

¹AGENDA
OCEANSIDE DEVELOPER'S CONFERENCE

Wednesday, August 7, 2019, 9:30 a.m.
City Hall South, 1st Floor, Guajome Room

1. 9:30 - 10:30 a.m. Proposed single-family residence on a vacant lot located at 2597 Fire Mountain Drive

Zoning: RE-B (Residential Estate B)
Land Use: Medium Density A Residential
Neighborhood Area: Fire Mountain
Assessor Parcel Number: 165-021-04
Contact Person: Dale & Cathy Bailey
Email: dale_and_cathy@yahoo.com

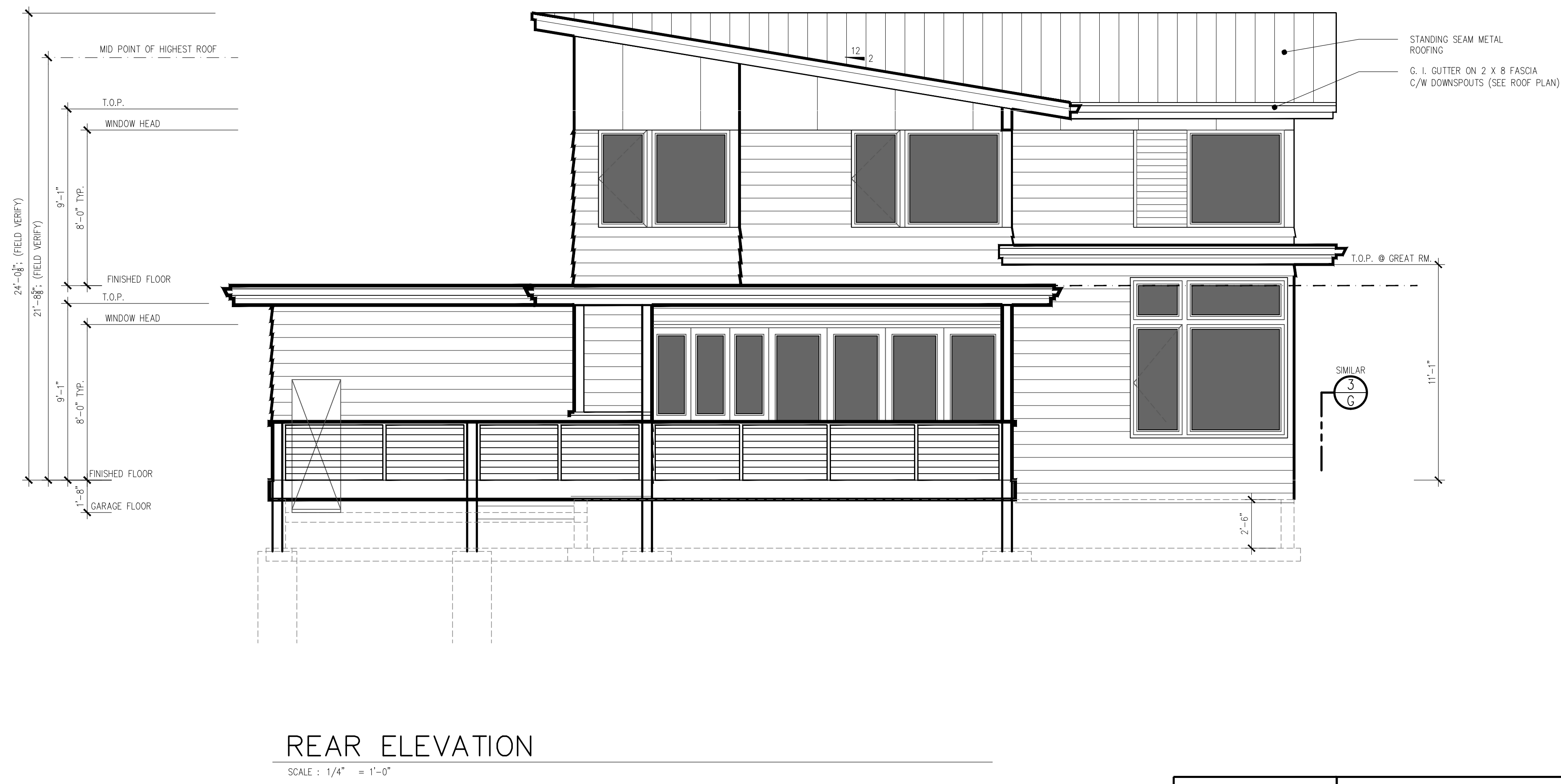
2. 10:30 - 11:30 a.m. Proposed 3-unit apartment buildings, one each on two adjoining lots (one 3-unit building on each lot), located at 1510 Lemon Street and the adjacent vacant lot to the west

Zoning: R-3 (Coastal Medium-density Residential)
Land Use: Coastal High-density Residential
Neighborhood Area: Eastside Capistrano
Assessor Parcel Number: 148-058-10 & -11
Contact Person: Mike O'Gara
Email: ogarabroker@gmail.com

Attachments:

1. Parcel Map
2. Project Description Letter
3. Conceptual Site Plans
4. Vicinity/Regional Maps

¹ *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*



	R. DALE BAILEY P.E. UNIT 19 600 N THE STRAND OCEANSIDE, CA 92054 205-396-4254	SHEET TITLE: ELEVATIONS FRONT AND REAR JOB DESCRIPTION: DALE AND CATHY BAILEY PROPOSED RESIDENCE 2597 FIRE MOUNTAIN DRIVE OCEANSIDE, CA 92054	DRAWN BY:	PROJECT #
			DATE:	CAD NO.
			CHECKED BY:	SHEET NO.
			APPROVALS:	1A

Ronald Dale & Cathayoun Bailey
600 N. The Strand, Unit 19
Oceanside, CA 92054
July 18, 2019

City of Oceanside
Planning Department
300 North Coast Highway
Oceanside, CA 92054

RE: Developer's Conference Proposed Project

Dear Sir or Madam:

My wife and I recently purchased a vacant lot located at 2597 Fire Mountain Drive Oceanside CA 92054 (APN 165-021-04-00). We would like to build a single family residence on this property in the near future.

The proposed residence is a two story single family residence built on a crawl space. The total heated space of the residence is approximately 2298 square feet. The residence will have an attached two car garage. There is an existing paved driveway easement for ingress/egress. We are also proposing building two retaining walls and installing an underground tank for rainwater collection.

We look forward to meeting with you to discuss this project and your suggestions to make it a success. Thank you for your time and assistance in this matter.

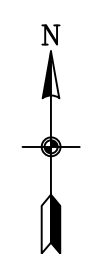
Very Truly Yours,

A handwritten signature in cursive script that reads "R. Dale Bailey".

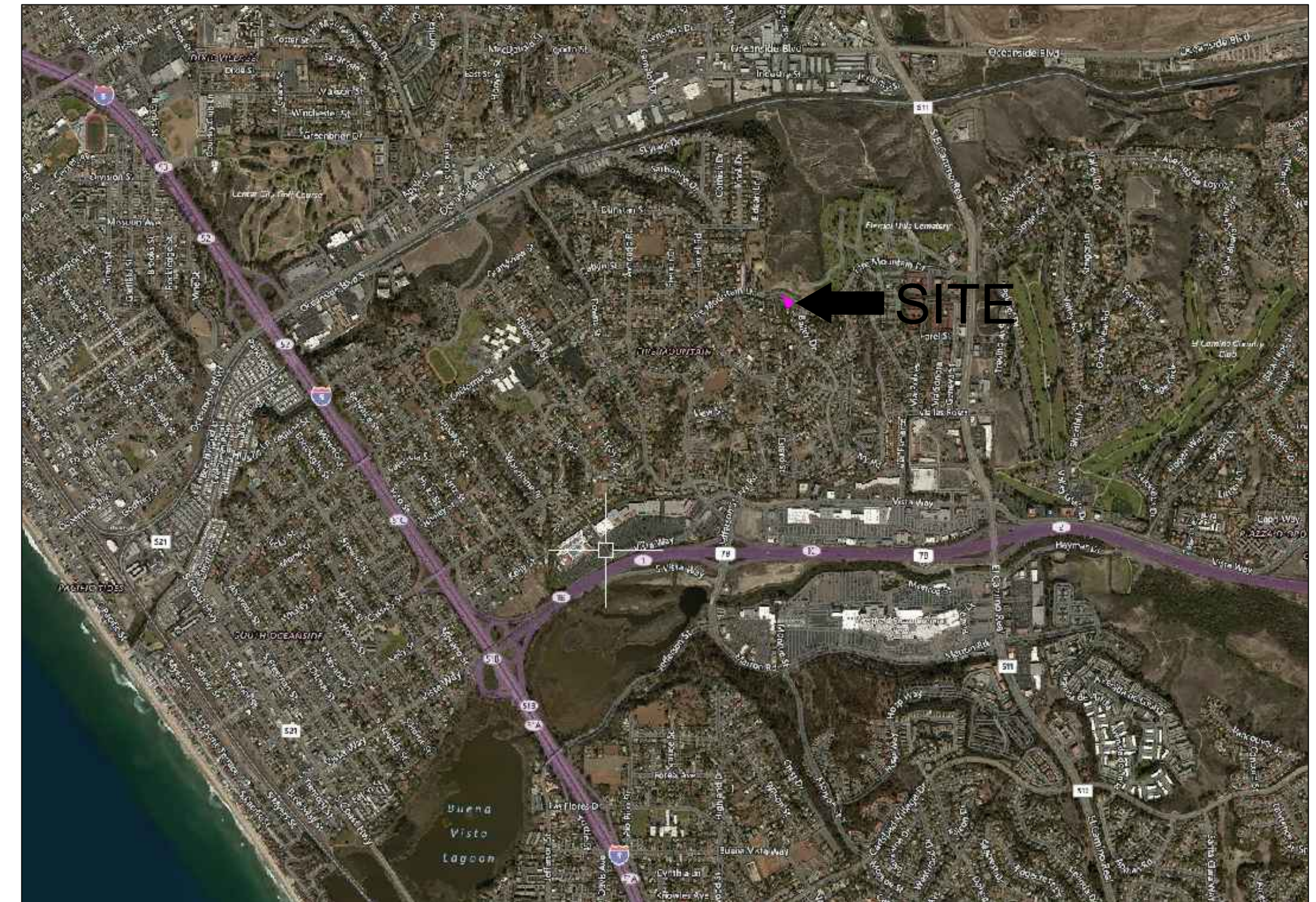
Ronald Dale Bailey



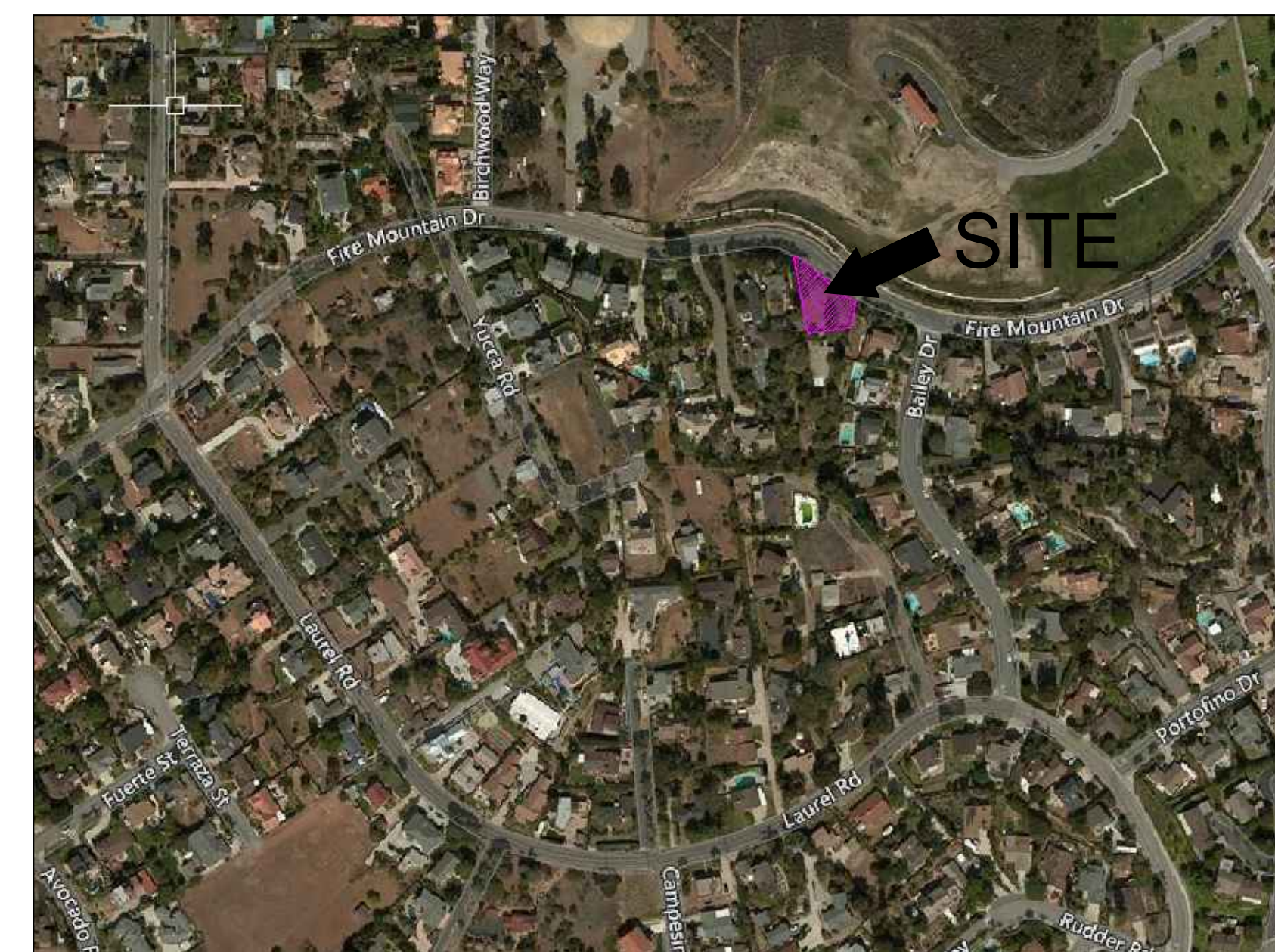
TOPOGRAPHICAL SURVEY
SCALE: 1" = 20'



BENCHMARK:
OCEANSIDE GEODETIC CONTROL NETWORK
MONUMENT # 1062
YUCCA ROAD
LAT: 33D 11' 25.64934"
LONG: 117D 20' 17.43168"
ELEV: 322.21' (NAVD88)



REGIONAL MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

REVISIONS		
DATE:	BY:	DESCRIPTION:

R. DALE BAILEY P.E.
UNIT 19
600 N THE STRAND
OCEANSIDE, CA 92054
205-396-4254

SHEET TITLE:
TOPOGRAPHICAL SURVEY
JOB DESCRIPTION:
DALE AND CATHY BAILEY
PROPOSED RESIDENCE
2597 FIRE MOUNTAIN DRIVE
OCEANSIDE, CA 92054

DRAWN BY: RDB	PROJECT #
DATE: 7/17/19	CAD NO.
CHECKED BY:	SHEET NO.
APPROVALS:	V1.0

SITE NOTES

APN: 1650210400
 ACREAGE: 0.25± ACRES
 PROPOSED IMPROVEMENTS:
 IMPERVIOUS AREA: 2,044 SF (19%)
 DISTURBED AREA: 4941 SQ. FT.

LEGEND:

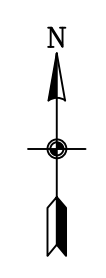
	CONCRETE WALK OR PAD
	CONCRETE PAVERS
	GRAVEL
	WOOD DECK
	PROPERTY LINE
	EASEMENT LINE
	SETBACK LINE
	ROOF DRAIN

SHEET NOTES:

- 1 GRAVEL DRIVE
- 2 GRAVEL WALK
- 3 SEGMENTAL BLOCK WALL (TYP.)
- 4 1500 GALLON RAIN WATER COLLECTION TANK
- 5 YARD INLET AND OVERFLOW
- 6 WOOD DECK
- 7 PATIO WITH BRICK PAVERS
- 8 LIMITS OF ROCK OUTCROPPING
- 9 SLOPE STABILIZATION: VINEYARD, ORCHARD



SITE LAYOUT PLAN
 SCALE: 1"=10'



REVISIONS		
DATE:	BY:	DESCRIPTION:

R. DALE BAILEY P.E.
 UNIT 19
 600 N THE STRAND
 OCEANSIDE, CA 92054
 205-396-4254

SHEET TITLE:
SITE LAYOUT PLAN
 JOB DESCRIPTION:
 DALE AND CATHY BAILEY
 PROPOSED RESIDENCE
 2597 FIRE MOUNTAIN DRIVE
 OCEANSIDE, CA 92054

DRAWN BY: RDB	PROJECT #
DATE: 7/17/19	CAD NO.
CHECKED BY:	SHEET NO.
APPROVALS:	C1.0

SITE NOTES

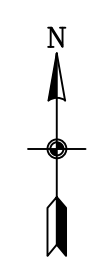
APN: 1650210400
 ACREAGE: 0.25± ACRES
PROPOSED IMPROVEMENTS:
 IMPERVIOUS AREA: 2,668 SF (25%)
 DISTURBED AREA: 4941 SQ. FT.
EARTHWORK VOLUMES:
 CUT: 128± CUBIC YARD
 FILL: 128± CUBIC YARD



LEGEND:

	CONCRETE WALK OR PAD
	CONCRETE PAVERS
	GRAVEL
	WOOD DECK
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF WALL
	PRO. FINISH FLOOR ELEV.
	PRO. SUBGRADE ELEV.

SITE GRADING PLAN
 SCALE: 1"=10'

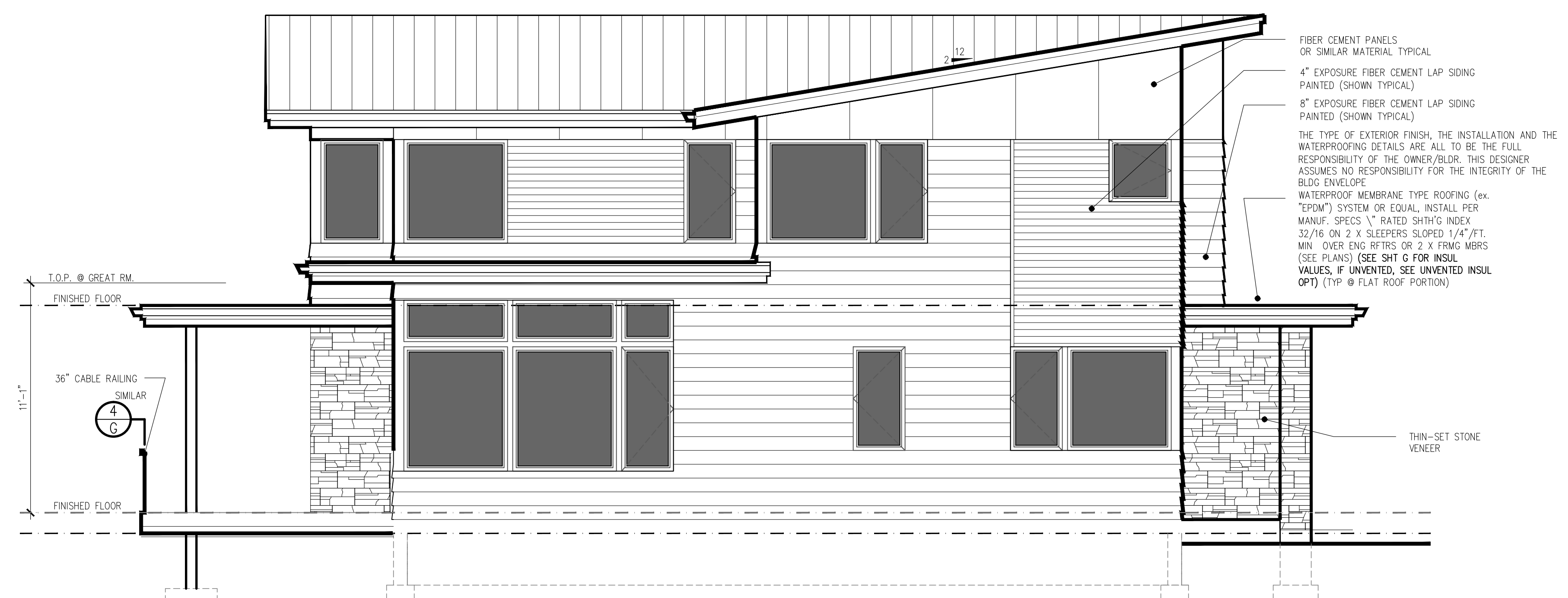


REVISIONS		
DATE:	BY:	DESCRIPTION:

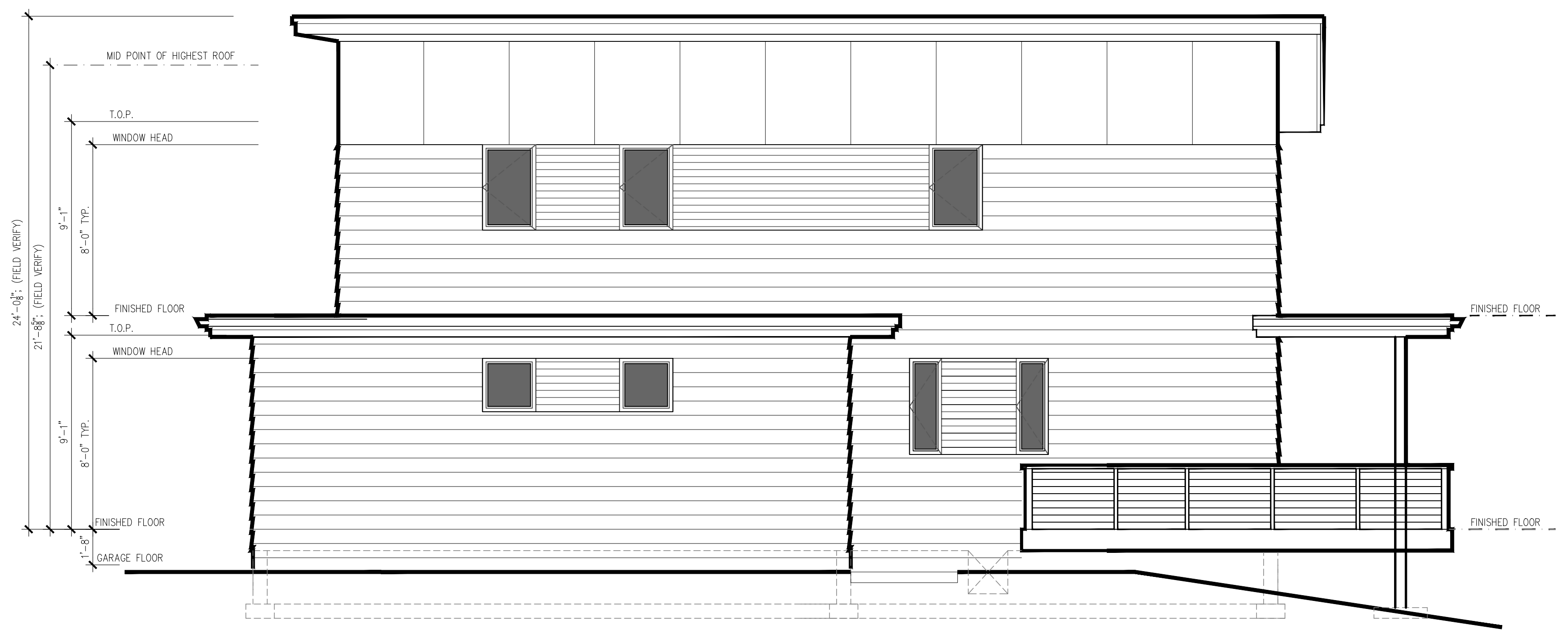
R. DALE BAILEY P.E.
 UNIT 19
 600 N THE STRAND
 OCEANSIDE, CA 92054
 205-396-4254

SHEET TITLE:
 SITE GRADING PLAN
JOB DESCRIPTION:
 DALE AND CATHY BAILEY
 PROPOSED RESIDENCE
 2597 FIRE MOUNTAIN DRIVE
 OCEANSIDE, CA 92054

DRAWN BY: RDB	PROJECT #
DATE: 7/17/19	CAD NO.
CHECKED BY:	SHEET NO.
APPROVALS:	C2.0



LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

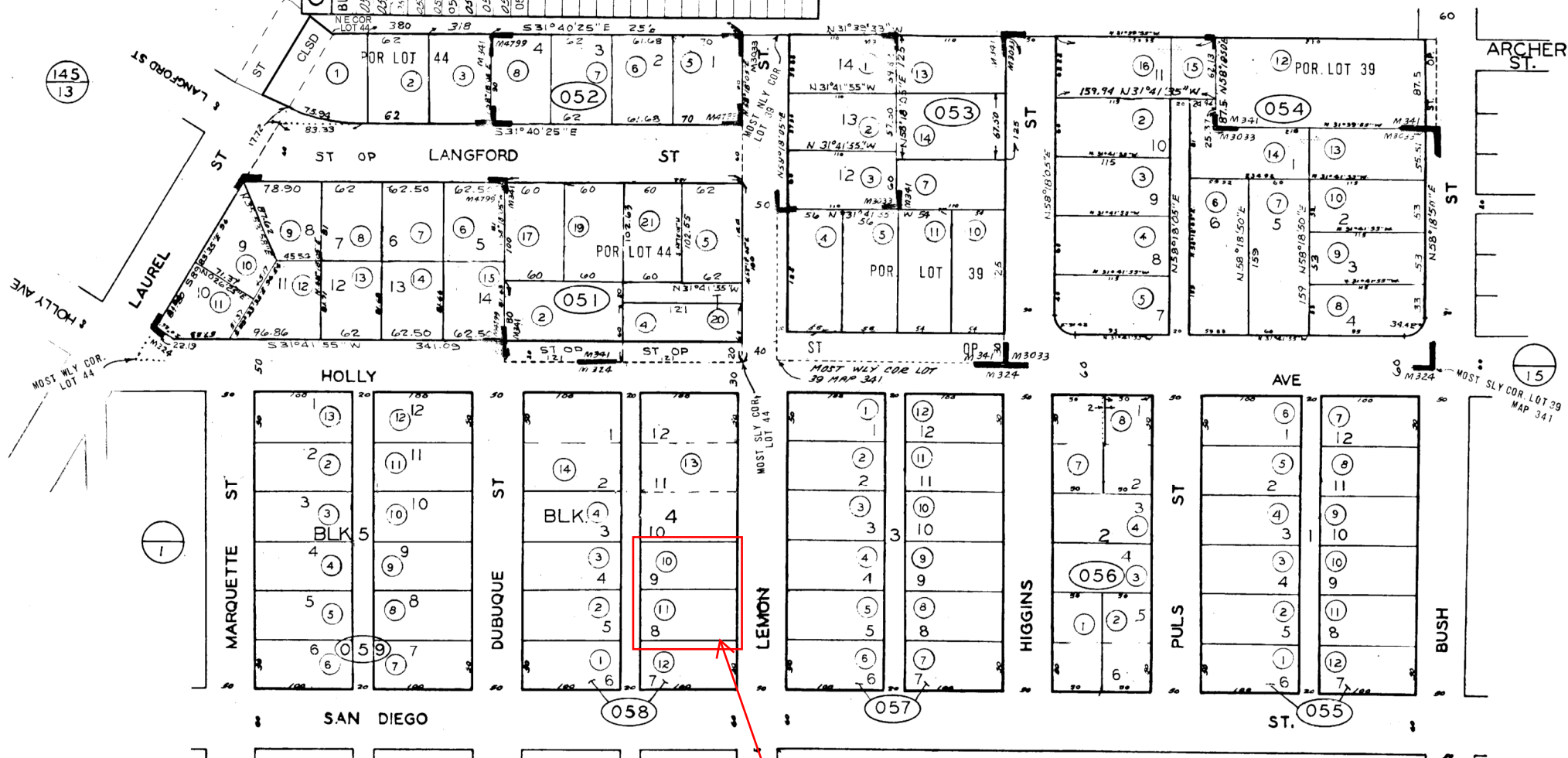


RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR
 THE CORRECT INSTALLATION OF ALL EXTERIOR
 FINISHES AND WEATHERPROOFING.

	R. DALE BAILEY P.E. UNIT 19 600 N THE STRAND OCEANSIDE, CA 92054 205-396-4254	SHEET TITLE: ELEVATIONS LEFT AND RIGHT SIDES JOB DESCRIPTION: DALE AND CATHY BAILEY PROPOSED RESIDENCE 2597 FIRE MOUNTAIN DRIVE OCEANSIDE, CA 92054	DRAWN BY:	PROJECT #
			DATE: 7/17/19	CAD NO.
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			APPROVALS:	1B

CHANGES		
BLK	OLD	NEW YR CUT
052	4	5-8 22 70
051	16	8-8 12 30 67
050	7-9	7-1 24 3
054	1	13-14 70 103
054	1	15-16 70 45 60
051	16	20-21 71 66 61
053	12	13-14 72 28 87
059	15	13 79 44 36
058	5-6	7-8 81 16 33
052	1	SAVING ST. 04 56 52



THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

MAP 4799 - OCEAN VILLA SUB
 MAP 3033 - STERLING PLAZA
 MAP 341 - BUTLER, GROVES & GLEICHNER ADD
 MAP 324 - REECE'S ADD

San Diego County Assessor's Map Book 148 Page 05

19 July 2019

City of Oceanside
Developer's Conference – August 7, 2019
Project Description Letter

RE: 1510 Lemon St. and adjoining lot (APN 148-058-10 and 148-058-11)

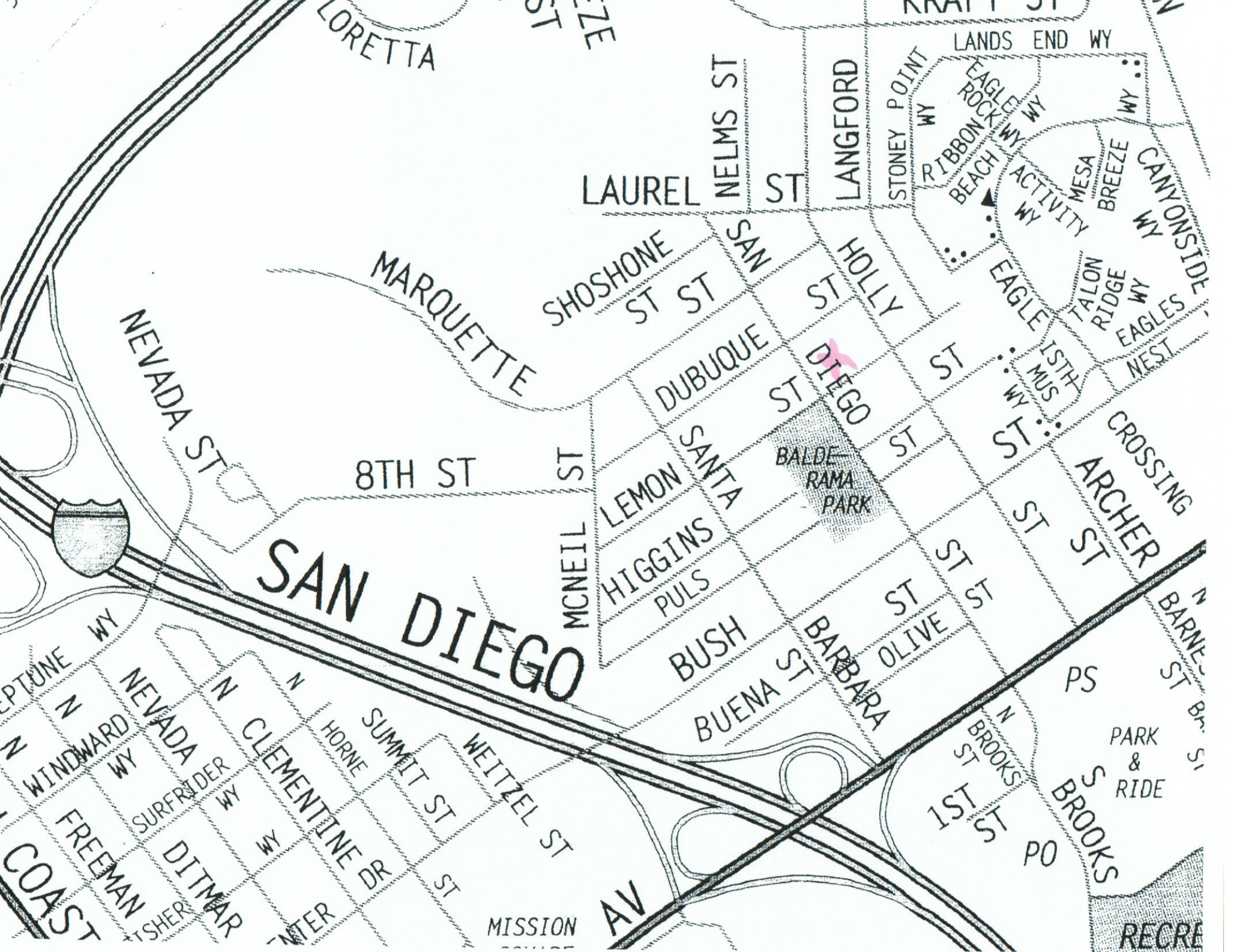
Enclosed are the documents supporting the development of two 3-unit apartments on the adjoining lots referenced above.

The eastern parcel, 1510 Lemon St., is occupied by a small chapel 20 ft. wide by 30 ft. long. The chapel is recognized as the original St. Mary's Catholic Church, though, 140 years old, it is not an "historic" building, as it was formerly moved to its present location many years ago. The Diocese of San Diego owns the property and is managed by St. Mary's parish.

It is the hope of the Diocese of San Diego and St. Mary's that the building could be moved to the Church property between Mission Ave. and Pier View. O'Gara Construction will assist the Diocese in the relocation of the chapel and the Lemon St. site preparation.

As planned, the new units on Lemon St. would be compatible with surrounding developments, yet offering features that meet today's needs. Each unit will have two (2) bedrooms and two (2) bathrooms, including a laundry hook-up in the unit. Each unit will have an assigned garage parking space.

This site is conveniently located within walking distance to the post office, bus stops, Veteran's Meeting Hall and shopping. The site is approximately 1.5 miles from the beach and Transit Center.



SAN DIEGO

BALDE RAMA PARK

NEVADA ST

8TH ST

SHOSHONE ST

MCNEIL ST

HIGGINS PULS

BUSH ST

BUENA ST

BARBARA ST

1ST ST

BROOKS PO

MISSION AV

NELMS ST

LANGFORD ST

LEMON ST

SANTA DUBUQUE ST

HOLLY ST

SAN DIEGO ST

ISTH MUS ST

ARCHER ST

PARK & RIDE

RECRE

LORETTA

LANDS END WY

STONEY POINT WY

EAGLE ROCK WY

RIBBON WY

BEACH WY

ACTIVITY WY

MESA BREEZE WY

CANYONSIDE WY

TALON RIDGE WY

EAGLES NEST

CROSSING ARCHER ST

BARNES ST

WINDWARD WY

NEVADA WY

FREEMAN WY

COAST

SURFRIDER WY

CLEMENTINE DR

HORNE

SUMMIT ST

WEITZEL ST

BROOKS ST

N

PS

ST

N

ST

BR

ST

ST



Map for Parcel Address: 1510 Lemon St Oceanside, CA 92058-2729 APN: 148-058-10-00

CRS Data

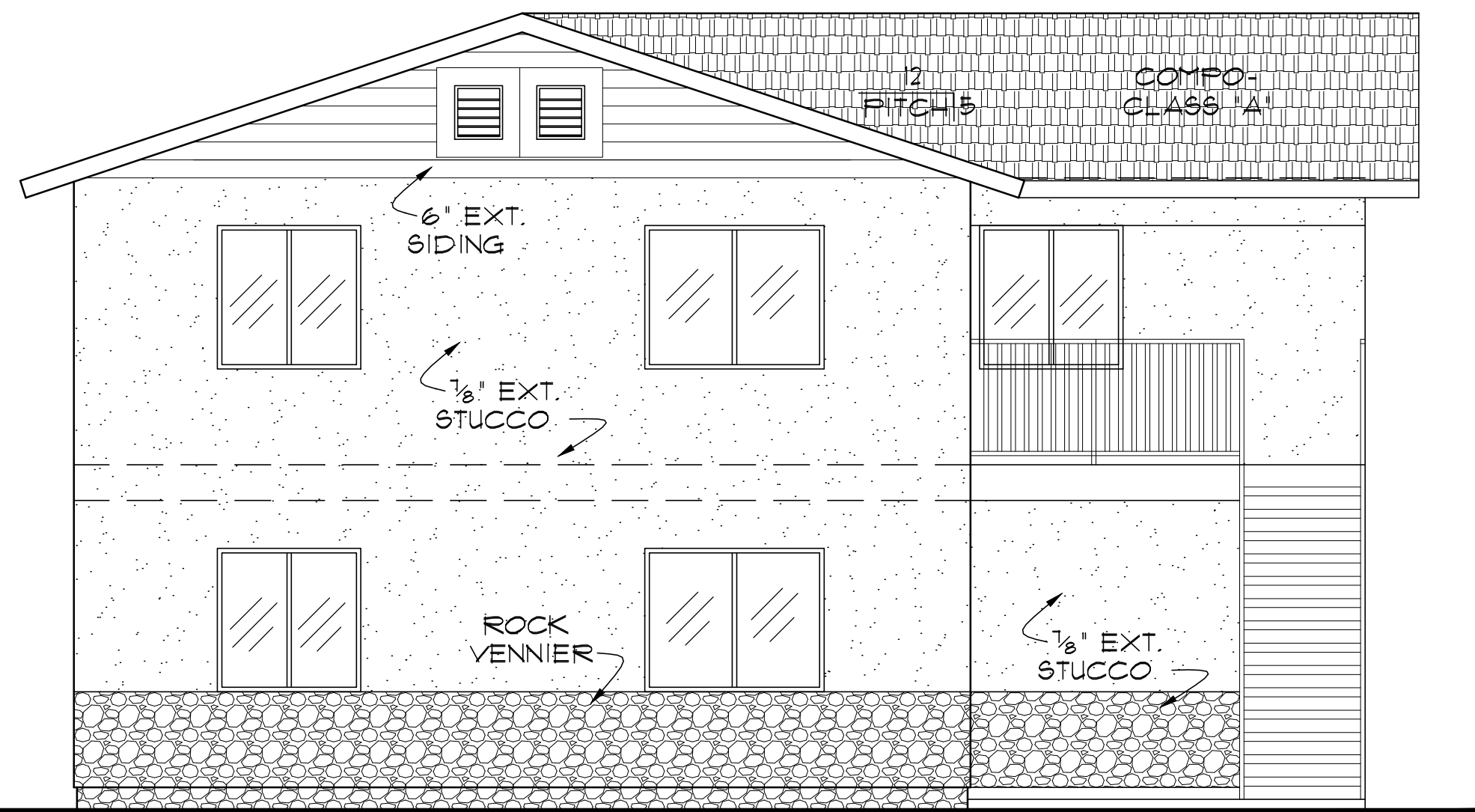


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Map for Parcel Address: 1510 Lemon St Oceanside, CA 92058-2729 APN: 148-058-10-00





SOUTH FRONT ELEVATION
1/4" = 1'-0"



EAST RIGHT ELEVATION
1/4" = 1'-0"

ATTIC VENT.
192#/150" = 128#
16"x6" VENTS = 0.666#
0.666# x 3 = 1.998#
TOTAL PROVIDED



NORTH REAR ELEVATION
1/4" = 1'-0"

SCOPE OF WORK

PROPOSED 3 NEW TWO BEDROOM UNITS,
AND 3- ONE CAR GARAGE PER
ASSESSOR PARCEL

COVERAGE

LOT SQ. FT. 148-058-10-00	4,810 #
UNIT # 1	900 #
UNIT # 2	900 #
UNIT # 3	900 #
PROP. GARAGES	162 #
PROP. LANDINGS & STAIRS	126 #
TOTAL SQ. FT.	3,618 #
COVERAGE = 40.0% FAR = 75.2%	

EXISTING ZONING: C-RH- R-3
TYPE OF CONSTRUCTION: V-B
OCCUPANCY: R-3
SPRINKLERED: NO
OF STORIES: 2
SEISMIC DESIGN CATEGORY = 'D₂'

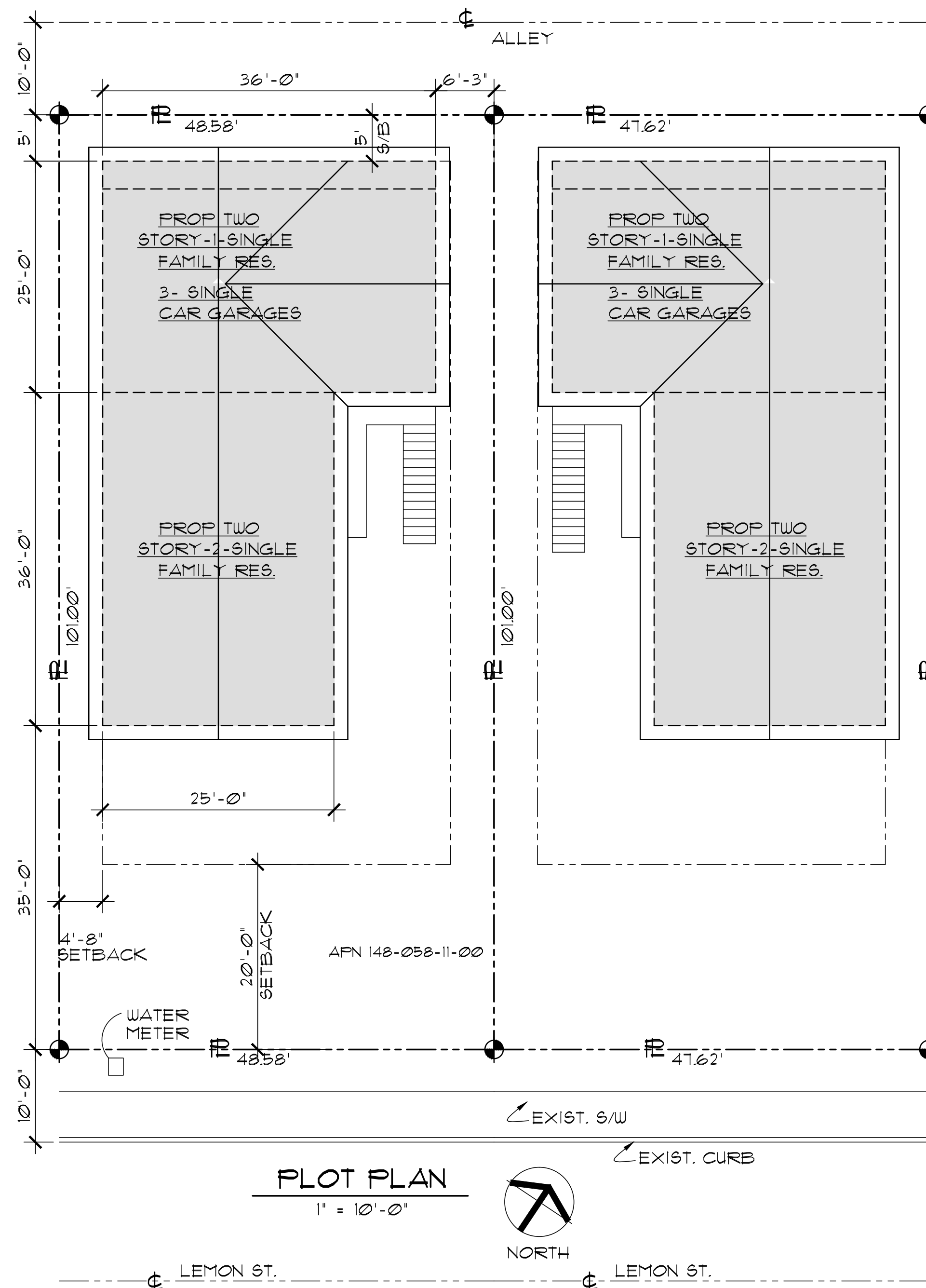
LEGAL DESCRIPTION

LOT # 9 SUBDIVISION
REECE'S ADDITION
MAP 324
APN 148-050-10-00 148-058-11-00

SITE PLAN NOTES

1. ALL SURFACE WATER TO DRAIN AWAY FROM BUILDING AND PROPERTY LINE TO ALLEY OR STREET.
 2. VERIFY ALL UTILITY LOCATIONS (EXISTING OR NEW) PRIOR TO START OF CONSTRUCTION.
 3. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
 4. CONTRACTOR TO COMPLY WITH ALL OSHA REQUIREMENTS.
 5. ALL PROPERTY LINES (REAL OR ASSUMED), EASEMENTS AND BUILDINGS, (BOTH EXISTING AND PROPOSED), ARE SHOWN ON THIS SITE PLAN.
- NOTE: NO GRADING PERMIT IS REQUIRED FOR THIS PROJECT, RELATIVELY FLAT.
- THE PLANS SHALL COMPLY WITH 2016 EDITION OF THE CALIFORNIA CODE OF REGULATIONS (CCR): TITLE 24 (CBC)
- PART 2: THE 2016 CALIFORNIA BUILDING CODE (CBC)
PART 2.5: THE 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
PART 3: THE 2016 CALIFORNIA ELECTRICAL CODE (CEC)
PART 4: THE 2016 CALIFORNIA MECHANICAL CODE (CMC)
PART 5: THE 2016 CALIFORNIA PLUMBING CODE (CPC)
PART 6: THE 2016 CALIFORNIA ENERGY CODE
PART 9: THE 2016 CALIFORNIA FIRE CODE (CFC)
PART 11: THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN CODE)

SOIL BEARING VALUE, SBP = 1500 PSF
SOILS CLASSIFICATION = 'D'



PLOT PLAN
1" = 10'-0"

SH	SHEET INDEX
A-1	PLOT PLAN, ELEVATION, & LEGEND
A-2	EXIST. FLOOR PLAN, & NEW FLOOR PLAN
A-3	FOUN. PLAN, NOTES, DETAILS, SECTION & SHEER SH.
A-4	ROOF FRAMING PLAN, NOTES, DETAILS, & SECTIONS
A-5	GENERAL NOTES & NAILING SCHEDULE
A-6	TYPICAL DETAILS
A-7	GREEN BUILDING NOTES
A-8	TITLE 24

COVERAGE

LOT SQ. FT. 148-058-11-00	4,901 #
UNIT # 1	900 #
UNIT # 2	900 #
UNIT # 3	900 #
PROP. GARAGES	162 #
PROP. PORCHES	126 #
TOTAL SQ. FT.	3,588 #
COVERAGE = 39.2% FAR = 13.1%	

VICINITY MAP
N. T. 9,
THOMAS BROS.
1106-C2

MIGUEL BRAMBILA
2116 LA SIESTA WAY
NATIONAL CITY, CA 91960
TEL: (619) 518-2640

REVISIONS	BY
1	
2	
3	
4	

MICHAEL O'GARA
LEMON ST.
OCEANSIDE, CA. 92000
TEL. (760) 434-7563

JOB ADDRESS:

MICHAEL O'GARA
P. O. BOX 1633
CARLBAD, CA. 92018
TEL. (760) 434-7563

OWNER:

DRAWN: MB

CHECKED: MB

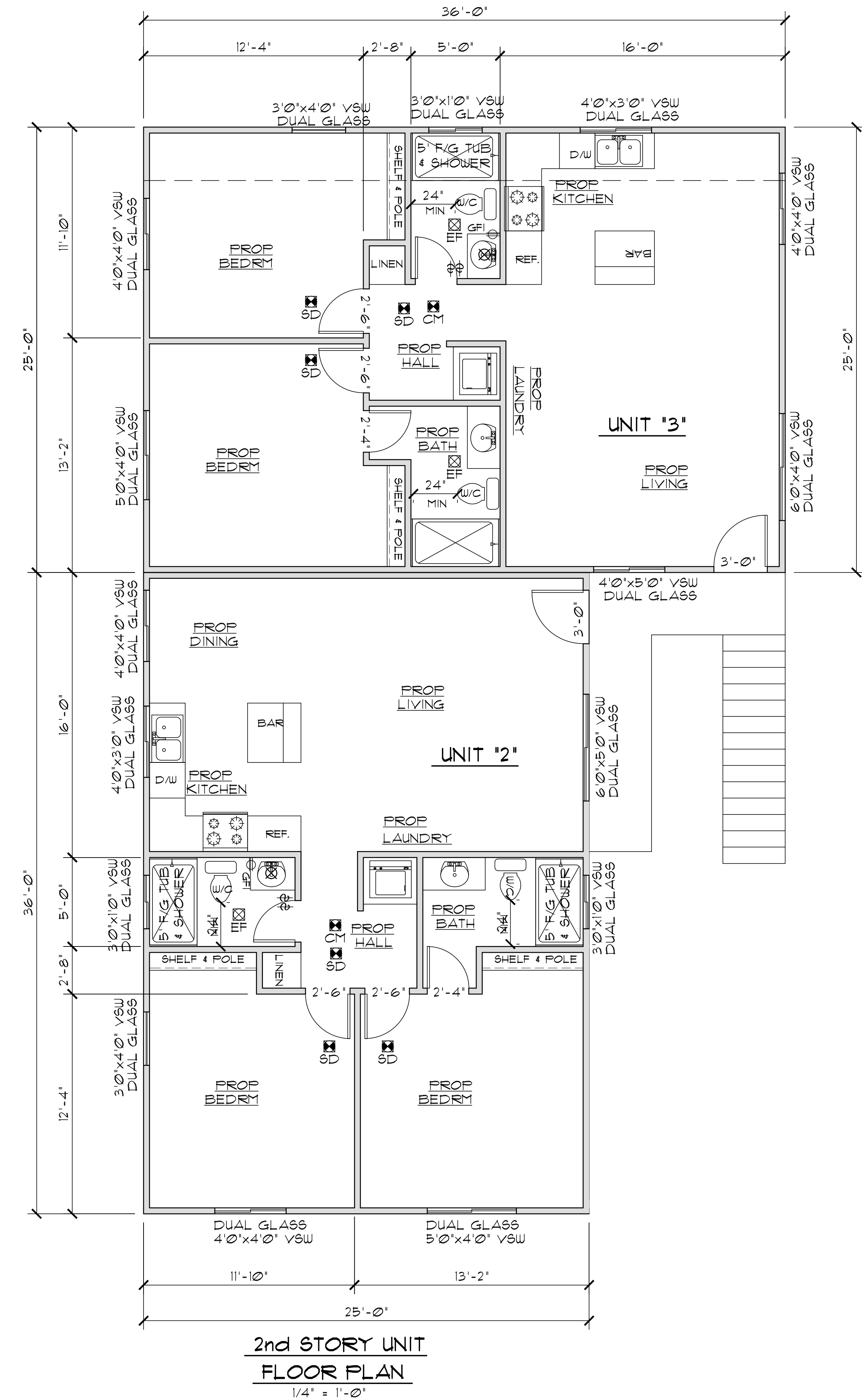
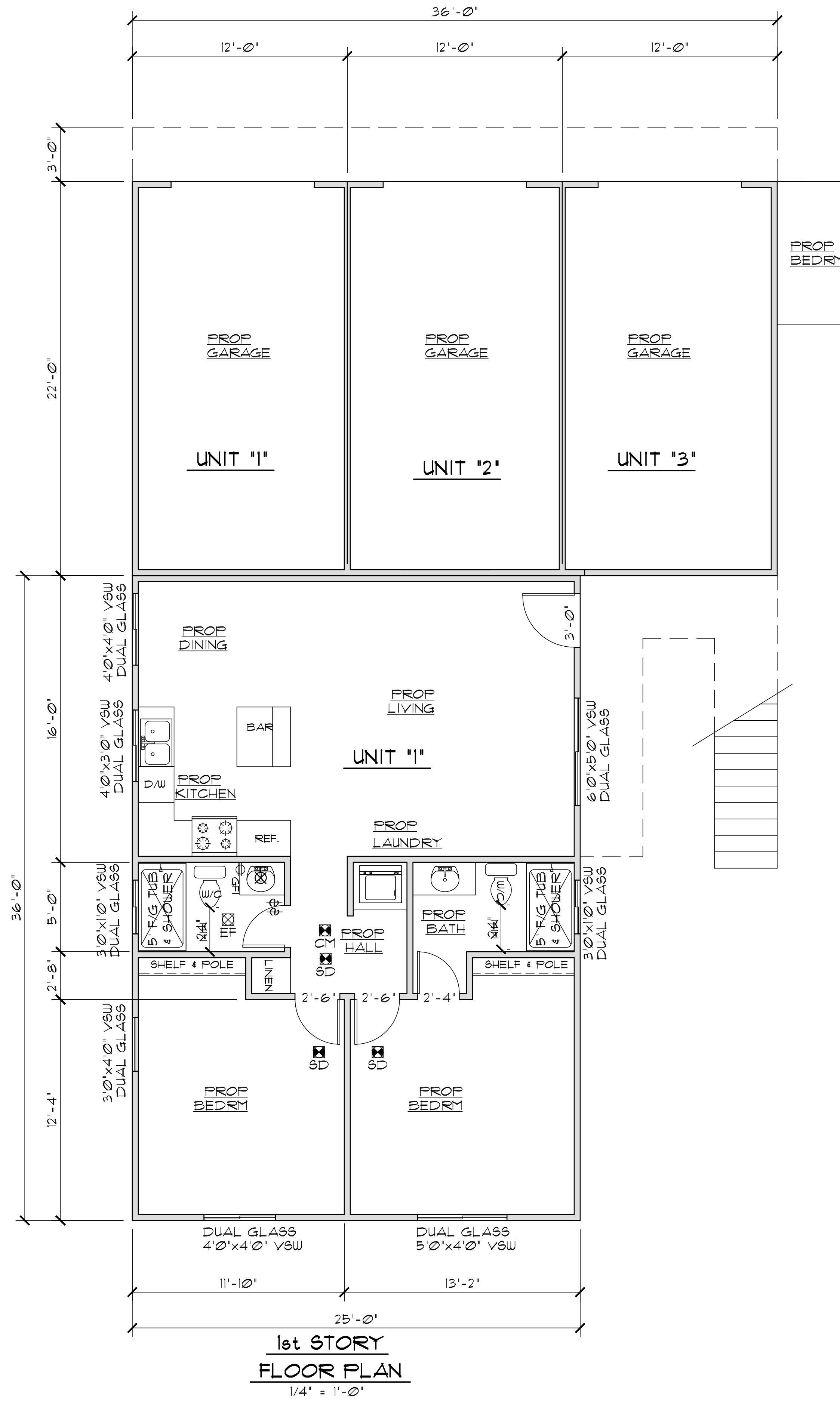
DATE: 7/07/19

SCALE: AS NOTED

JOB NO: 190120GARA

SHEET

1



REVISIONS	BY
1	
2	
3	
4	

MICHAEL O'GARA
LEMON ST.
OCEANSIDE, CA. 92000
TEL. (760) 434-7563

MICHAEL O'GARA
P. O. BOX 1633
CARLBAD, CA. 92018
TEL. (760) 434-7563

OWNER:
DRAWN: MB
CHECKED: MB
DATE: 7/07/19
SCALE: AS NOTED
JOB NO: 19012OGARA
SHEET

EXIST. FLOOR PLAN, PROP. FLOOR PLAN, & NOTES

2