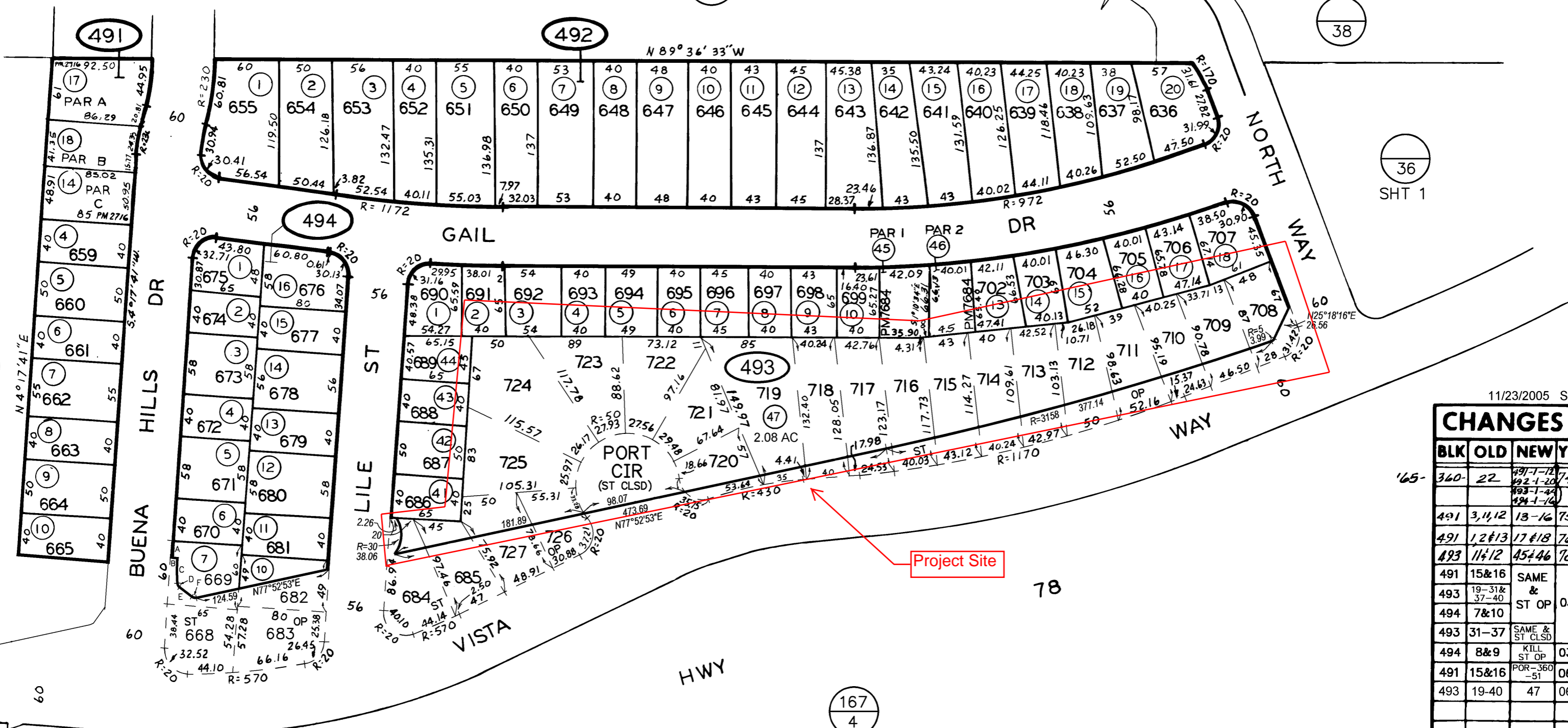
165-36

36 SHT 1

ITEM #1

38

36 SHT 1



- A. S04°46'41"W 15.72
- B. S85°13'19"E 5
- C. R=145 23.69
- D. R=5 4.16
- E. S52°14'49"E 14.86
- F. R=5 4.35

Project Site

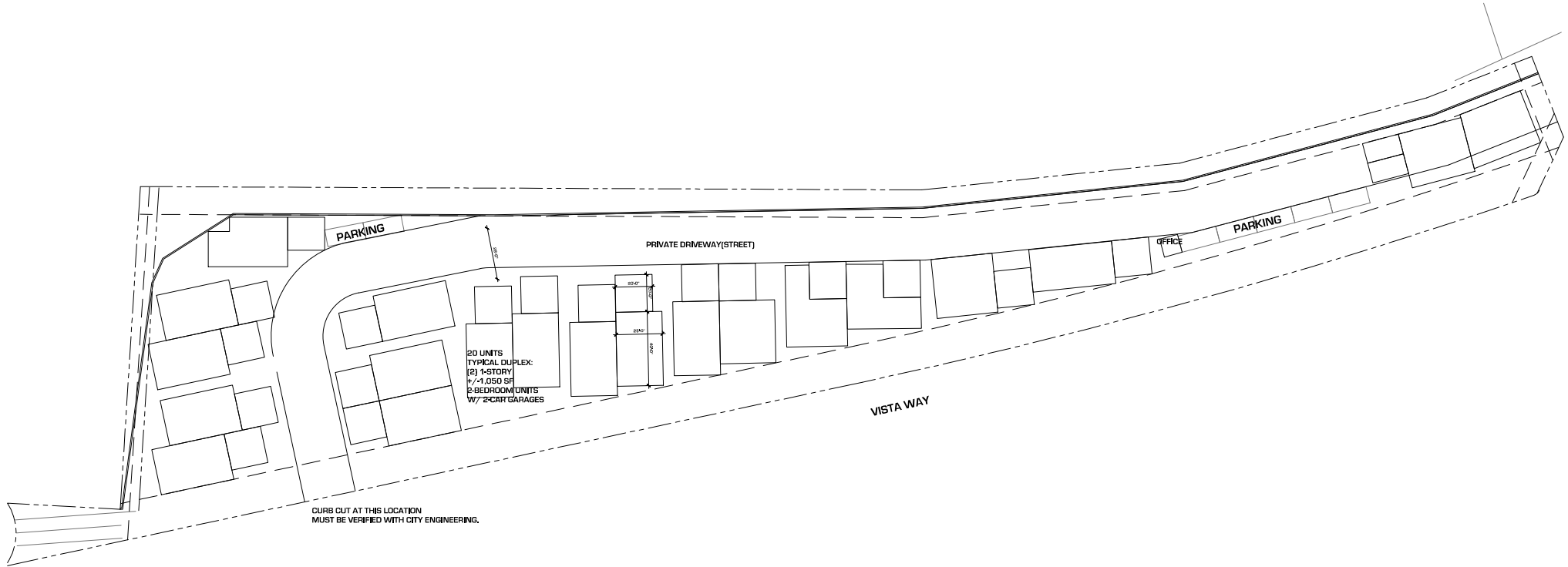
11/23/2005 SM

CHANGES				
BLK	OLD	NEW	YR	CUT
165-	360-	22	491-1-12 492-1-20 493-1-24 494-1-16	74 114
491	3,11,12	13-16	75	4042
491	1,2&13	17&18	76	1322
493	11&12	45&46	78	2588
491	15&16	SAME		
493	19-31& 37-40	& ST OP	03	4639
494	7&10			
493	31-37	SAME & ST CLSD		
494	8&9	KILL ST OP	03	1011
491	15&16	POR-360 -51	06	1258
493	19-40	47	06	2066

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

Project/Site description for 2.06 acres, Vista Way, Oceanside (APN 165-493-47)

The Project Site is an irregularly-shaped parcel of approximately 2.06 acres, fronting on Vista Way, just east of Lile St., and suitable under current zoning for 20 one-story duplex units similar to the surrounding homes in the Costa Serena Development. We have been very sensitive to produce a product that will be in perfect harmony with the neighbors with fresh up to date elevations that will enhance the neighborhood.



## SITE FEASIBILITY STUDY

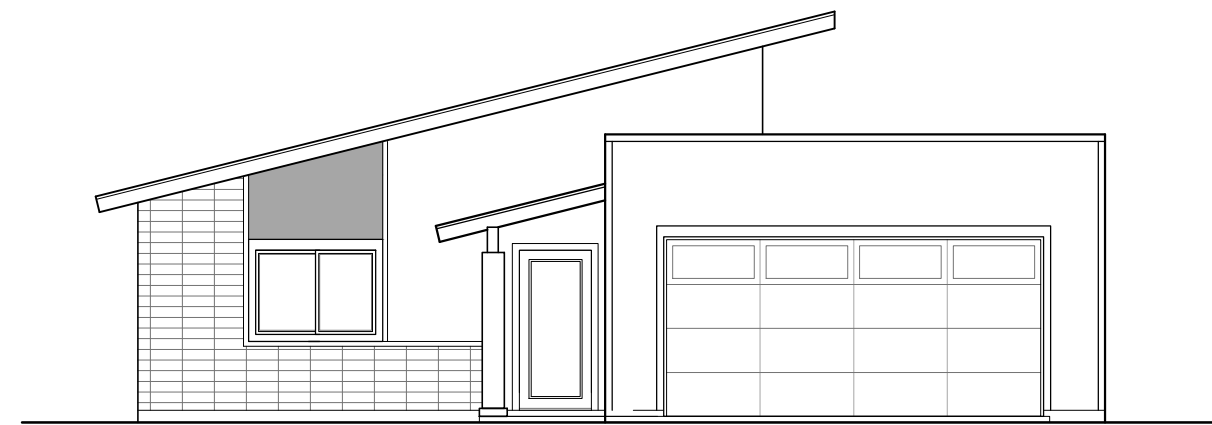
1" = 80'-0"



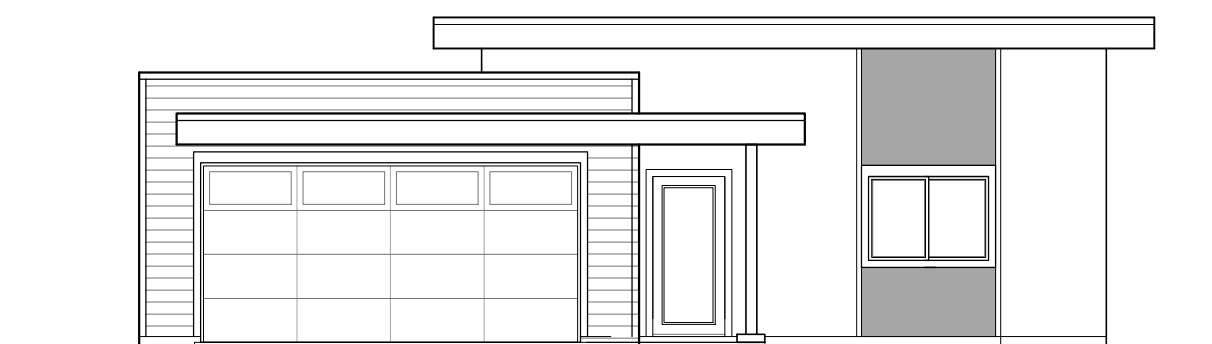
**ECOhouse architecture**

2640 Financial Court Suite D, San Diego, CA 92117

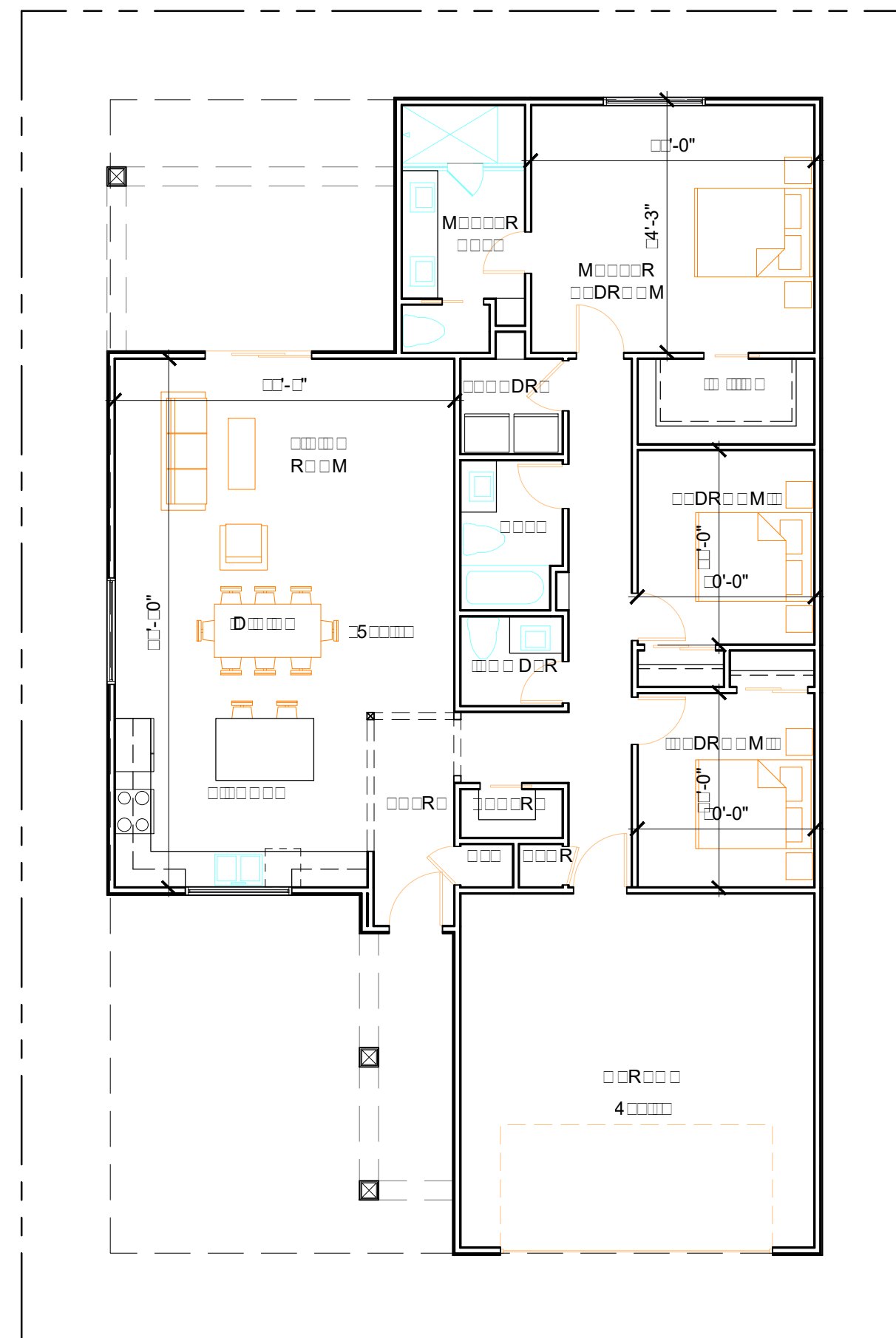
P: 619.203.9251



ELEVATION OPTION A  
 -STUCCO FINISH  
 -SOLDIER BRICK  
 -COLOR ACCENT

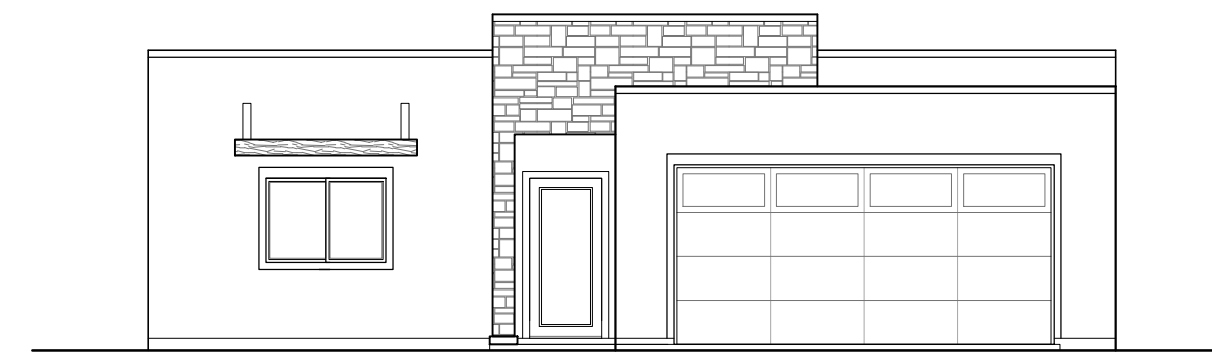


ELEVATION OPTION B  
 -STUCCO FINISH  
 -COMPOSITE SIDING  
 -COLOR ACCENT

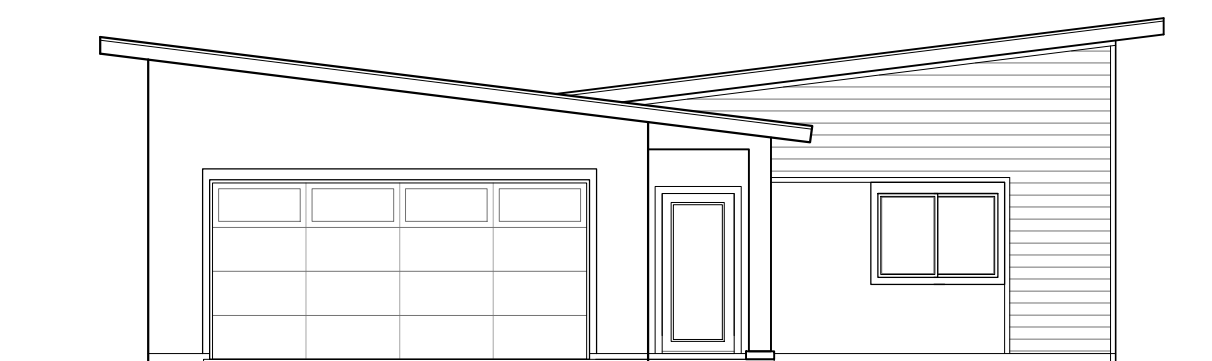


**1569 SF PLAN AND ELEVATIONS**

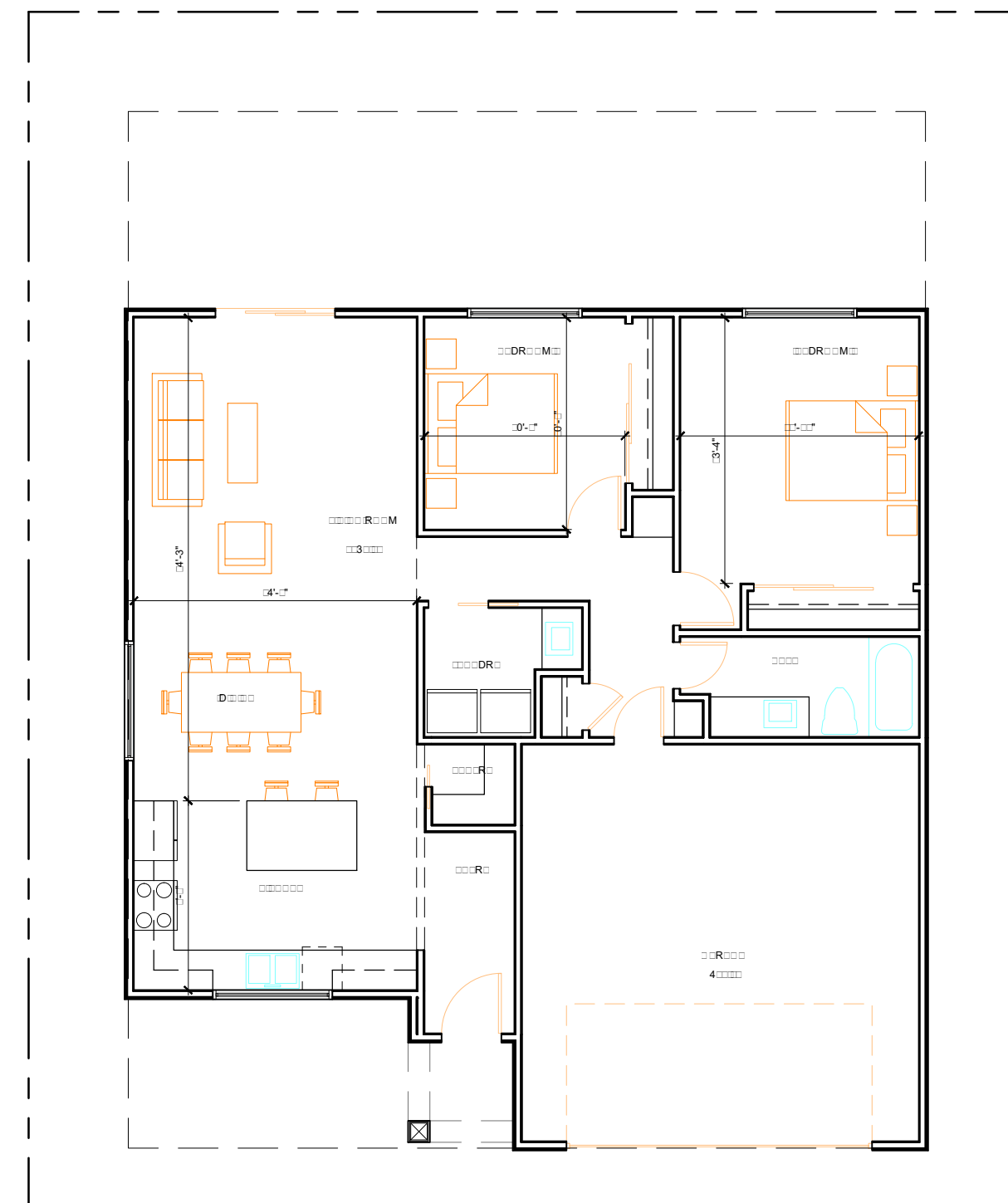
1/8" = 1'-0"



ELEVATION OPTION A  
 -STUCCO FINISH  
 -STONE VENEER  
 -WOOD AWNING



ELEVATION OPTION B  
 -STUCCO FINISH  
 -COMPOSITE SIDING



**1132 SF PLAN AND ELEVATIONS**

1/8" = 1'-0"



**PHOENIX**



417 S Tremont St Oceanside, CA 92054

## **Project description:**

Discussion of 3-unit project located west of coast highway and east of railroad between Cleveland street and South Coast highway

Zoning: R-3 (Medium Density Residential)

Accessor Parcel number: 150-182-10-00

legal Description: 000219 BLK 28\*LOT 5\*

Contact Person: Isaac Benedek

Tel: 619-200-9070

email: isaac@usbldingsolution.com

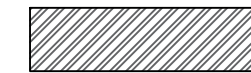
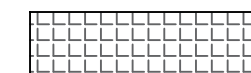


**CONSTRUCTED IMPERVIOUS SURFACE AREA TABLE**

SITE ID	IMPERVIOUS ITEM	DIMENSIONS	NEW OR REPLACED AREA (sf)	EXISTING AREA (sf)
	EXISTING RESIDENCE	PER PLAN	0 SF	
		PER PLAN	0 SF	
		PER PLAN		0 SF
<b>4</b>				
	TOTAL			

**EARTHWORK QUANTITIES**

MAX CUT DEPTH (FT)	
MAX FILL DEPTH (FT)	

**LEGEND**

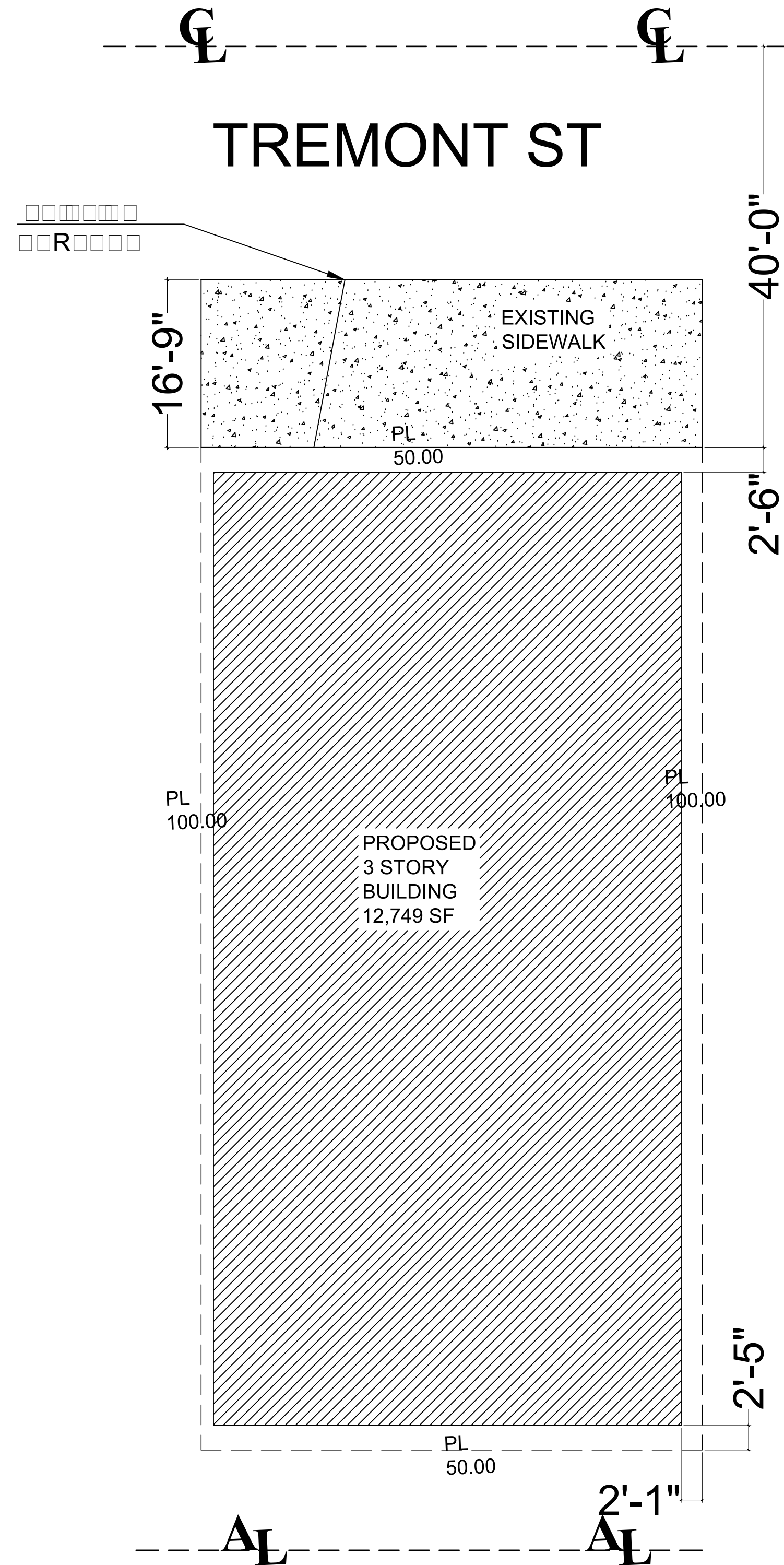
-  INDICATES EXISTING RESIDENCE
-  INDICATES PROPOSED ADU
-  PROPERTY LINE
-  CENTER LINE

**TOTAL DISTURBANCE AREA**

EXISTING AMOUNT OF IMPREVIOUS AREA	_____
THE AMOUNT OF CREATED IMPREVIOUS AREA	_____
THE AMOUNT OF REPLACED IMPREVIOUS AREA	_____
TOTAL PROPOSED IMPREVIOUS AREA	_____
IMPREVIOUS AREA % INCREASE	_____

**SITE PLAN**

SCALE 1"=10'



**GENERAL NOTES**

- 1.- FINISH GRADE SHALL BE SLOPED AWAY FROM BUILDING TO PROVIDE POSITIVE DRAINAGE.
- 2.- ALL DIMENSIONS ARE TO FACE OF STUDS (F.O.S.) U.O.N.
- 3.- ALL WINDOW HEADERS TO BE 6'-8" ABOVE FINISHED FLOOR U.O.N.
- 4.- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND SHALL BE RESPONSIBLE FOR ALL NEW WORK & CONDITIONS. BEFORE STARTING THE WORK CONSTRUCTION AND PROCEDURES SHALL CONFORM TO ALL APPLICABLE CODES & CITY REQUIREMENTS.
- 5.- SHALL BE CAULKED AND SEALED, INCLUDING UTILITY PIPING AND WIRING.
- 6.- ALL EXTERIOR DOORS AND WINDOWS SHALL BE FULLY WEATHER-STRIPPED AND MANUFACTURED UNITS SHALL MEET A.N.S.I. STANDARDS FOR AIR INFILTRATION.
- 7.- THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED & CERTIFIED BY NATIONAL FENESTRATION RATING COUNCIL.
- 8.- DIMENSIONS INDICATED SHALL BE VERIFIED TO EXPOSE FACE OF EXISTING STUDS. ALIGN NEW WORK FOR A SMOOTH/FLUSH FINISH.
- 9.- ALL MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED.
- 10.- ALL NEW WINDOWS ARE VINYL FRAME (OR AS SELECTED BY OWNER) AND SHALL BE DUAL GLAZED & FULLY WEATHERED AND FIELD WORK PRIOR TO DEMOLITION AND CONSTRUCTION.
- 11.- PROPOSED CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD WORK PRIOR TO DEMOLITION AND CONSTRUCTION.
- 12.- ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL COMPLY WITH THE 2016 CALIFORNIA RESIDENTIAL CODE AND OTHER ORDINANCES OF LOCAL GOVERNING AUTHORITIES & LATEST EDITION OF U.M.C., U.P.C., N.E.C.
- 13.- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER AND OWNER BEFORE CONSTRUCTION AND/OR FABRICATION OF WORK.
- 14.- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE GENERAL CONTRACTOR OR OWNER BEFORE COMMENCEMENT OF ANY WORK.
- 15.- THE DESIGNER WILL IN NO WAY BE RESPONSIBLE FOR ERRORS, OMISSIONS, AND/OR NEGLIGENCE OF THE BUILDER OR ANY OTHER DISCIPLINE IN CONNECTIONS WITH THE PROJECT AND HOW THE WORK IS PERFORMED IN SAFETY, IN OR ABOUT THE JOB SITE, OR METHODS OF PERFORMANCE.
- 16.- ANY CHANGES OR DEVIATIONS OF PLANS SHALL BE EXECUTED WITH A WRITTEN CHANGE ORDER SIGNED BY THE OWNER AND SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- 17.- WINDOW & DOOR SIZES ARE NOMINAL, CONTRACTOR SHALL VERIFY WITH WINDOW MANUFACTURER FOR ACTUAL DIMENSIONS AND EXACT ROUGH OPENINGS BEFORE FRAMING WORK STARTS.
- 18.- TAPE & PUTTY ALL DRYWALL JOINTS FOR A NEW CONDITION.
- 19.- COLORS, FINISHES & TEXTURES ARE TO BE SELECTED BY OWNER.
- 20.- CONTRACTOR MUST COMPLY WITH ALL APPLICABLE REQUIREMENTS OF OSHA.
- 21.- FASTENERS USED FOR EXTERIOR APPLICATIONS, PRESERVATIVE OR FIRE TREATED MATERIAL MUST BE ZINC COATED /HOT DIPPED GALVANIZED TO PREVENT CORROSION /CHEMICAL REACTION (CRC 317.3.3 & 317.3.4).
- 22.- ATTIC/UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908 & 909 OF CA MECHANICAL CODE (CMC)2016.
- 23.- IF THIS BUILDING IS LOCATED IN A VERY HIGH FIRE SEVERITY HAZARD ZONE, THESE STRUCTURES SHALL CONFORM TO THE PROVISIONS OF CRC SECTION R327 SECTION R32L AND SDMC SEC. 145.0706
- 24.- EXCEPTIONS: ADDITIONS TO AND REMODELS OF BUILDINGS ORIGINALLY CONSTRUCTED PRIOR TO THE APPLICABLE APPLICATION DATE (JULY 1, 2008)
- 25.- THE BUILDING SHALL CONFORM TO THE PROVISIONS OF CRC SECTION R32L AND SDMC SEC. 14.0706 FOR STRUCTURES LOCATED IN A VERY HIGH FIRE SEVERITY HAZARD ZONE

NOTE: NO FIRE SPRINKLERS INSTALLED

NOTE: NO WORK IS PROPOSED WITHIN A PUBLIC EASEMENT.

NOTE: THE PROJECT PROPOSE TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THE SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL, ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

**PROJECT DATA**

**BUILDING CODE** THE PROJECT MUST COMPLY WITH THE FOLLOWING:  
 2016 CALIFORNIA RESIDENTIAL (CBC)  
 2016 CALIFORNIA ELECTRICAL CODE (CEC)  
 2016 CALIFORNIA MECHANICAL CODE (CMC)  
 2016 CALIFORNIA PLUMBING CODE (CPC)  
 2016 CALIFORNIA ENERGY CODE  
 2016 CALIFORNIA FIRE CODE (CFC)  
 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)

**NER** PRELIM

**ADDRESS** 417 S Tremont St Oceanside, CA 92054

**PROJECT ADDRESS** 417 S Tremont St Oceanside, CA 92054

**APN** 150-182-10-00

**LEGAL DESCRIPTION** 000219 BLK 28\*LOT 5\* THE OFFICE OF SAN DIEGO COUNTY RECORDER.

**SCOPE OF WORK** PROPOSE A 3 STORY BUILDING 12,749 SF

**CONSTRUCTION TYPE** V-B

**FLOOR AREA RATIO**

**YEAR BUILT** 1947

**LOT SIZE** 5,017 SF

**EXISTING BUILDING** 324 SQFT LIVING SPACE

**ZONING** RS-1-17

**FRONT SETBACK**

**SIDE SETBACK**

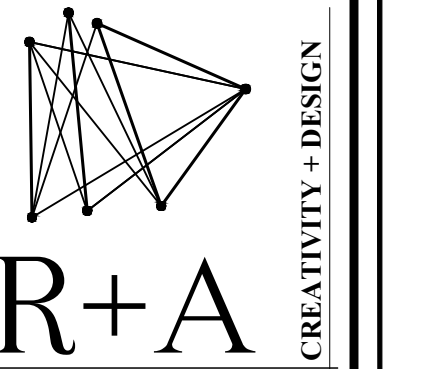
**REAR SETBACK**

**VICINITY MAP**



**SHEET INDEX**

- ARCITECTURAL PLANS**
- CS COVER SHEET AND SITE PLAN**
- A- PROPOSED GROUND PLAN**
- A- PROPOSED FIRST STORY**
- A- PROPOSED SECOND STORY**
- A-4 PROPOSED ELEVATIONS**



150 W SAN YSIDRO BLVD  
 SAN DIEGO, CA 92173  
 (619) 844-8393

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**REVISIONS**

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DATE: MAR / 03 / 2019

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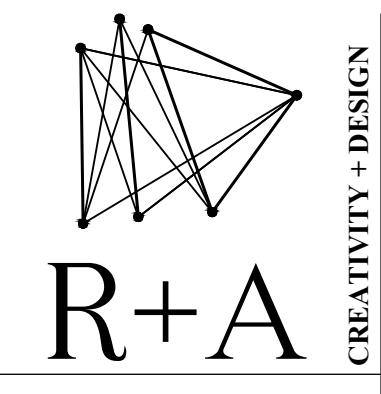
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 417 S Tremont St  
 Oceanside, CA 92054

SHEET TITLE:

**SITE PLAN**

SHEET:

**CS-** OF



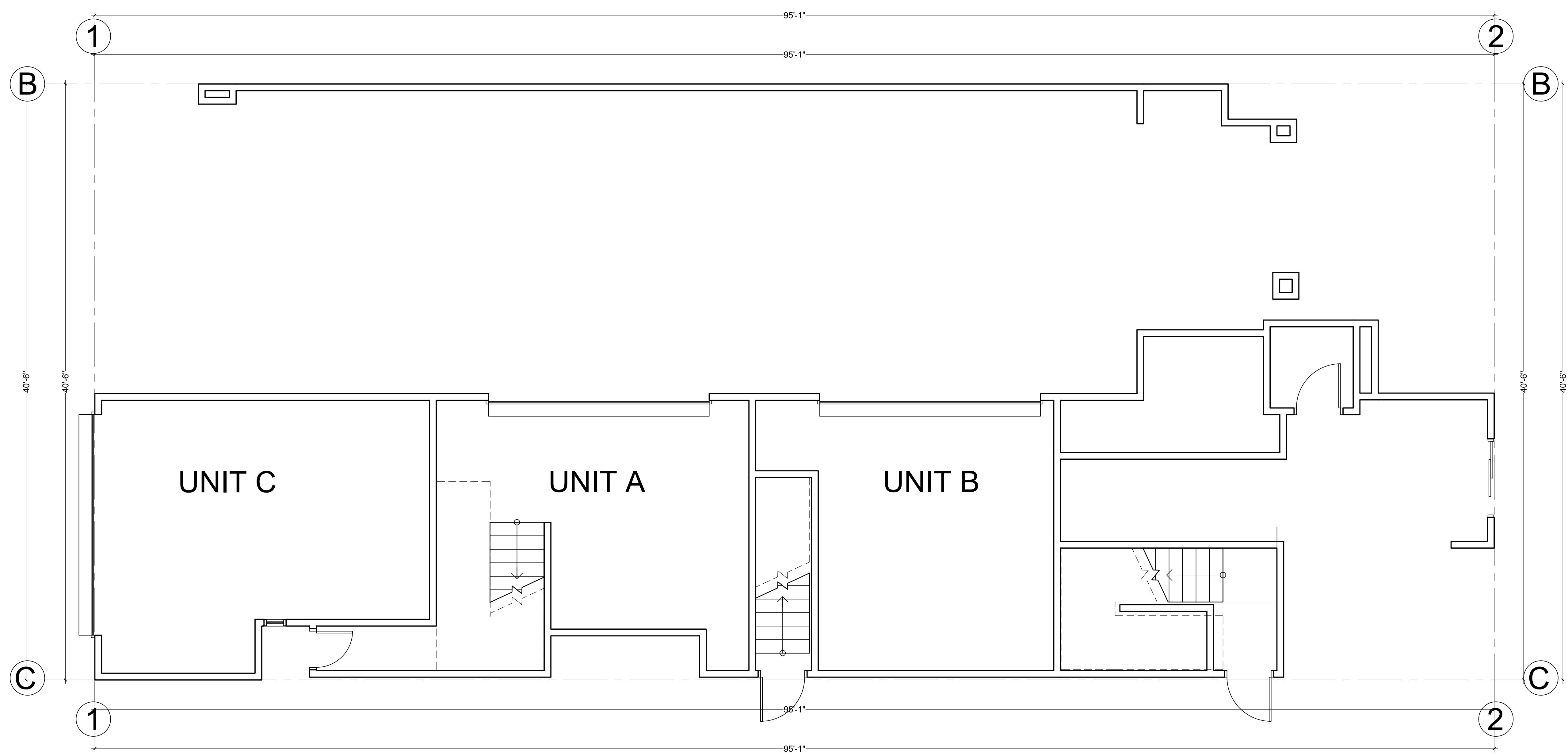
150 W SAN YSIDRO BLVD  
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*Ra Ha*  
RONNIE HINOJOSA JR.

REVISIONS	
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DATE: MAR / 03 / 2019



**PROPOSED GROUND FLOOR PLAN**

SCALE 1"=0"=1/4"

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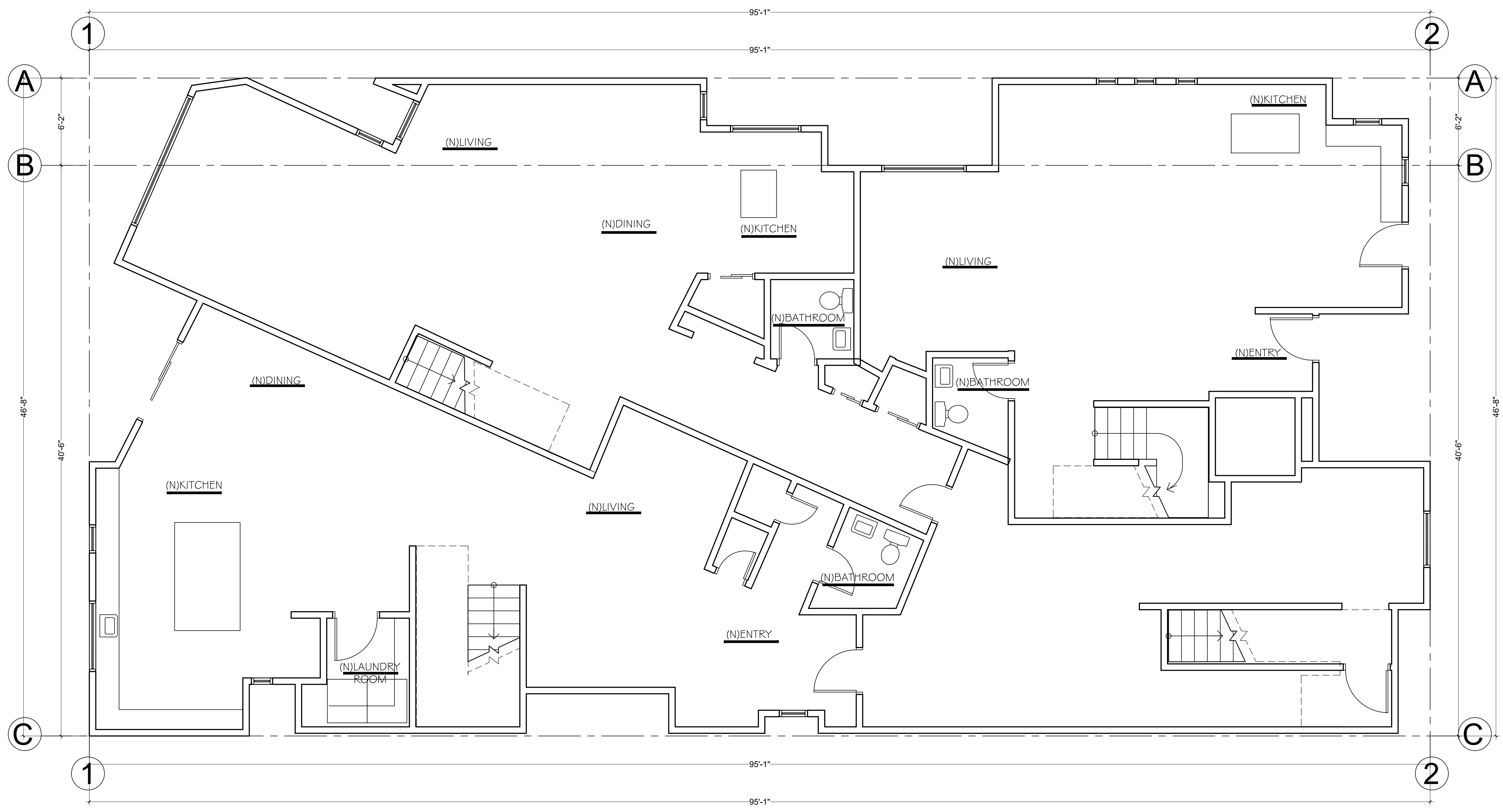
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Oceanside, CA 92054

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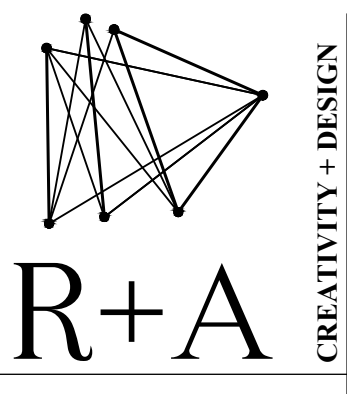
**PROPOSED  
GROUND  
FLOOR  
PLAN**

SHEET:

**A-**   
OF



**PROPOSED FIRST FLOOR PLAN**  
 SCALE 1'-0"=1/4"



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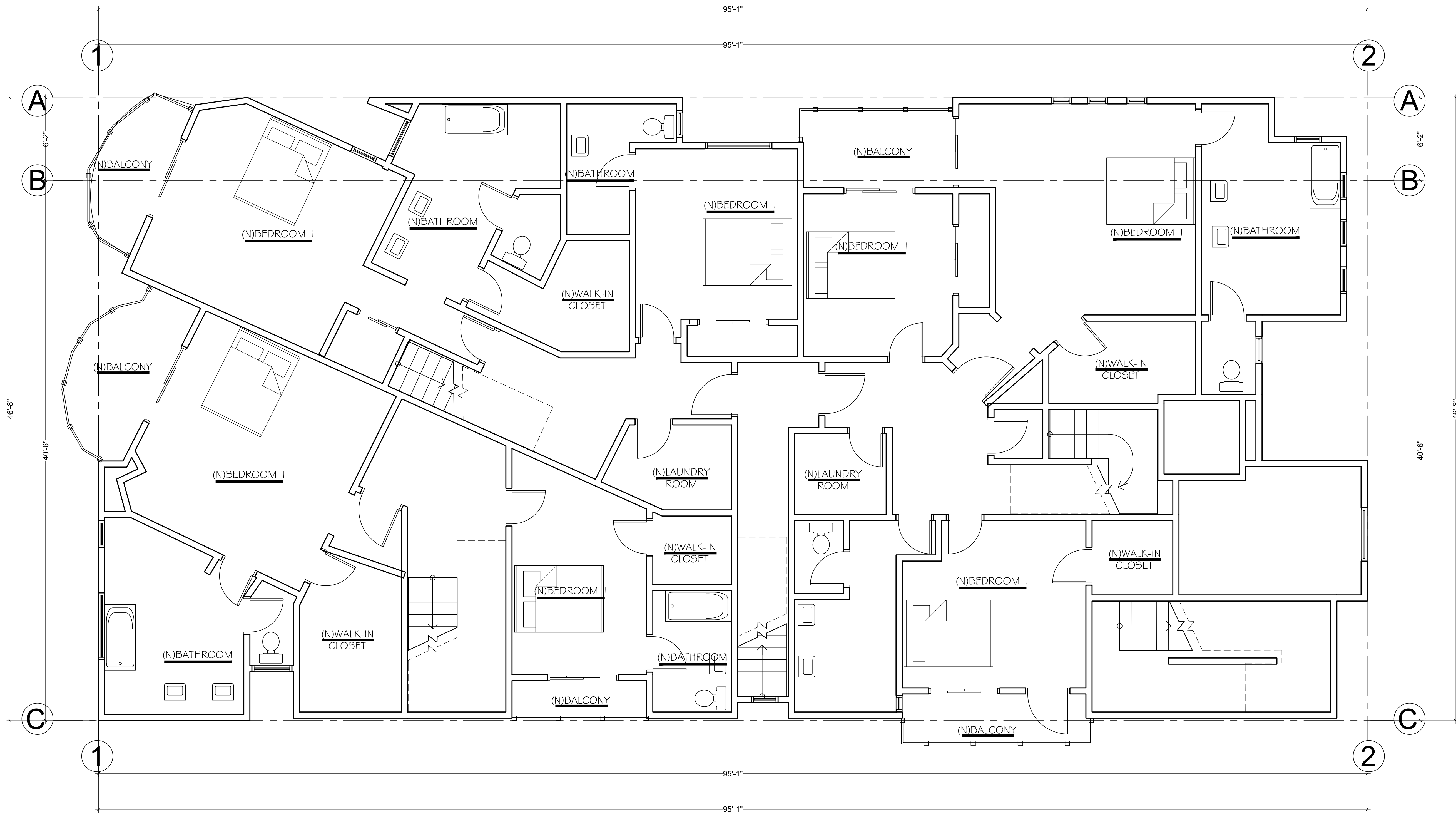
REVISIONS


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**RESIDENCE**  
 417 S Tremont St  
 Oceanside, CA 92054

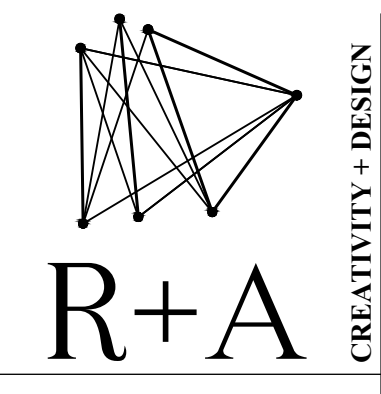
SHEET TITLE:  
**PROPOSED FIRST FLOOR PLAN**

SHEET:  
**A-**   
 OF



**PROPOSED SECOND FLOOR PLAN**

SCALE 1"=0"=1/4"



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Oceanside, CA 92054

SHEET TITLE:

**PROPOSED SECOND FLOOR PLANS**

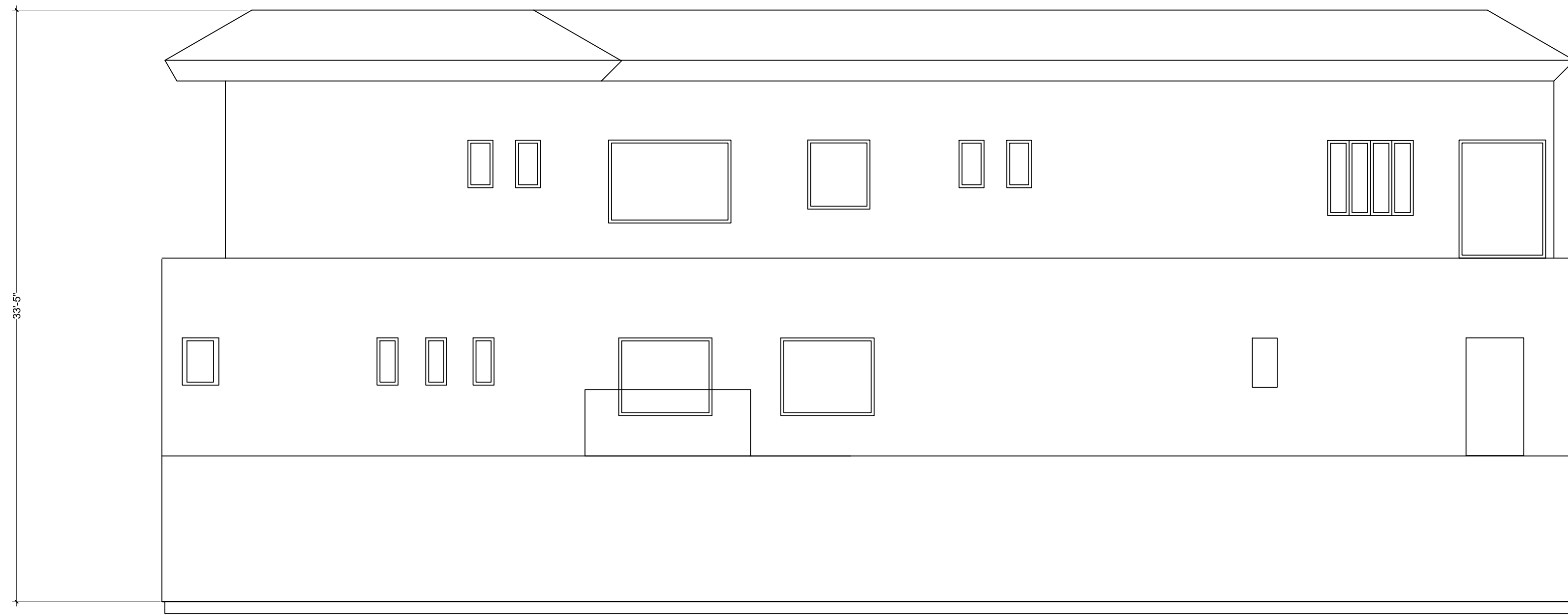
SHEET:

**A-**  OF



**PROPOSED FRONT ELEVATION**

SCALE 1'-0"=3/16"



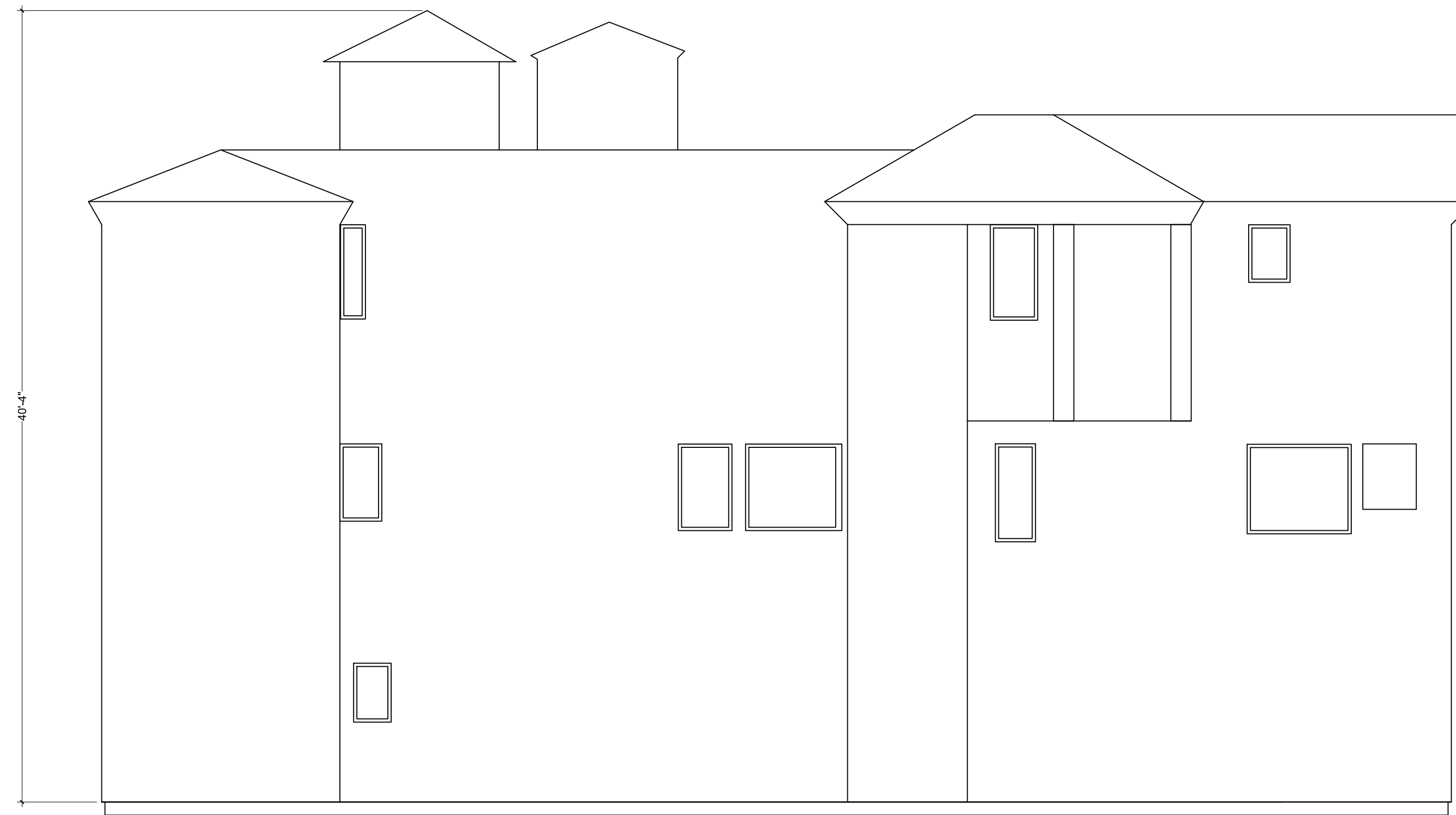
**PROPOSED LEFT ELEVATION**

SCALE 1'-0"=3/16"



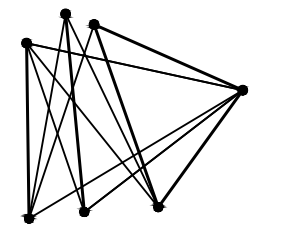
**PROPOSED REAR ELEVATION**

SCALE 1'-0"=3/16"



**PROPOSED RIGHT ELEVATION**

SCALE 1'-0"=3/16"



**R+A**

CREATIVITY + DESIGN

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RONNIE HINOJOSA JR.

REVISIONS

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DATE: MAR / 03 / 2019

PROJECT TITLE:

**RESIDENCE**

417 S Tremont St  
Oceanside, CA 92054

SHEET TITLE:

**PROPOSED ELEVATIONS**

SHEET:

**A-4**

OF