

¹AGENDA
OCEANSIDE DEVELOPER'S CONFERENCE

Wednesday, April 3, 2019, 9:30 a.m.
City Hall South, 1st Floor, Guajome Room

1. 9:30 - 10:30 a.m. Proposed two-story apartment building containing three units (each 2 bd/2ba) on a currently vacant 5,000 SF lot (adjacent to 1421 Lemon Street).

Zoning: R-3 (Coastal Medium-Density Residential)
Land Use: Coastal High Density Residential
Neighborhood Area: Eastside Capistrano
Assessor Parcel Number: 148-071-02
Contact Person: John Klacka
Email: john@klackadesign.com

2. 10:30 - 11:30 a.m. Proposed demo of an existing SFR and construction of three-story development with two new condos at 1801 S. Myers St. The existing residence located on the west portion of the lot to remain.

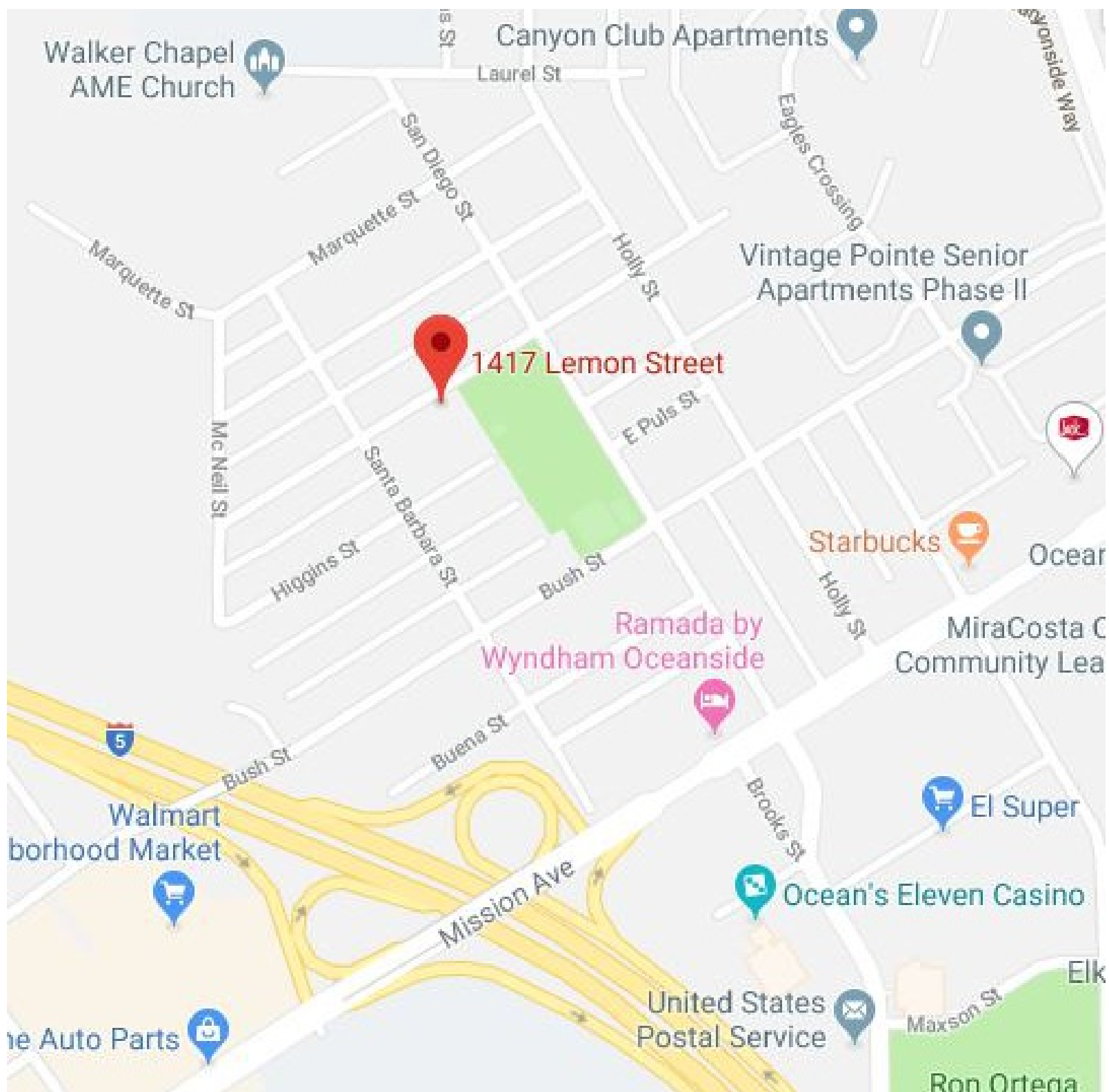
Zoning: R-3 (Coastal Medium Density Residential)
Land Use: Coastal High Density Residential
Neighborhood Area: South Oceanside
Assessor Parcel Number: 153-251-20
Contact Person: Matt Baldwin
Email: mbaldwin@peoplescaledesign.com

Attachments:

1. Parcel Map
2. Project Description Letter
3. Conceptual Site Plans
4. Vicinity/Regional Maps

¹ The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.





Walker Chapel
AME Church

Canyon Club Apartments

Laurel St

Vintage Pointe Senior
Apartments Phase II

1417 Lemon Street

Starbucks

Ramada by
Wyndham Oceanside

MiraCosta C
Community Lea

Walmart
Neighborhood Market

El Super

Ocean's Eleven Casino

Auto Parts

United States
Postal Service

Ron Ortega

Developer's Conference Meeting April 3, 2019, 9:30 a.m.

Regarding: 1417 Lemon Street
 Oceanside, CA 92058
APN: 148-071-02-00

Project Description

Our objective is to build a new 2 story Apartment Building containing 3 units.

Each unit is to have 2 bedrooms, 2 baths, one open space Office/Den with the Kitchen, Dining, and Family Room as open concept plan.

Each unit will have one separate garage space and one covered tandem space as well as Laundry hook-ups, separate HVAC system and Tankless Water Heater all located within the separate Garage.

The second floor units will each have a covered deck with an additional exterior storage closet at the Lemon Street face. These units are accessed from separate entries located at the side yards between the Garage and First floor unit.

The first floor unit, while not required to be ADA compliant, is designed with the ADA compliancy in mind.

NOTE:
 THESE DRAWINGS ARE A "GRAPHIC REPRESENTATION" OF FIELD CONDITIONS. EXACT LOCATION OF FRAMING ELEMENTS AND THEIR CONNECTIONS ARE ASSUMED BASED ON CONVENTIONAL PRACTICES BUT IN NO WAY REPRESENT ACTUAL "AS BUILT" CONDITIONS.

DRAWING SHALL NOT BE SCALED. WRITTEN DIMENSIONS SHALL GOVERN. ALL TRADES SHALL VERIFY ALL CONDITIONS AT THE JOB SITE INCLUDING ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZE BEFORE ORDERING TRUSSES OR MATERIALS FOR WORK TO BE PERFORMED AND NOTIFY THE DESIGNER OF CONFLICTS OR DISCREPANCIES BEFORE PROCEEDING.

CONTRACTOR TO EXPOSE AND VERIFY ALL FRAMING AFFECTED BY THIS PROJECT PRIOR TO START OF WORK AND NOTIFY DESIGNER OF ANY VARIATIONS OR DISCREPANCIES, INSPECTOR TO VERIFY.

VERIFY POST TENSION SLAB AND EXISTING ASSUMING FOOTING PRIOR TO CONSTRUCTION.

SCOPE OF WORK

Build a new 2 story - 3 unit Apartment Building. Each unit To have 2 bedrooms, 2 baths, Kitchen/ Dining/Family Room open concept and one garage space and one covered tandem space per unit. Laundry hook-ups in garage and separate HVAC system and Tankless Water Heater per unit.



Vicinity Map

Buildings undergoing construction, alteration or demolition shall conform to CFC Chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35.

STORM WATER QUALITY NOTES
 CONSTRUCTION BMP'S

This project shall comply with all current requirements of the State Permit; California Regional Water Quality Control Board (SDRWQCB), San Diego Municipal Storm Water Permit, The City of San Diego Land Development Code, and the Storm Water Standards Manual.

Notes below represent key minimum requirements for construction BMP's.

- The contractor shall be responsible for cleanup of all silt and mud on adjacent street(s), due to construction vehicles or any other construction activity, at the end of each work day, or after a storm event that causes a breach in installed construction BMP's which may compromise Storm Water Quality within any street(s). A stabilized construction exit may be required to prevent construction vehicles or equipment from tracking mud or silt onto the street.
- All stockpiles of soil and/or building materials that are intended to be left for a period greater than seven calendar days are to be covered. All removable BMP devices shall be in place at the end of each working day when five day rain probability forecast exceeds 40%.
- A concrete washout shall be provided on all projects which propose the construction of any concrete improvements which are to be poured in place on site.
- The contractor shall restore all erosion/sediment control devices to working order after each run-off producing rainfall or after any material breach in effectiveness.
- All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
- The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

Lot Area	5,000.0 s.f.
First Level	
Unit #1	1300.1 s.f.
Garages	774.6 s.f.
Unit #2 Entry	60.53 s.f.
Unit #3 Entry	73.52 s.f.
Second Level	
Unit #2	1400.0 s.f.
Unit #3	1400.0 s.f.
Deck #1	100.0 s.f.
Deck #2	100.0 s.f.
Total Habitable Square Footage = 5008.75 s.f. (includ'g Garage)	
Lot area = 5,000.0 x 60% = 3,000.0 s.f.	
Building Footprint 40.0' x 75.0' = 3,000.0 s.f.	

- Unit #1
- Garages
- Unit #2
- Unit #3
- Deck Storage Closets

Legal Description

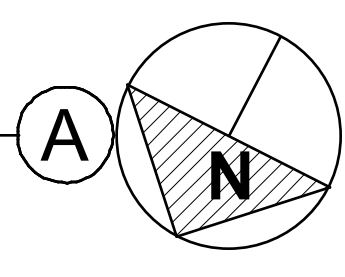
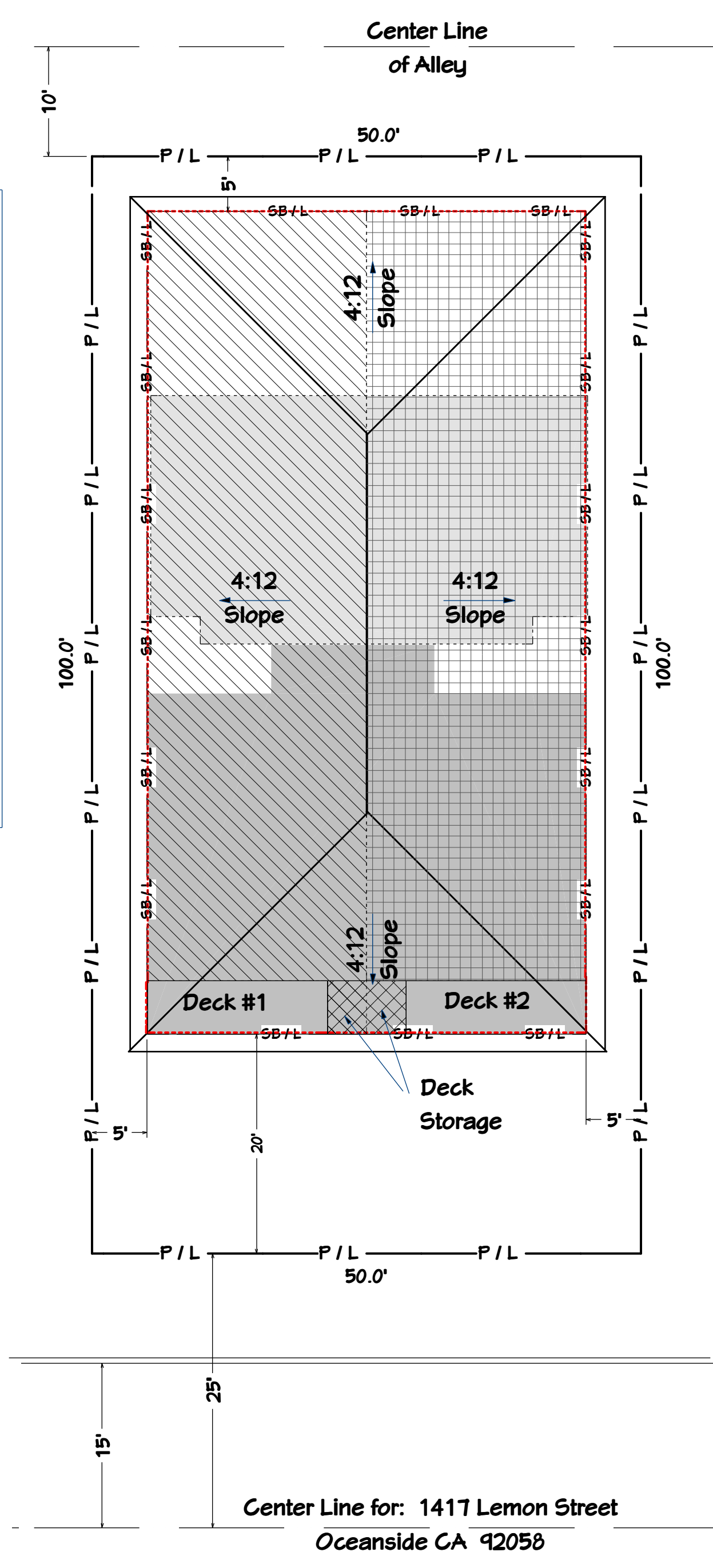
Lot #8, Map 341 Butler, Groves & Gletchener Add
 Map 116 Spencer, Higgins & Puls Sub.
 City of Oceanside
 APN#: 148-071-02-00
 Zone: R3
 Occupancy: R3/U
 Type of Construction: Type VB

During construction, at least one extinguisher shall be provided on each floor level, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC Section 3315.1

Site and Roof Plans
 Scale: 1" = 10'-0"

Sheet Index

Sheet 1	Site & Roof Plans
Sheet 2	BMP DS-560 & DS-570
Sheet 3	Green Notes
Sheet 4	First Floor Plan
Sheet 5	Second Floor Plan
Sheet 6	Electrical Plans
Sheet 7	Elevations
Sheet 8	Elevations cont. & Sections
Sheet 9	Sections cont.
Sheet S1	Foundation Plan
Sheet S2	Floor Framing Plan
Sheet S3	Roof Framing Plan
Sheet SD1	Details
Sheet SD2	Details cont.
Sheet SD3	Details cont.
Sheet SD4	Details cont.
Sheet SN1	Structural Notes
Sheet T1	Energy Calcs - CF1-R
Sheet T2	Energy Calcs - MF1-R



Note: All work shall comply with:
 2016 California Residential Code
 2016 California Electrical Code
 2016 California Green Building Code
 2016 California Mechanical Code
 2016 California Plumbing Code
 2016 California Building Energy Efficiency Standards
 2016 California Building Code
 2016 California Fire Code

Note: If the Building Inspector suspects fill, expansive soils or any geologic instability based upon observation of the foundation excavation, a soils or geological report, and resubmittal of plans to plan check to verify that report recommendations have been incorporated, may be required.

(e) The structure(s) will be located entirely on native/undisturbed soil.

Signature _____ Owner _____

Site Notes

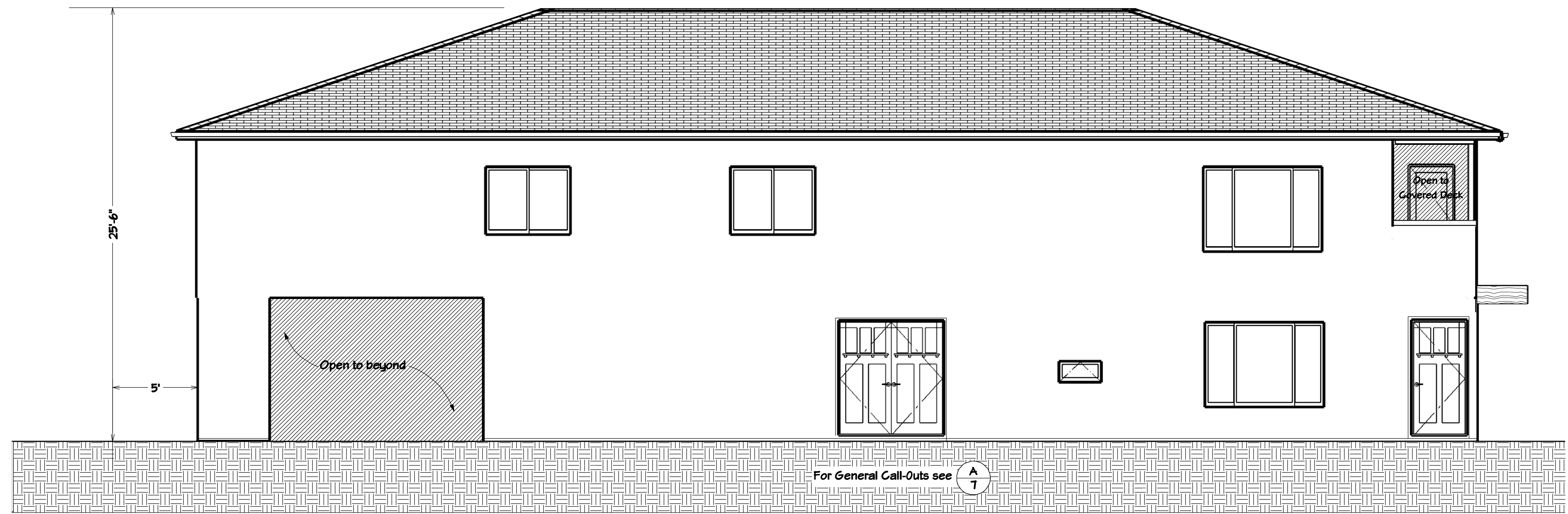
- All surfaces water to drain away from the building and property line to alley or street
- Verify all utility locations (existing or new) prior to start of construction.
- The hose bibbs and lawn sprinkler's systems shall have approved back flow prevention devices. UPC section 1003.
- Contractor to comply with all OSHA requirements

SJB Construction
 Deerhollow Ct
 Santee, CA 92
 Tel. (619) 726-7692

Klacka Design
 John Klacka, designer
 19145 Lyons Valley Road,
 Jamul, CA 91935 (619) 940-4618



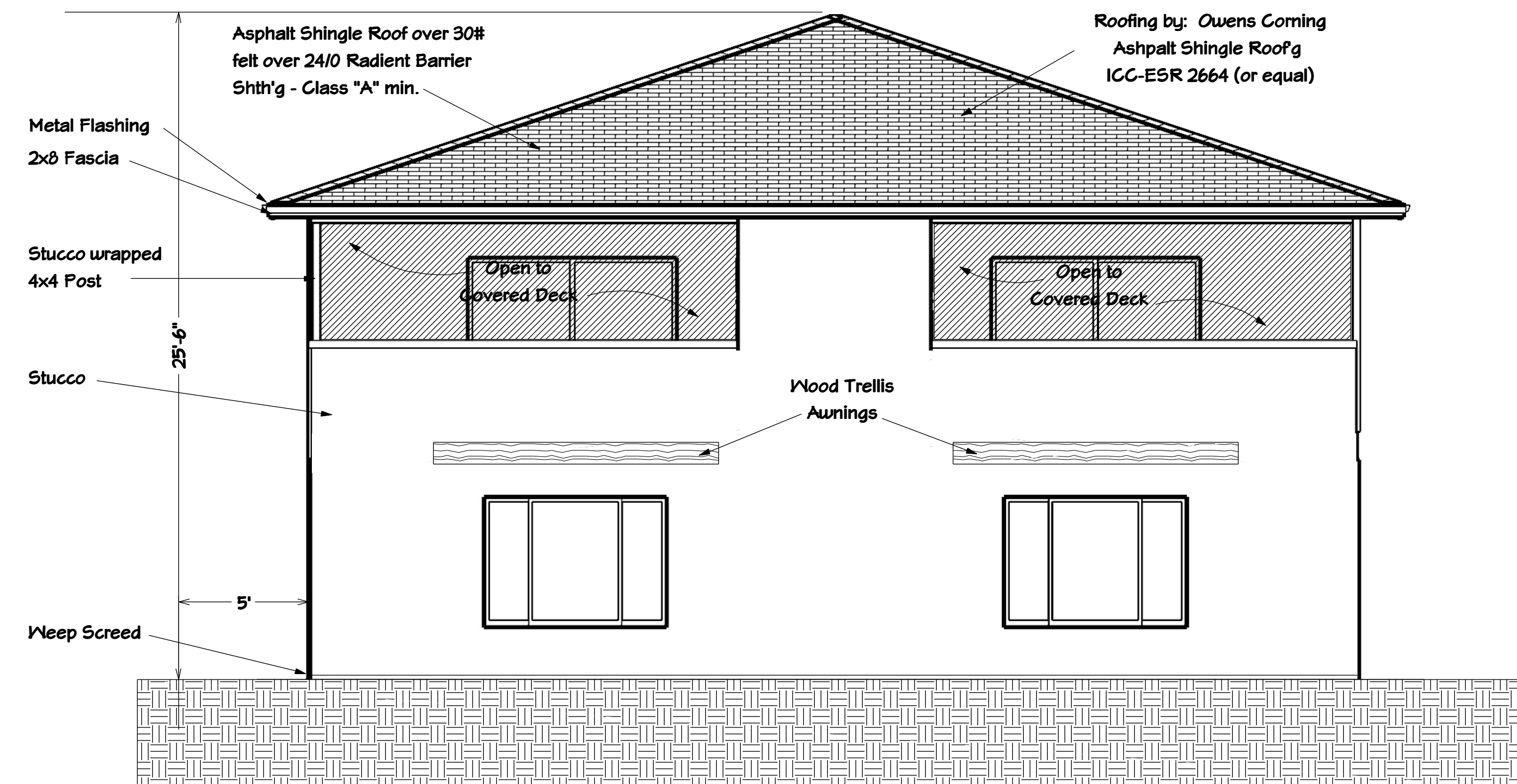
Steve & Stephen Bolleman
 1417 Lemon Street
 Oceanside, CA 92058



Left Side (East) Elevation

Scale: 1/4" = 1'-0"

C



Front (North) Elevation

Scale: 1/4" = 1'-0"

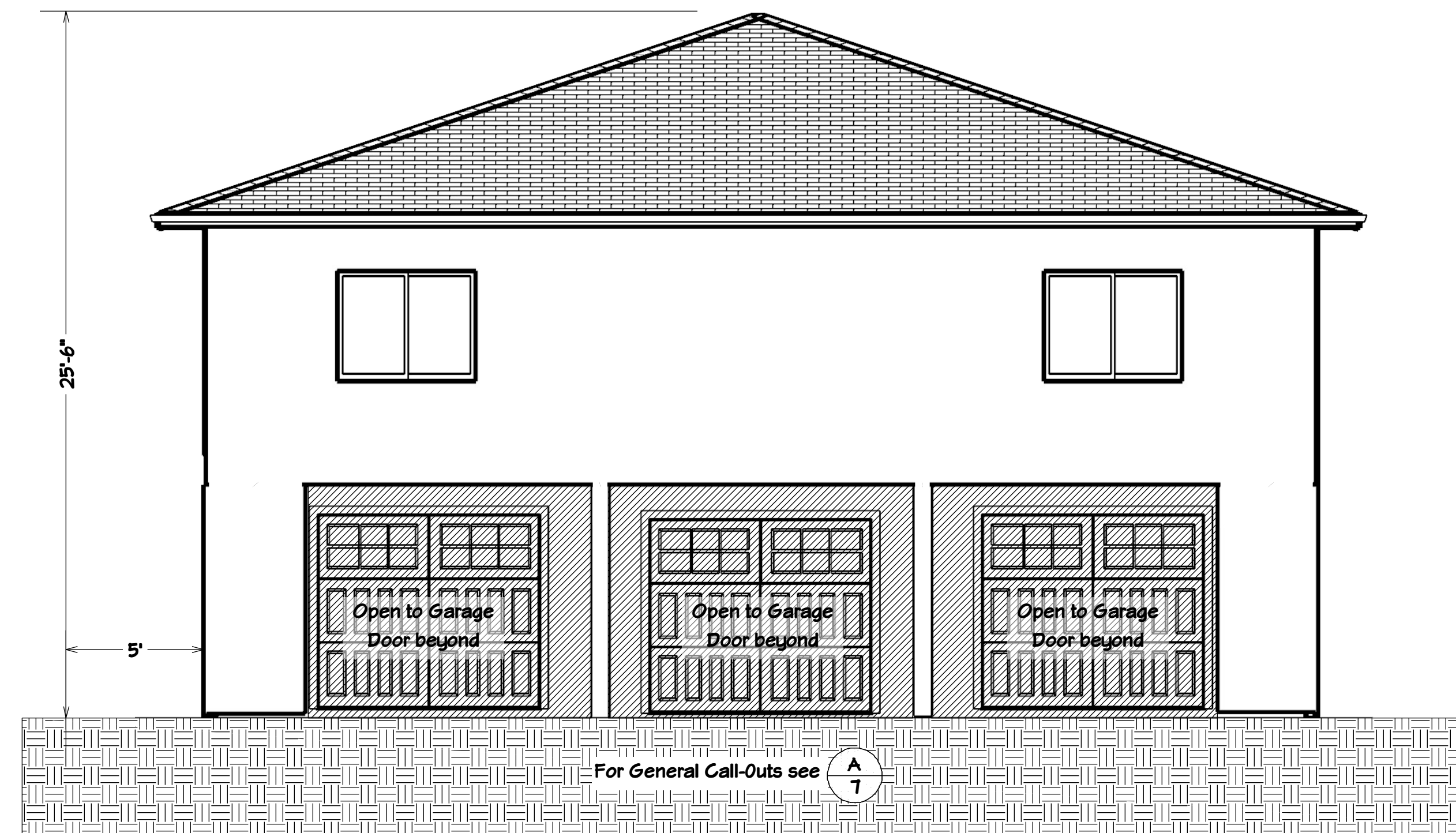
A

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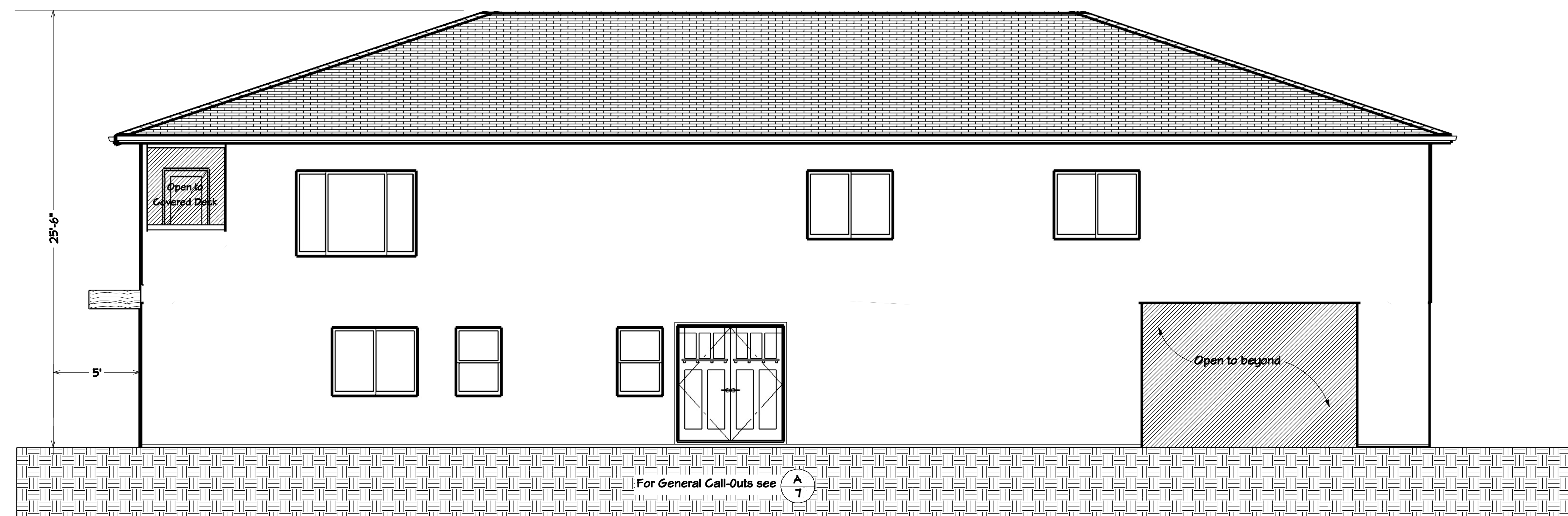
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Rear (South) Elevation

Scale: 1/4" = 1'-0"

B



Right Side (West) Elevation

Scale: 1/4" = 1'-0"

A

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John Klacka, designer
19145 Lyons Valley Road,
Jamul, CA 91935 (619) 940-4618



Steve & Stephen Bollerman
1417 Lemon Street
Oceanside, CA 92058

PeopleScale Design

Matthew Baldwin, Assoc. AIA
2604b El Camino Real, Suite 250
Carlsbad, California 92008
(760) 473-2799

March 18, 2019

City of Oceanside
Development Services
Developer's Conference

RE: **1801 S. Myers St.
Oceanside, CA**

Development Services,

On behalf of the owners of the property located at 1801 S. Myers St., Louis and Dana Bergna, we would like to propose the following development project for review in the Developer's Conference format:

OWNER: LOUIS AND DANA BERGNA
1803 S. MYERS STREET
OCEANSIDE, CA 92054

PROJECT ADDRESS; 1801 S. MYERS STREET,
OCEANSIDE, CA 92054

ASSESSOR'S PARCEL # 153-251-20-00

PROJECT SUMMARY:
DEMOLISH AN EXISTING SINGLE FAMILY RESIDENCE (840 SF) AND ATTACHED SINGLE CAR GARAGE. (264 SF) CONSTRUCT TWO NEW CONDOMINIUMS WITH ATTACHED 2-CAR GARAGES. THE OTHER EXISTING RESIDENCE LOCATED ON THE WESTERN PORTION OF THE LOT IS TO REMAIN.

LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF OCEANSIDE, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

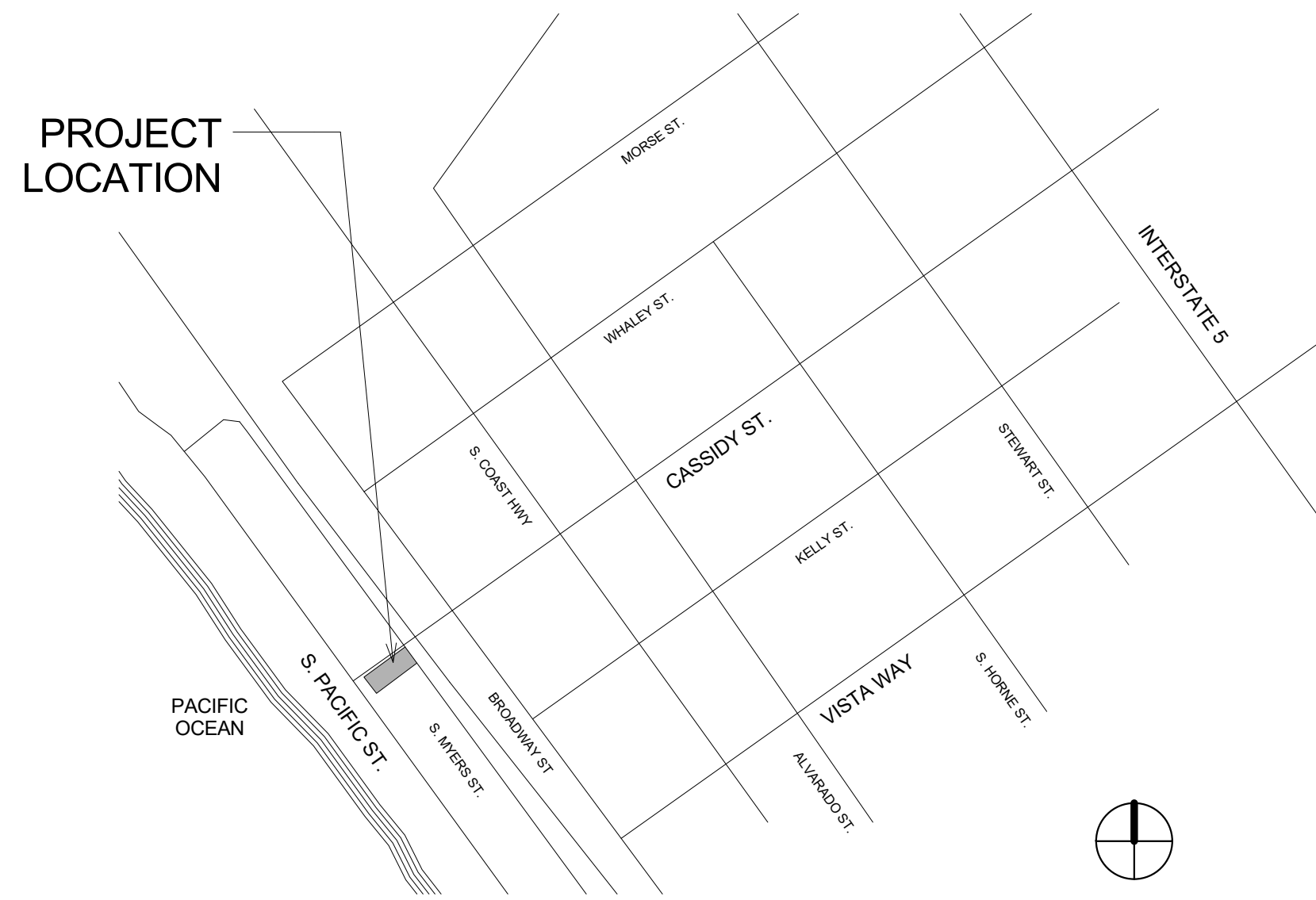
LOT 20 IN BLOCK 5 OF MAP BK 153 PG. 25, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 219, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 10, 1887.

Respectfully,

Matthew Baldwin

2 CONDOMINIUMS AT 1801 S MYERS ST., OCEANSIDE, CA 92054

VICINITY MAP



PROJECT INFORMATION

OWNER: LOUIS AND DANA BERGNA
1803 S. MYERS STREET
OCEANSIDE, CA 92054

PROJECT ADDRESS: 1801 S. MYERS STREET, OCEANSIDE, CA 92054

ASSESSOR'S PARCEL #: 153-251-20-00

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SHEET INDEX

CT-1.0 PROJECT DATA AND SITE PLAN
A-1.0 FLOOR PLANS
A-2.0 ELEVATIONS

DEVELOPMENT INFORMATION

CONSTRUCTION: VB
ZONING: R-3 - MEDIUM DENSITY RESIDENTIAL (COASTAL)
OCCUPANCY: R2
EXISTING LAND USE: TWO SINGLE FAMILY RESIDENCES
PROPOSED LAND USE: MULTI-FAMILY DEVELOPMENT - 2 CONDOS & 1 EXISTING SINGLE FAMILY
LOT SIZE: 6,000 SF

EXISTING LOT COVERAGE: 48% (SFR TO REMAIN 1,776 SF, SFR TO REMOVE 840 SF, GARAGE TO REMOVE 264 SF / 6,000 SF)

PROPOSED LOT COVERAGE: 50% (SFR TO REMAIN 1,776 SF, NEW CONDOS 1,230 SF / 6,000 SF)
60% MAX. ALLOWABLE

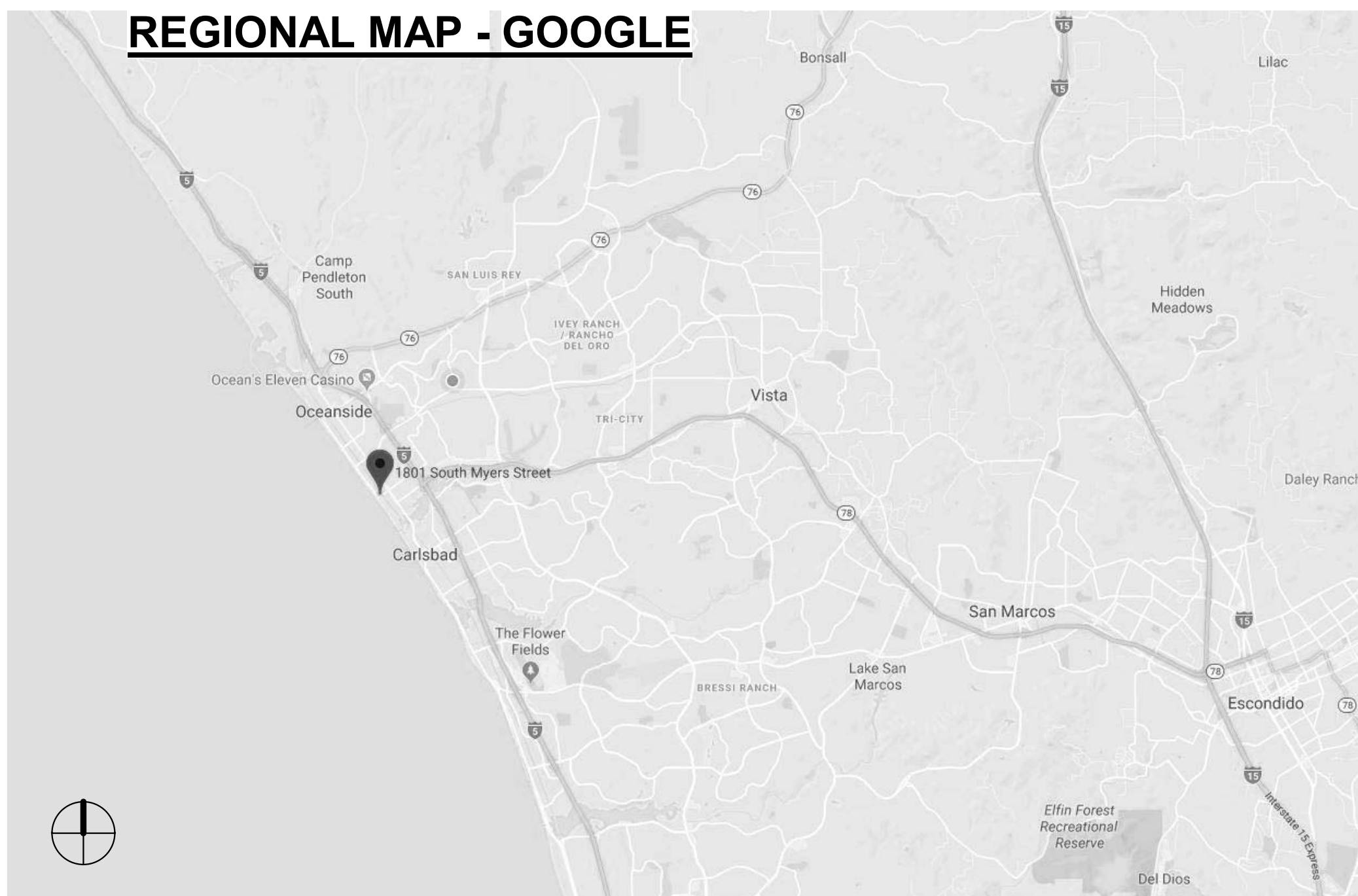
SETBACKS:

FRONT YARD	20'-0"
	15'-0" (per Article 17, Section 1701 (b) - Every lot which allows apartment development and is located west of Interstate 5 shall have a minimum front yard setback area of not less than fifteen feet.)
SIDE YARD	5'-0"
CORNER YARD	10'-0"
REAR YARD	5'-0" (AT ALLEY)

HEIGHT MAX.: 3-STORIES OR 35'-0" FROM THE AVERAGE FINISHED GRADE TO THE CEILING OF THE TOP STORY. NO PORTION OF THE PROPOSED HABITABLE SPACE MAY EXCEED THE MAX. PERMITTED HEIGHT.

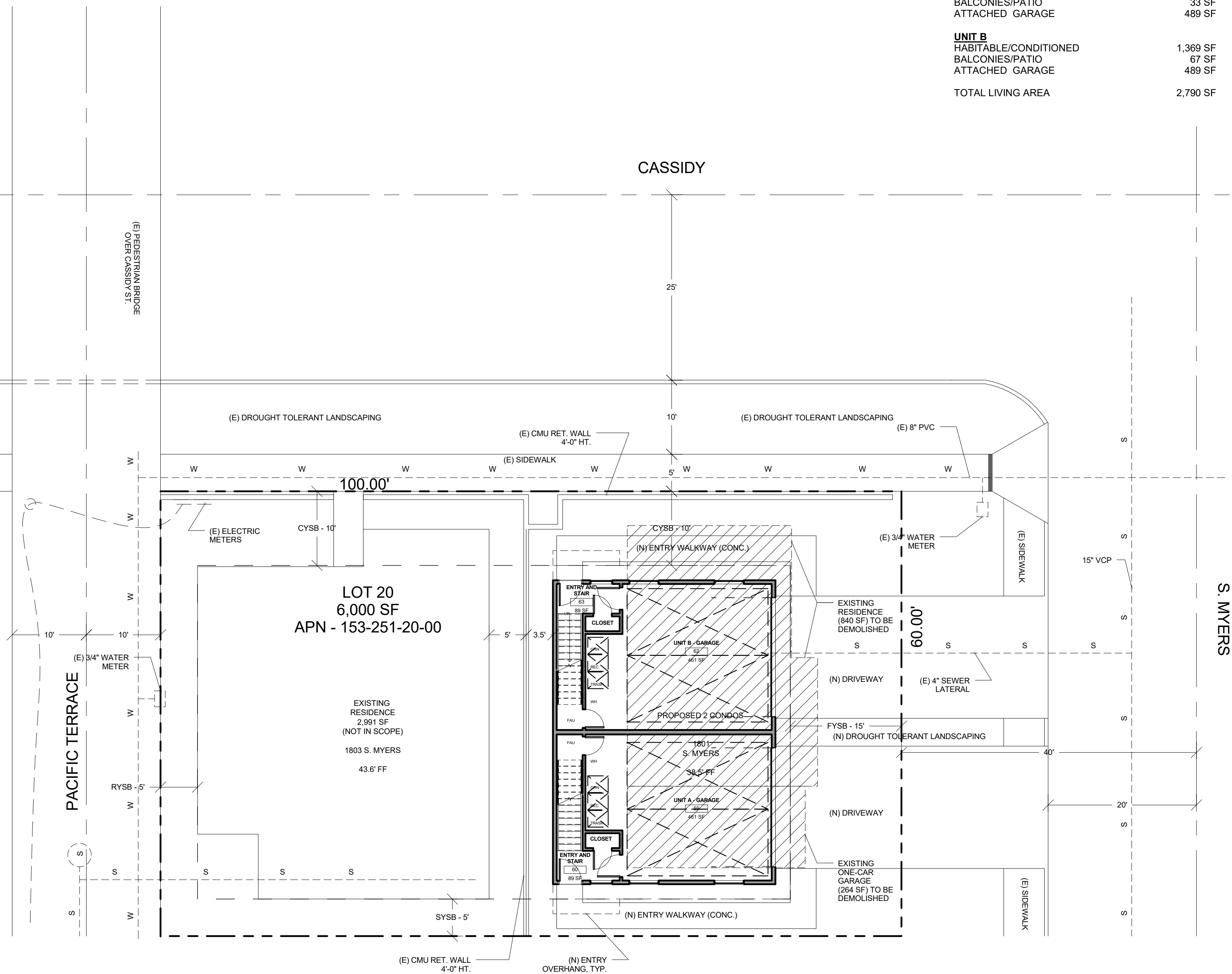
CONSTRUCTION (NEW)

UNIT A	HABITABLE/CONDITIONED	1,421 SF
	BALCONIES/PATIO	33 SF
	ATTACHED GARAGE	489 SF
UNIT B	HABITABLE/CONDITIONED	1,369 SF
	BALCONIES/PATIO	67 SF
	ATTACHED GARAGE	489 SF
TOTAL LIVING AREA		2,790 SF



REGIONAL MAP - GOOGLE

ADJACENT LOT
01
(NOT IN SCOPE)



ADJACENT LOT
19
(NOT IN SCOPE)

1 SITE PLAN - 1801 S. MYERS
1" = 10'-0"

PROJECT DATA AND SITE PLAN

REVISIONS BY

PEOPLESACLE DESIGN
26045 EL CAMINO REAL, SUITE 250
CARLSBAD, CA 92008

2 CONDOS @ 1801
DEVELOPER'S CONFERENCE - SCHEMATIC
1801 S. MYERS ST.
OCEANSIDE, CA 92054

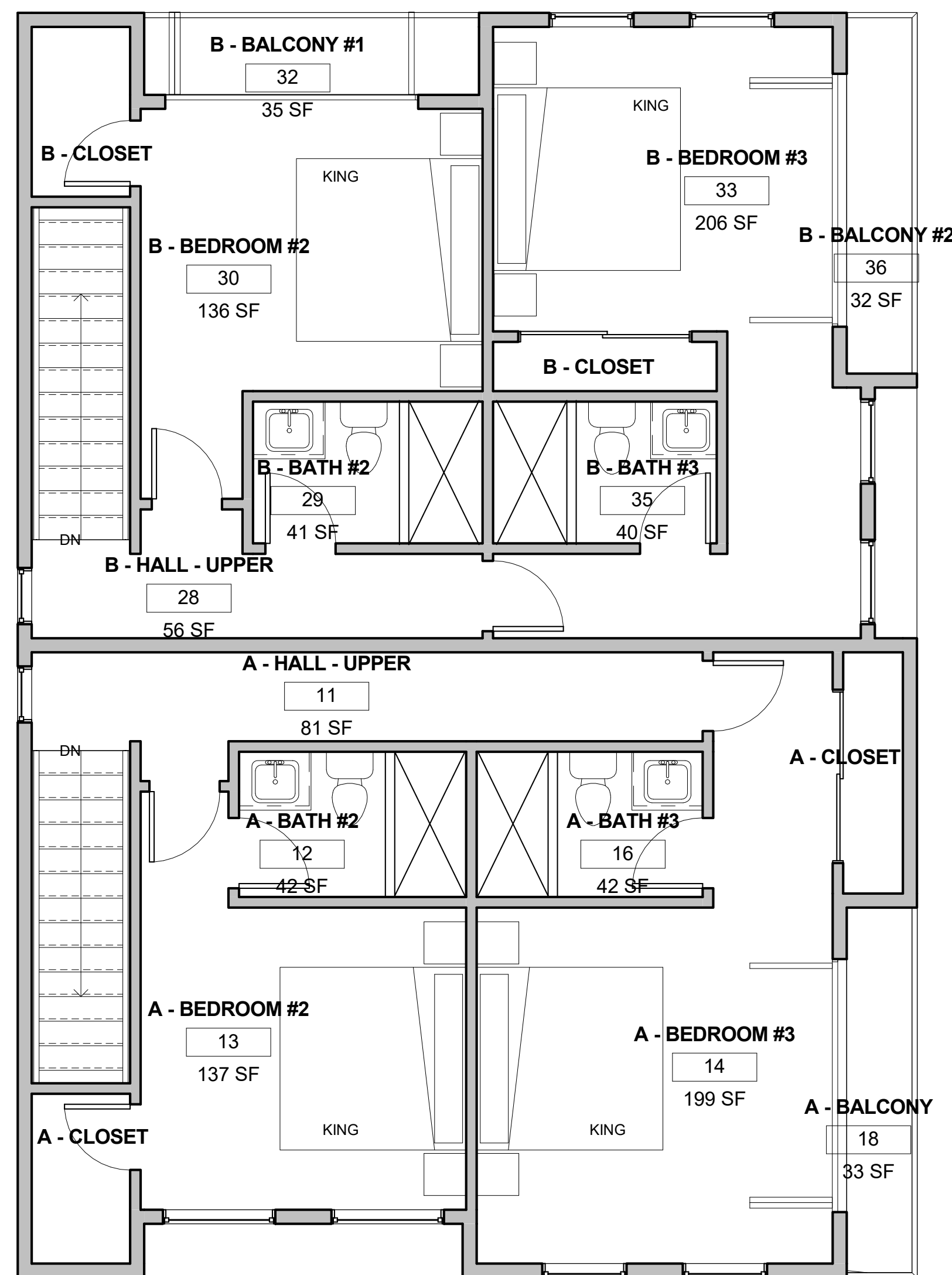
DATE 3.15.19

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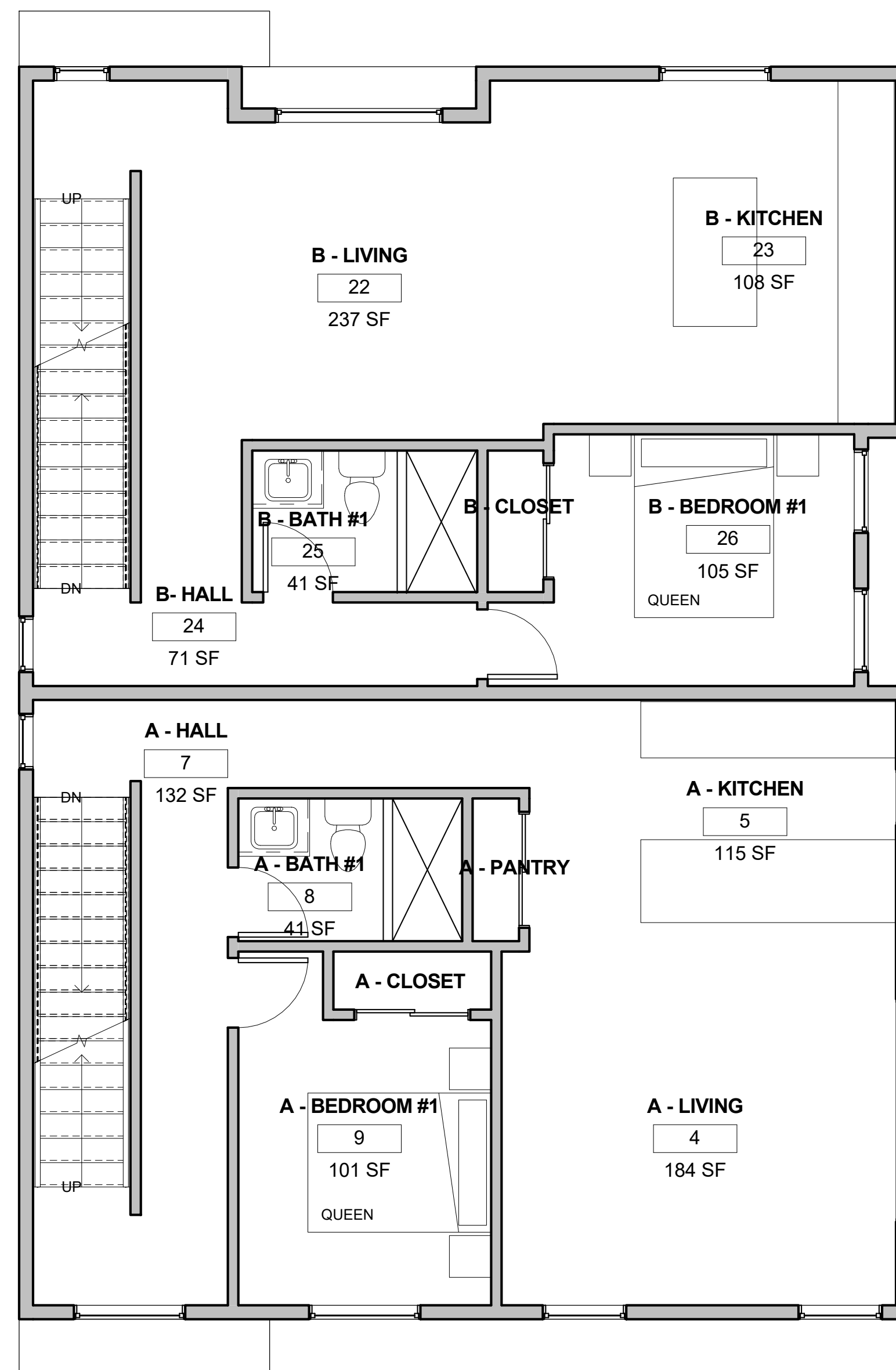
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SHEET NAME
COVER / SITE
SHEET

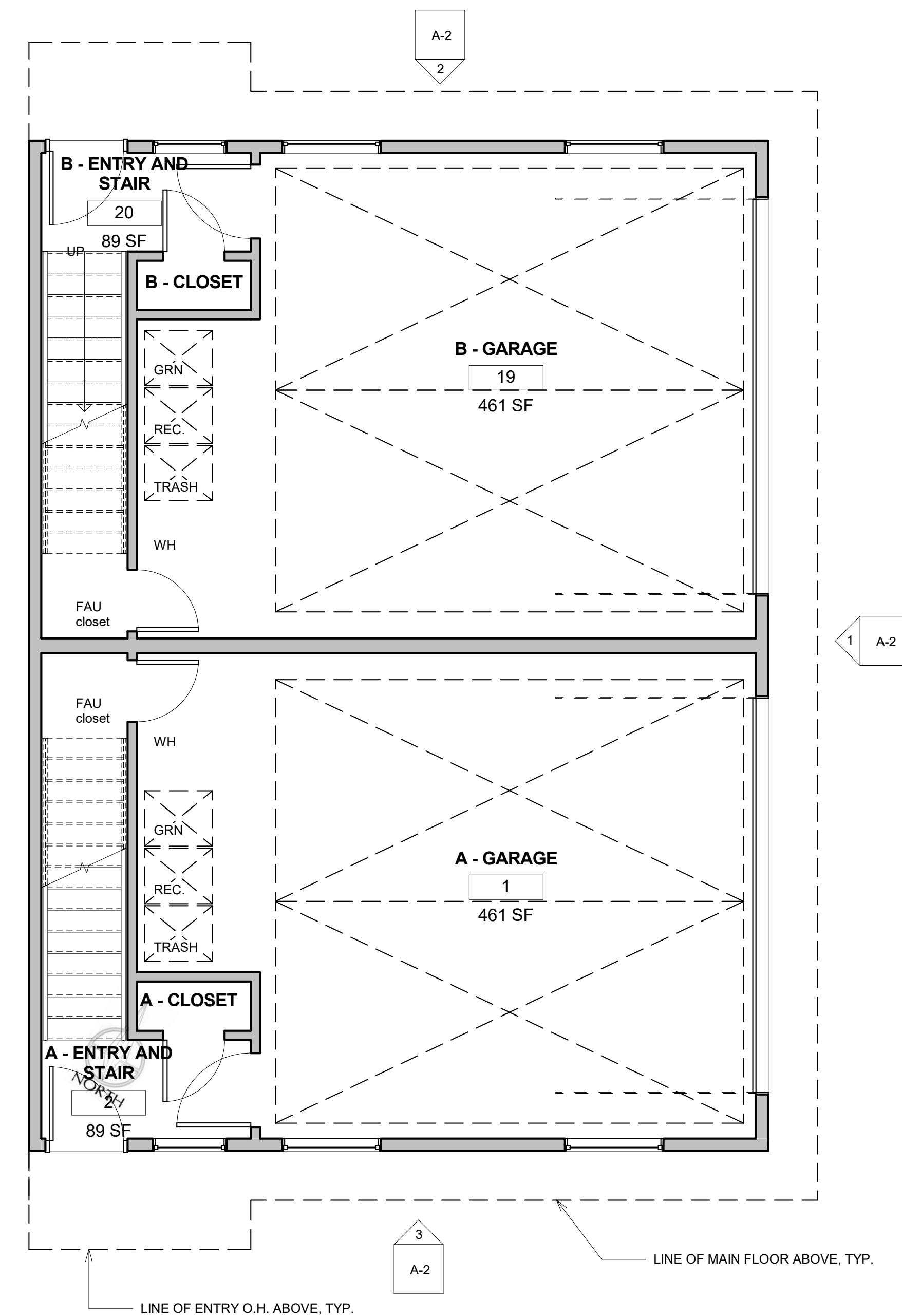
CT-1.0



3 - UPPER LEVEL
1/4" = 1'-0"



2 - MAIN LEVEL
1/4" = 1'-0"



1 - GARAGE/ENTRY LEVEL
1/4" = 1'-0"

UNIT A	
HABITABLE/CONDITIONED	1,421 SF
BALCONIES/PATIO	33 SF
ATTACHED GARAGE	489 SF
UNIT B	
HABITABLE/CONDITIONED	1,369 SF
BALCONIES/PATIO	67 SF
ATTACHED GARAGE	489 SF

Room Schedule		
Number	Name	Area
1	A - GARAGE	461 SF
2	A - ENTRY AND STAIR	89 SF
3	A - CLOSET	9 SF
4	A - LIVING	184 SF
5	A - KITCHEN	115 SF
6	A - PANTRY	9 SF
7	A - HALL	132 SF
8	A - BATH #1	41 SF
9	A - BEDROOM #1	101 SF
10	A - CLOSET	12 SF
11	A - HALL - UPPER	81 SF
12	A - BATH #2	42 SF
13	A - BEDROOM #2	137 SF
14	A - BEDROOM #3	199 SF
15	A - CLOSET	21 SF
16	A - BATH #3	42 SF
17	A - CLOSET	18 SF
18	A - BALCONY	33 SF

Room Schedule		
Number	Name	Area
19	B - GARAGE	461 SF
20	B - ENTRY AND STAIR	89 SF
21	B - CLOSET	9 SF
22	B - LIVING	237 SF
23	B - KITCHEN	108 SF
24	B - HALL	71 SF
25	B - BATH #1	41 SF
26	B - BEDROOM #1	105 SF
27	B - CLOSET	10 SF
28	B - HALL - UPPER	56 SF
29	B - BATH #2	41 SF
30	B - BEDROOM #2	136 SF
31	B - CLOSET	21 SF
32	B - BALCONY #1	35 SF
33	B - BEDROOM #3	206 SF
34	B - CLOSET	14 SF
35	B - BATH #3	40 SF
36	B - BALCONY #2	32 SF

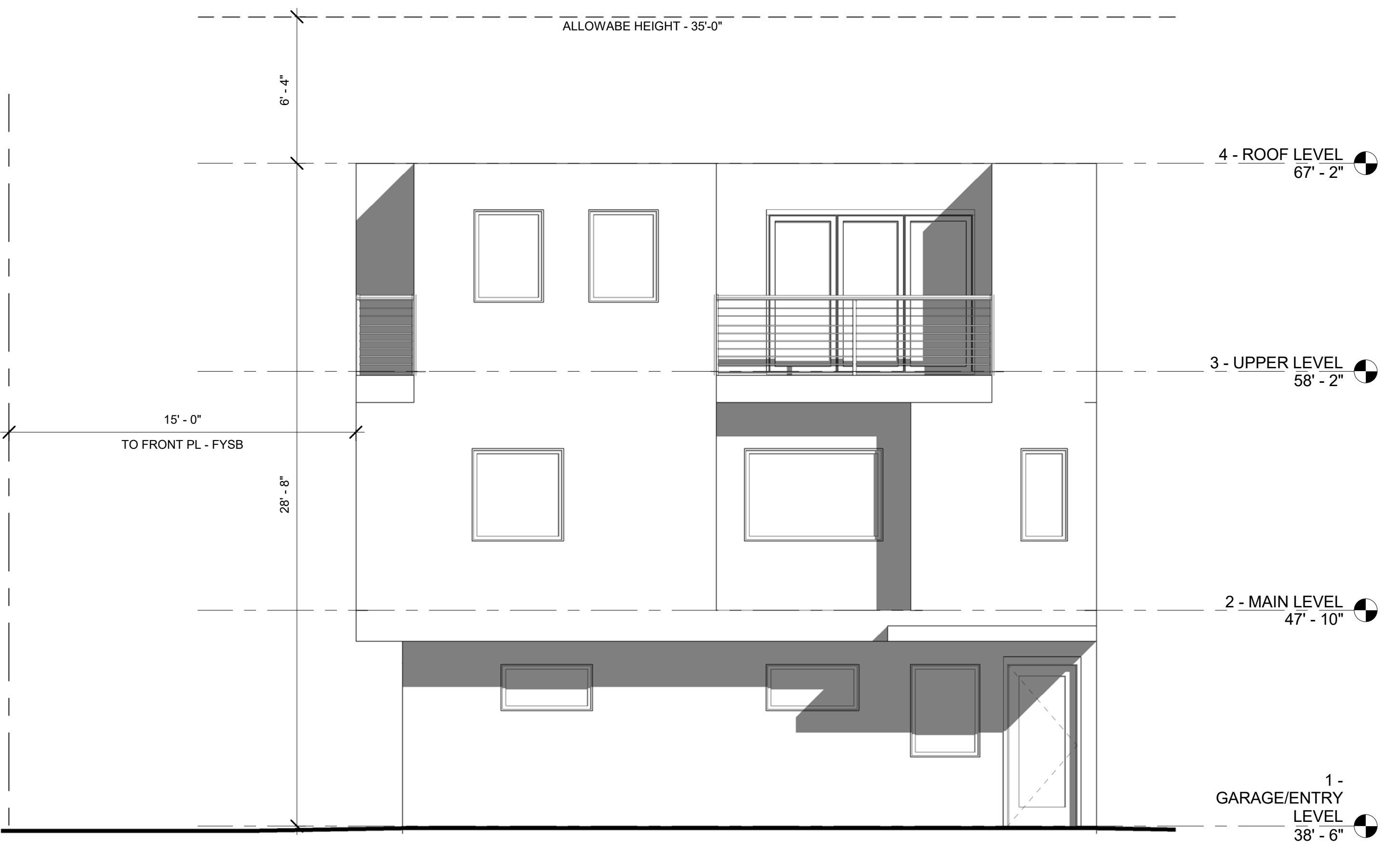
FLOOR PLANS

PEOPLESIZE DESIGN
26045 EL CAMINO REAL, SUITE 250
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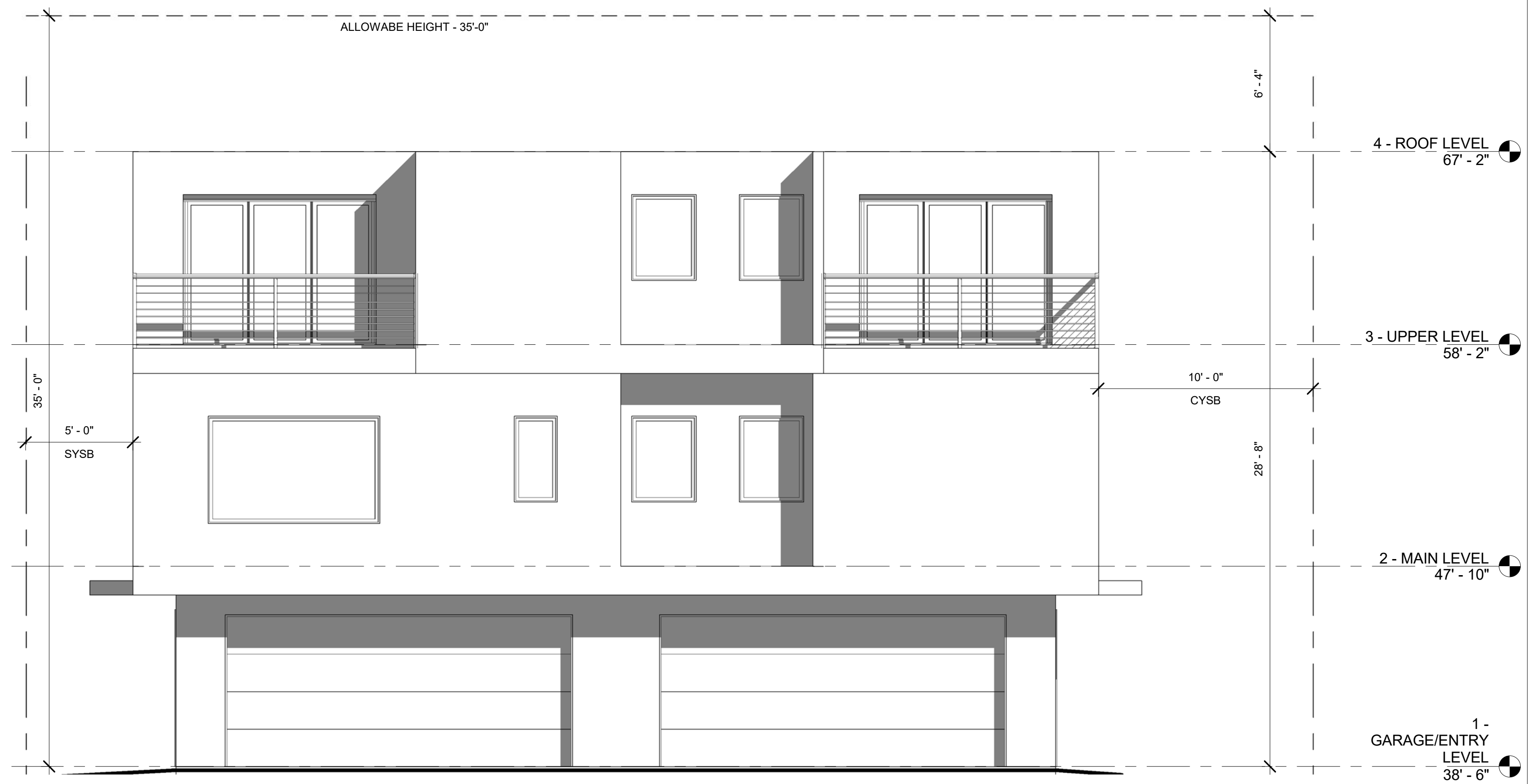
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SHEET

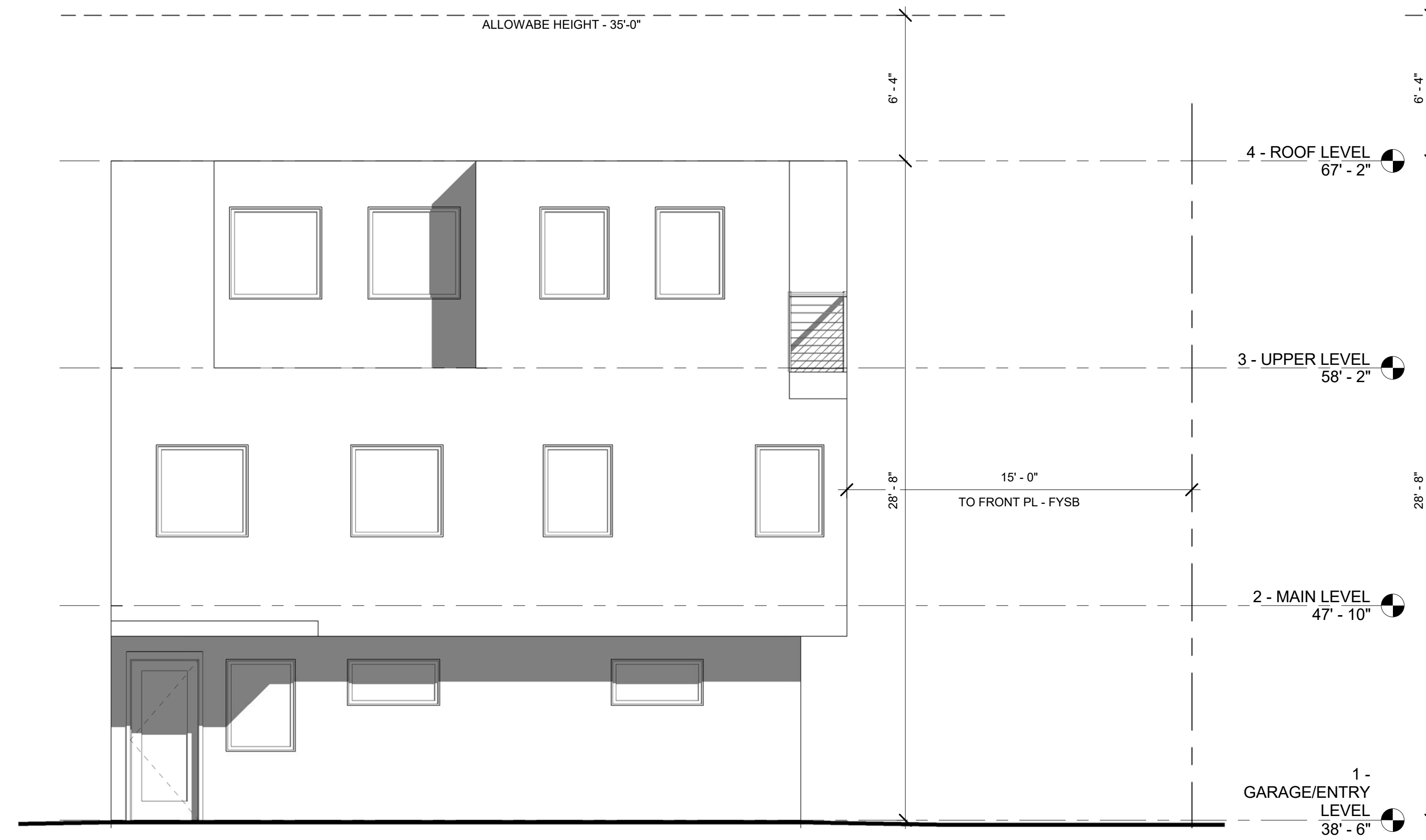
REVISIONS	BY



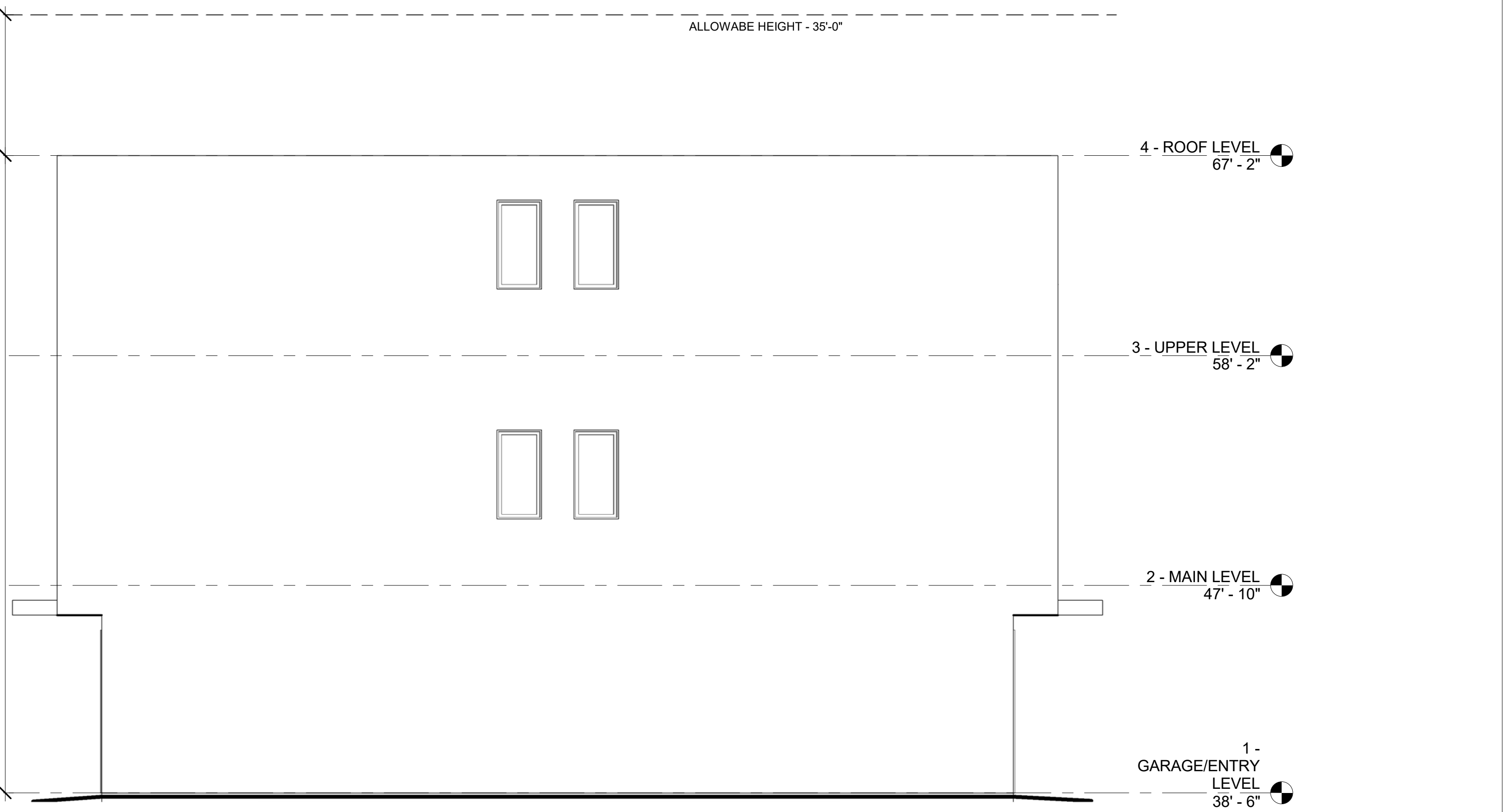
② NORTH ELEVATION - CASSIDY ST.
1/4" = 1'-0"



① EAST ELEVATION - S. MYERS ST.
1/4" = 1'-0"



③ SOUTH ELEVATION
1/4" = 1'-0"



④ WEST ELEVATION
1/4" = 1'-0"

ELEVATIONS

PEOPLES SCALE DESIGN
 2604b EL CAMINO REAL, SUITE 250
 CARLSBAD, CA 92008

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 DEVELOPER'S CONFERENCE - SCHEMATIC
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