

**<sup>1</sup>AGENDA**  
**OCEANSIDE DEVELOPER'S CONFERENCE**

**Wednesday, September 4, 2019, 9:30 a.m.**  
**City Hall South, 1<sup>st</sup> Floor, Guajome Room**

1. 9:30 - 10:30 a.m.                      Proposed conversion/TI of an existing 18,000 SF two-story commercial office building into an assisted living/memory care facility (total of 82 beds after completion of a planned building addition in Phase II)

**Zoning: CL (Limited Commercial)**  
**Land Use:**  
**Neighborhood Area: Oceana**  
**Assessor Parcel Number: 160-140-02 (& 160-140-06)**  
**Contact Person: Gary Miller**  
**Email: [gmill@millar-aip.com](mailto:gmill@millar-aip.com)**

2. 10:30 - 11:30 a.m.                      Proposed renovation and addition to existing building at 301 N. Coast Hwy, to include a 3,681 SF second-story addition with a 1,141 SF partially covered deck. First floor to be available retail space and second floor to be restaurant. Includes remodel of 410 and 412 Pier View Way.

**Zoning: D-1 (Commercial Retail and Office/Residential possible)**  
**Land Use: Downtown**  
**Neighborhood Area: Townsite**  
**Assessor Parcel Number: 147-086-03**  
**Contact Person: Francis Ramos**  
**Email: [francis@t7architecture.com](mailto:francis@t7architecture.com)**

Attachments:

1. Parcel Map
2. Project Description Letter
3. Conceptual Site Plans
4. Vicinity/Regional Maps

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<sup>1</sup> *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*

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Z:\PROJECTS\2019 Projects\SD Homes Oceanside Assisted Living - 19000035.RA\Drawings\Schematic Design\SD Homes Oceanside Assisted Living.rvt

-A-	anchor bolt	-I-	inside diameter	-T-	telephone
AB	above	INCL	include(ing)	TEL	tongue & groove
AC	asphaltic concrete	INSUL	insulate(ion)	THK	thick(ness)
A/C	air conditioning	INT	interior	TV	television
ADD	addendum	INV	invert	TYP	typical
AGG	aggregate	JST	joist		
ALT	alternate	JT	joint	-U-	unless noted otherwise
ALUM	aluminum	KIT	kitchen	UNO	urinal
APROX	approximate	KO	knockout	UR	
ARCH	architect(ural)			-V-	
AUTO	automatic	-L-	laboratory	VERT	vertical
		LAM	laminat(e)d	VIN	vinyl
-B-	board	LAV	lavatory		
BEL	below	LBL	label	-W-	west
BET	between	LH	left hand	W	with
BIT	bituminous	LL	live load	W/O	without
BLDS	building	LT	light	WC	water closet
BLK	block	LTL	lintel	WD	wood
BLKG	blocking	LW	lightweight	WH	water heater
BM	bench mark			WI	wrought iron
BOT	bottom	-M-	masonry	WIN	window
BRG	bearing	MAS	masonry	WPT	working point
BRZ	bronze	MAX	maximum	WR	water repellent
BUR	built up roofing	MB	machine bolt	WWF	welded wire fabric
BW	both ways	MBR	member		
		MC	medicine cabinet		
-C-	cabinet	MECH	mechanic		
CAB	cabinet	MED	medium		
CAD	cadmium	MET	metal		
CB	catch basin	MFR	manufacture(er)		
CEM	cement	MH	manhole		
CER	ceramic	MIN	minimum		
CFT	cubic foot	MIR	mirror		
CI	cast iron	MISC	miscellaneous		
CIR	circle	MLD	molding, moulding		
CIRC	circumference	MM	millimeter		
CLG	ceiling	MT	mount(ed, ing)		
CLL	contract limit line	MTL	material(s)		
CLR	clear(ance)				
CLS	closure	-N-	north		
CM	centimeter	N	natural		
CMU	concrete masonry unit	NAT	natural		
COL	column	NIC	not in contract		
COMB	combination	NOM	nominal		
COMP	composition	NTS	not to scale		
CONC	concrete				
CONT	continuous/ continue	-O-	overall		
CONTR	contract(or)	OA	obscure		
CONST	construction	OBSC	obscure		
CORR	corrugated	OC	on center		
CPR	copper	OD	outside diameter		
CPT	carpet(ed)	OH	overhead		
CYD	cubic yard	OPG	opening		
		OPP	opposite		
-D-	demolish, demolition	-P-	parallel		
DEMO	demolish, demolition	PAR	parallel		
DH	double hung	FB	panic bar		
DIAG	diagonal	PCC	precast concrete		
DIAM	diameter	PCF	pounds per cubic foot		
DIM	dimension	PCF	pounds per cubic foot		
DIV	division	PEDESTAL	pedestal		
DR	door	PERF	perforate(d)		
DS	downspout	PRE FAB	prefabricate(d)		
DTL	detail	PFL	pounds per linear foot		
DWG	drawing	PIP	poured in place		
DWR	drawer	PL	property line		
		PLT	plate		
-E-	east	PLAS	plaster		
E	east face	PLYWD	plywood		
EF	each face	PNL	panel		
ELEV	elevation	PNT	paint(ed)		
ELEC	electric(al)	PSF	pounds per square foot		
EMER	emergency	PSI	pounds per square inch		
ENC	enclosure	PT	point		
EP	electrical panelboard	PVC	polyvinyl chloride		
EQ	equal				
EQUIP	equipment	-R-	return air		
EST	estimate	RA	return air		
EW/C	electric water cooler	RAD	radius		
EXIST	existing	RCP	reinforced concrete pipe		
EXHST	exhaust	RD	roof drain		
EXP	exposed	REFR	refrigerator		
EXT	exterior	REG	register		
		REM	remove		
-F-	fire alarm	RET	return		
FA	fire alarm	RFG	roofing		
FD	floor drain	RH	right hand		
FE	fire extinguisher	RM	room		
FFE	finished floor elevation	RO	rough opening		
FFL	finished floor line	ROW	right of way		
FIN	finish(ed)				
FLR	floor(ing)	-S-	south		
FLUOR	fluorescent	S	south		
FND	foundation	SC	solid core		
FTG	footing	SCH	schedule		
		SD	storm drain		
-G-	gauge, gauge	SEC	section		
GA	gauge, gauge	SH	shelf, shelving		
GI	galvanized iron	SHT	sheet		
GL	glass, glazing	SIM	similar		
GP	galvanized pipe	SPEC	specification(s)		
GYP.BD	gypsum board	SPK	speaker		
GRD	grade, grading	SQ	square		
GSS	galvanized steel	SS	stainless steel		
GV	galvanized	ST	steel		
		STA	station		
-H-	hose bibb	STD	standard		
HB	hose bibb	STO	storage		
HC	hollow core	STR	structural		
HD	heavy duty	SUS	suspended		
HDR	header	SYM	symmetry(ical)		
HDW	hardware	SYS	system		
HGT	height				
HM	hollow metal				
HOR	horizontal				
HTG	heating				
HVAC	heating / ventilating air conditioning				
HWD	hardwood				

### Abbreviations

### Symbols

# SD HOMES VISTA BELLA ASSISTED LIVING

503 VISTA BELLA STREET  
OCEANSIDE, CA

### Project Title

#### Building Data:

BUILDING AREA  
FIRST FLOOR - 8,503 SQ FT  
SECOND FLOOR - 8,503 SQ FT  
TOTAL BUILDING AREA - 17,006

TYPE OF CONSTRUCTION:  
OCCUPANCY CLASSIFICATION:  
AUTOMATIC FIRE SPRINKLERS:  
LAND USE DISTRICT:  
NATURE OF BUSINESS:  
OCCUPANT LOAD:

#### Code Data:

- ALL CONSTRUCTION SHALL MEET THE MINIMUM REQUIREMENTS OF THE:
- 2016 CALIFORNIA BUILDING CODE, VOLUMES 1 AND 2
  - 2016 CALIFORNIA PLUMBING CODE
  - 2016 CALIFORNIA MECHANICAL CODE
  - 2016 CALIFORNIA ELECTRICAL CODE
  - 2016 CALIFORNIA GREEN BUILDING CODE
  - 2016 CALIFORNIA FIRE CODE
  - 2016 CALIFORNIA REFERENCED STANDARDS CODE

#### Legal Description:

TYPE LEGAL DESCRIPTION HERE.

#### General Notes:

1. QUANTITIES LISTED ON THESE DOCUMENTS ARE FOR AGENCY APPROVAL ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES FOR BIDDING PURPOSES.

#### Deferred Submittals:

- THE FOLLOWING ITEMS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION:
1. FIRE ALARM AND FIRE SPRINKLER PLANS. SYSTEM SHALL BE DESIGNED TO MEET ALL REQUIREMENTS OF NFPA13 AND LOCAL JURISDICTION REQUIREMENTS.

#### Site Data:

PROPERTY AREA: 42,455 SQ. FT.  
LOT COVERAGE:  
BUILDING FOOTPRINT - 8,503 SQ. F.T. (20%)  
PARKING AREA - 16,309 SQ. F.T. (38%)  
LANDSCAPE AREA - 17,643 SQ. F.T. (42%)  
PARKING LOT LANDSCAPE - XXXX SQ. F.T. (XX%)

PARKING DATA:  
PARKING REQUIRED - XX/XXX = XXX SPACES  
HANDICAP PARKING REQUIRED - 2 SPACES

PARKING PROVIDED  
41 SPACES  
3 HANDICAP SPACES (INCLUDING 3 VAN ACCESSIBLE)

Sheet Number	Sheet Name
--------------	------------

G-001_D	General Information
A-101	First Floor
A-102	Second Floor
AS-101	Site Plan

### Project Information



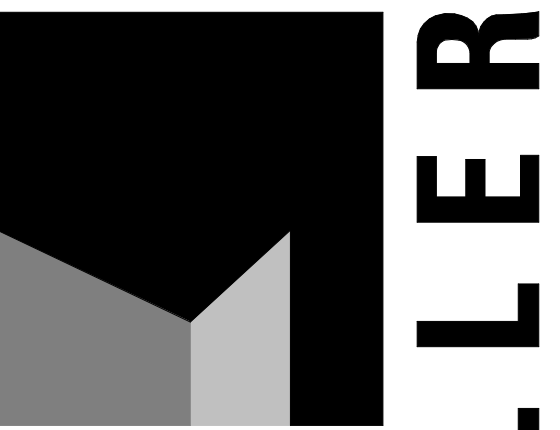
Vicinity Map

### Sheet Index



Regional Map

Directory



architecture  
interiors  
planning

MILLER

1177 Idaho Street, Suite 200  
Redlands, CA 92374  
Phone: 909-335-7400  
Fax: 909-335-7299  
info@miller-aip.com



#### owner approval

initials	date	phase

#### revisions/addenda

#	Date	Comment

SD HOMES VISTA BELLA ASSISTED LIVING

503 VISTA BELLA STREET  
OCEANSIDE, CA

VISTA BELLA INVESTMENTS GROUP LLC

2358 UNIVERSITY AVE. #33  
SAN DIEGO, CA 92103

#### project information

Project Number: 1900026.RA  
Drawn By: Author  
Checked By: GWM  
Issue Date: AUG. 26, 2019

#### sheet name

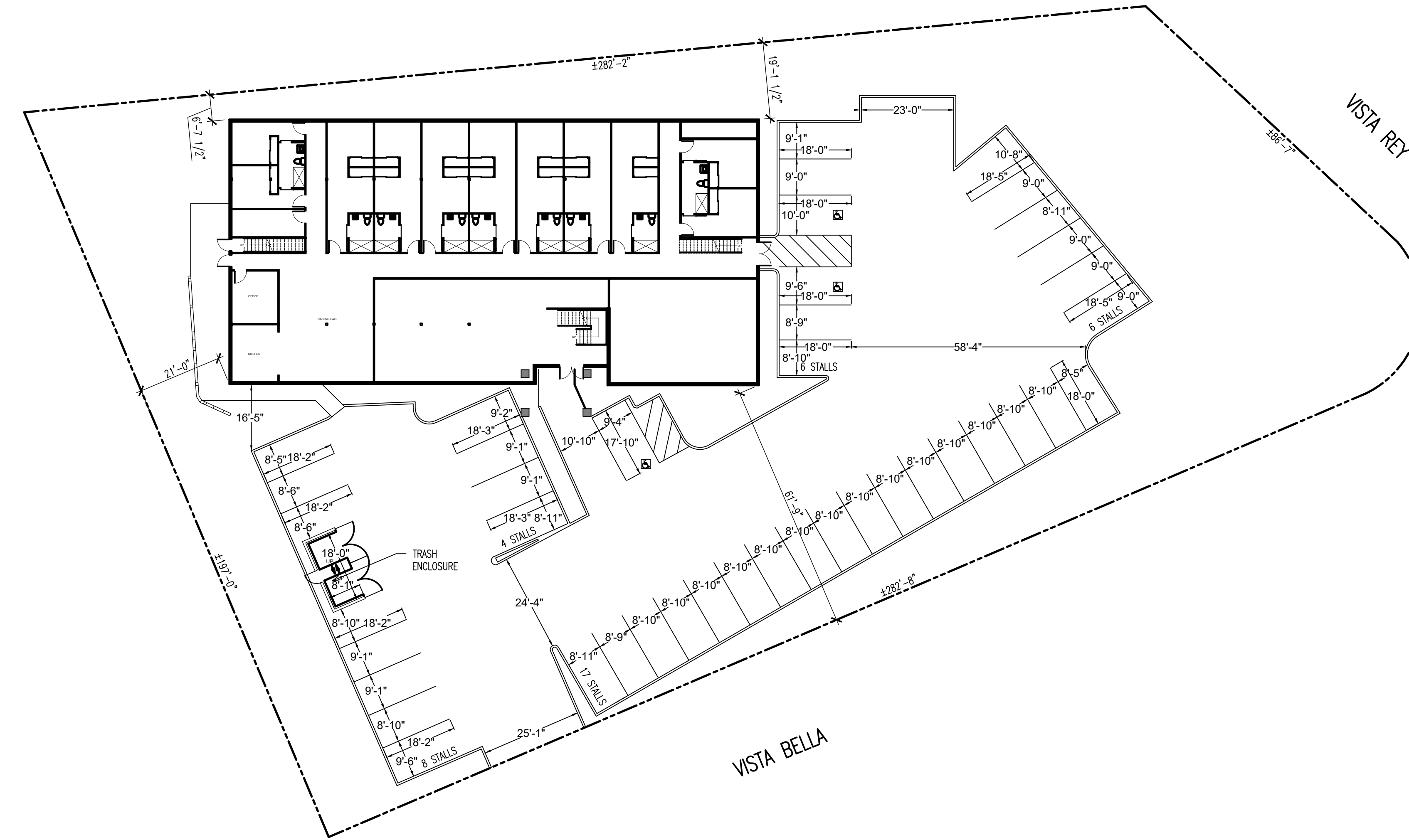
General Information

#### sheet number

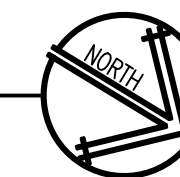
G-001\_D

Sheet Of Sheets

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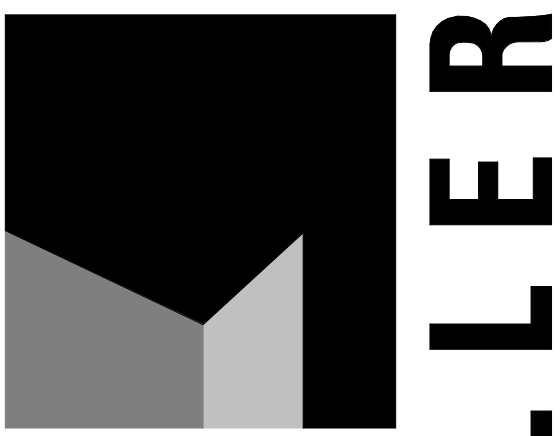
**SITE PLAN**  
SCALE: 1" = 20'-0"



0 10' 20' 40'  
SCALE: 1" = 20'-0"

**PARKING DATA:**

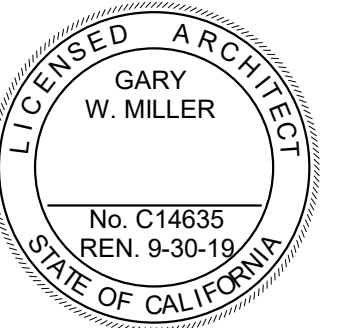
54 BEDS  
 PARKING REQUIRED - 54/3 = 18 SPACES  
 HANDICAP SPACES PER TABLE 11B-208.2 = 1 SPACES  
 PARKING PROVIDED -  
 42 SPACES  
 3 HANDICAP SPACES (INCLUDING 1 VAN ACCESSIBLE)



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interiors  
planning

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 info@miller-aip.com



**owner approval**

initials	date	phase

**revisions/addenda**

#	Date	Comment

**SD HOMES VISTA BELLA ASSISTED LIVING**

503 VISTA BELLA STREET  
OCEANSIDE, CA

**VISTA BELLA INVESTMENTS GROUP LLC**

2358 UNIVERSITY AVE. #63  
SAN DIEGO, CA 92103

**project information**

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 Drawn By: Author  
 Checked By: GWM  
 Issue Date: AUG. 26, 2019

**sheet name**

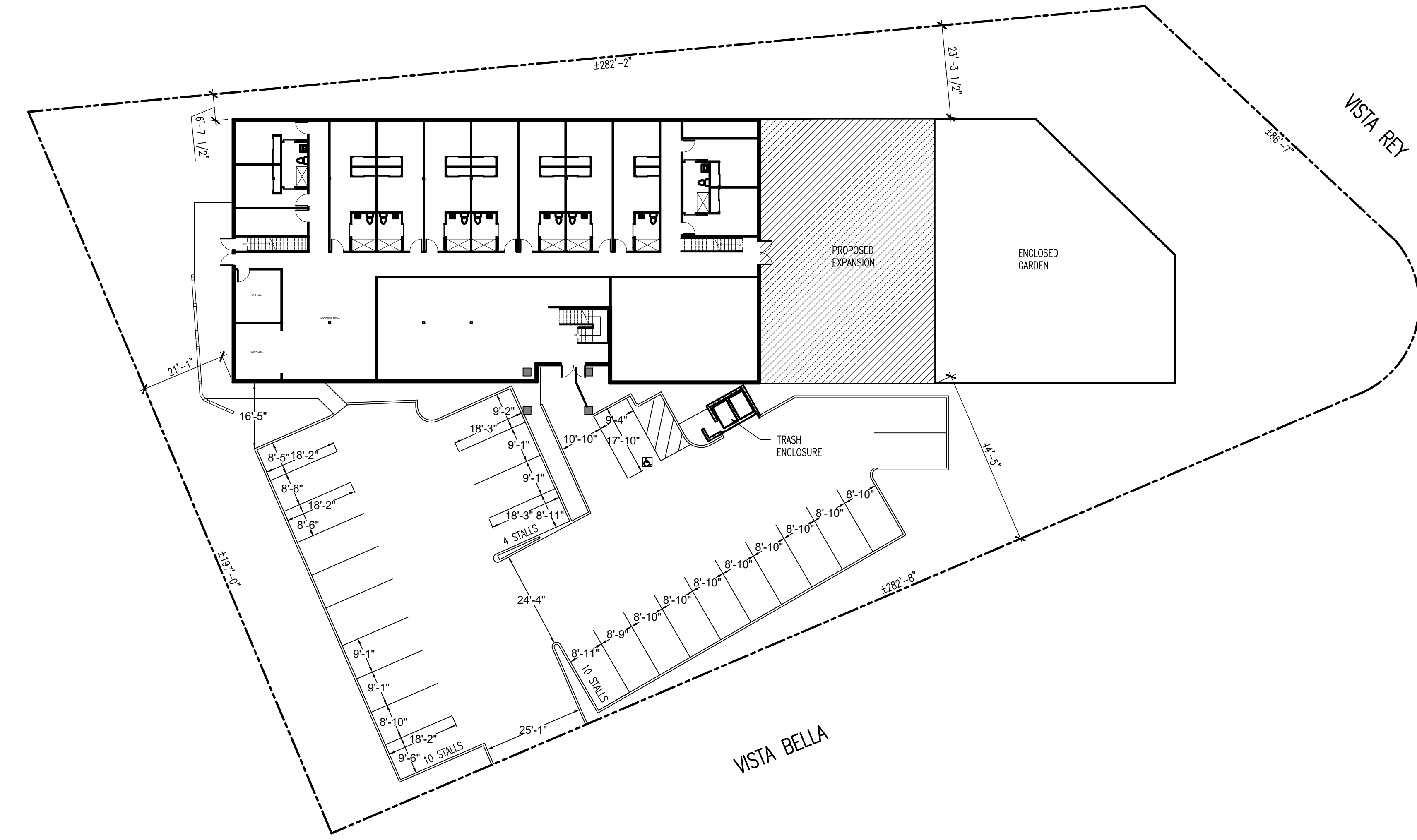
**SITE PLAN  
PHASE I**

**sheet number**

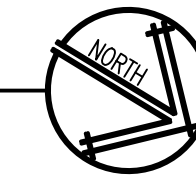
**AS-101**

SHEET #### OF XX SHEETS

DRAWING NAME: Z:\PROJECTS\2019 PROJECTS\SD HOMES OCEANSIDE ASSISTED LIVING 1900026.RA\DRAWINGS\SCHEMATIC DESIGN\AS-101.DWG | PLOT DATE: 8/26/2019 4:46 PM | PLOTTED BY: PAMEL KRYSZEWSKI | COPYRIGHT 2019 MILLER ARCHITECTURAL CORPORATION ALL RIGHTS RESERVED



**SITE PLAN**  
SCALE: 1" = 20'-0"



0 10' 20' 40'  
SCALE: 1" = 20'-0"

**PARKING DATA:**

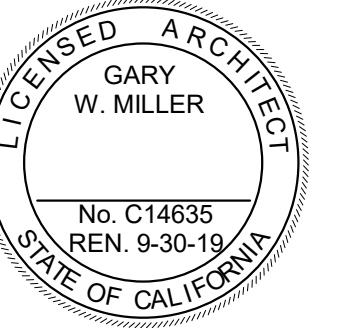
82 BEDS  
 PARKING REQUIRED - 82/3 = 27 SPACES  
 HANDICAP SPACES PER TABLE 11B-208.2 = 2 SPACES  
 PARKING PROVIDED -  
 27 SPACES  
 3 HANDICAP SPACES (INCLUDING 1 VAN ACCESSIBLE)



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**owner approval**

initials	date	phase

**revisions/addenda**

#	Date	Comment

**SD HOMES VISTA BELLA ASSISTED LIVING**  
 503 VISTA BELLA STREET  
 OCEANSIDE, CA

**VISTA BELLA INVESTMENTS GROUP LLC**  
 2358 UNIVERSITY AVE. #33  
 SAN DIEGO, CA 92103

**project information**

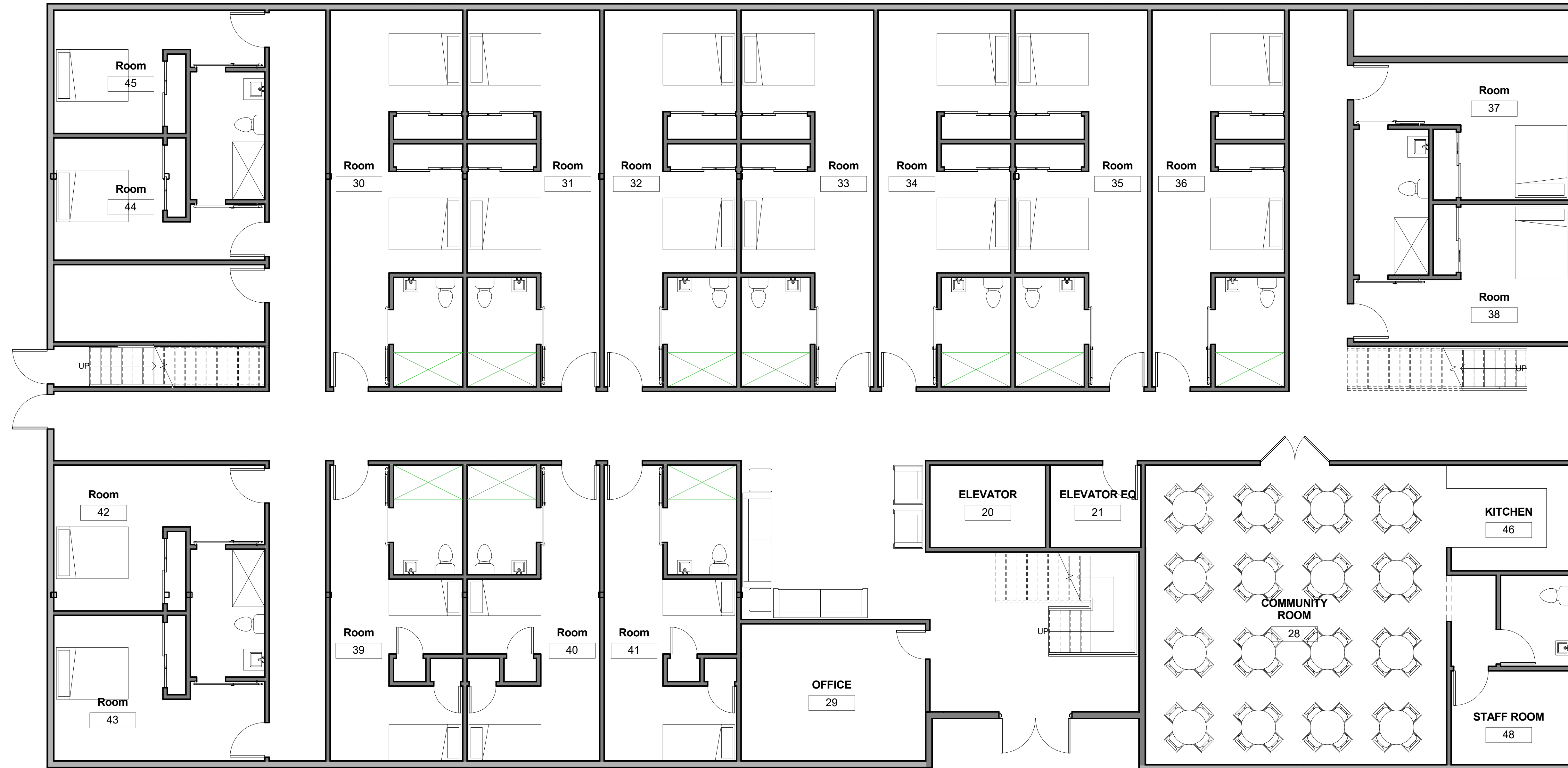
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 Drawn By: Author  
 Checked By: GWM  
 Issue Date: AUG. 26, 2019

**sheet name**

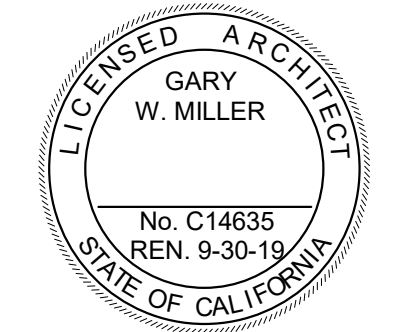
**SITE PLAN  
PHASE II**

**sheet number**

**AS-102**



1 FIRST FLOOR  
3/16" = 1'-0"



**owner approval**

initials date phase


**revisions/addenda**

# Date Comment


**SD HOMES VISTA BELLA ASSISTED LIVING**  
503 VISTA BELLA STREET  
OCEANSIDE, CA

**VISTA BELLA INVESTMENTS GROUP LLC**  
2358 UNIVERSITY AVE. #33  
SAN DIEGO, CA 92103

**project information**

Project Number: 1900026.RA  
Drawn By: Author  
Checked By: GWM  
Issue Date: AUG. 26, 2019

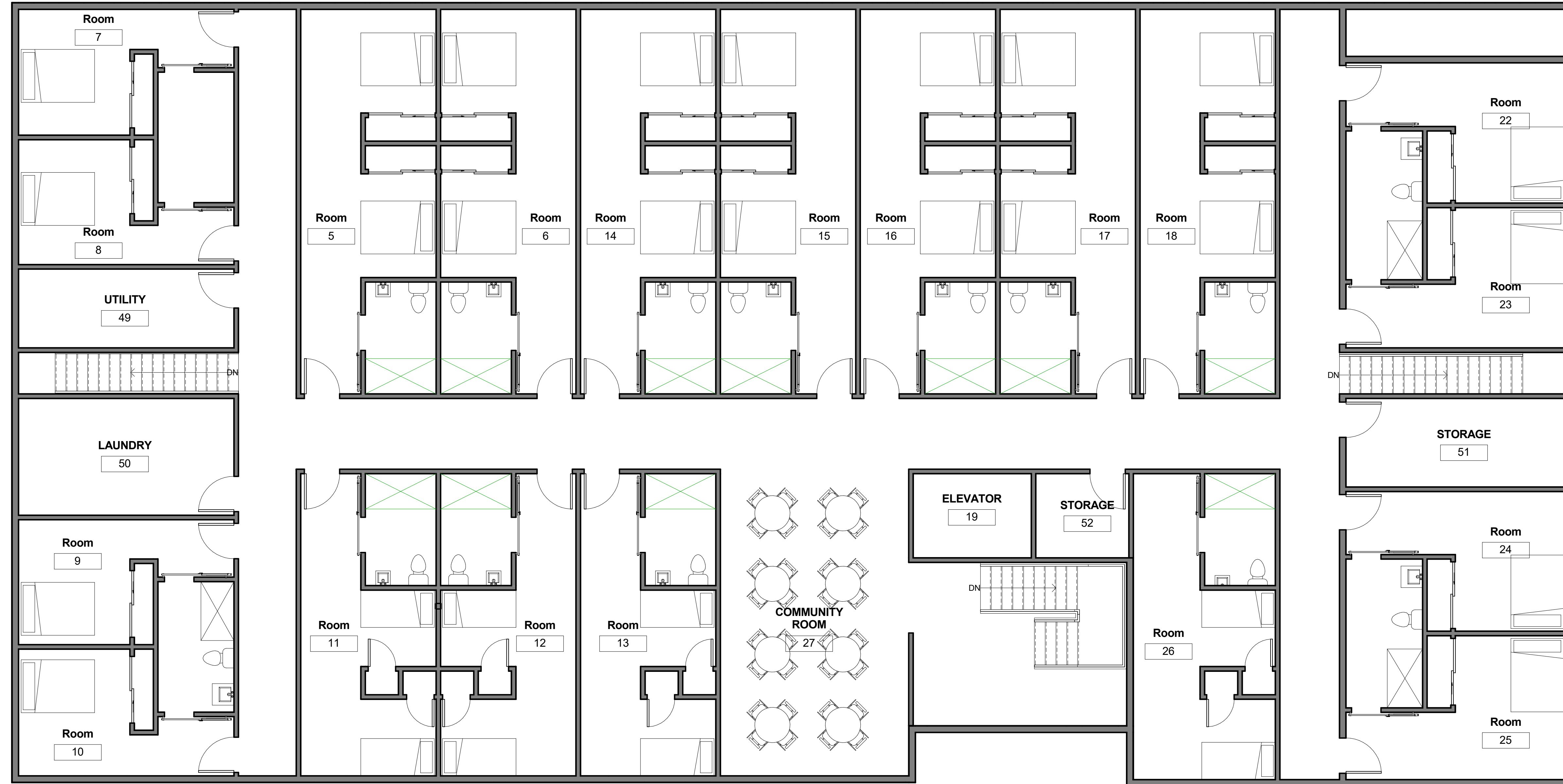
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First Floor

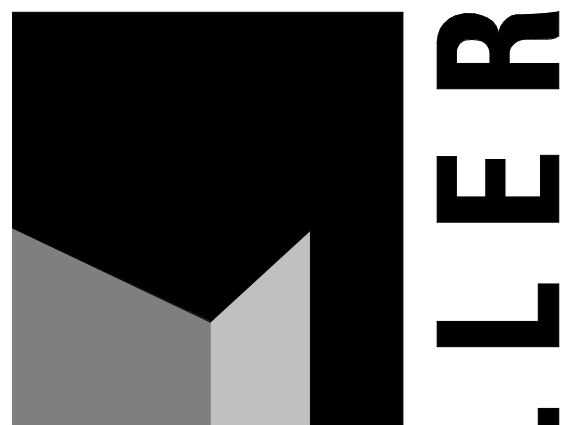
**sheet number**

A-101

Sheet Of Sheets



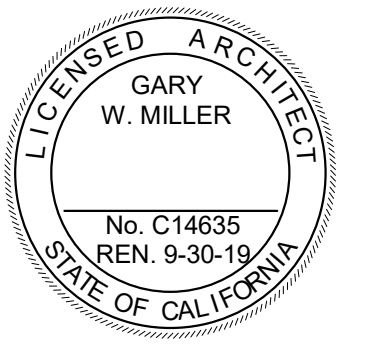
1 SECOND FLOOR  
3/16" = 1'-0"



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info@miller-aip.com



**owner approval**

initials	date	phase

**revisions/addenda**

#	Date	Comment

SD HOMES VISTA BELLA ASSISTED LIVING  
503 VISTA BELLA STREET  
OCEANSIDE, CA

VISTA BELLA INVESTMENTS GROUP  
LLC  
2358 UNIVERSITY AVE. #33  
SAN DIEGO, CA 92103

**project information**

Project Number:	1900026.RA
Drawn By:	Author
Checked By:	GWM
Issue Date:	AUG. 26, 2019

**sheet name**

Second Floor

**sheet number**

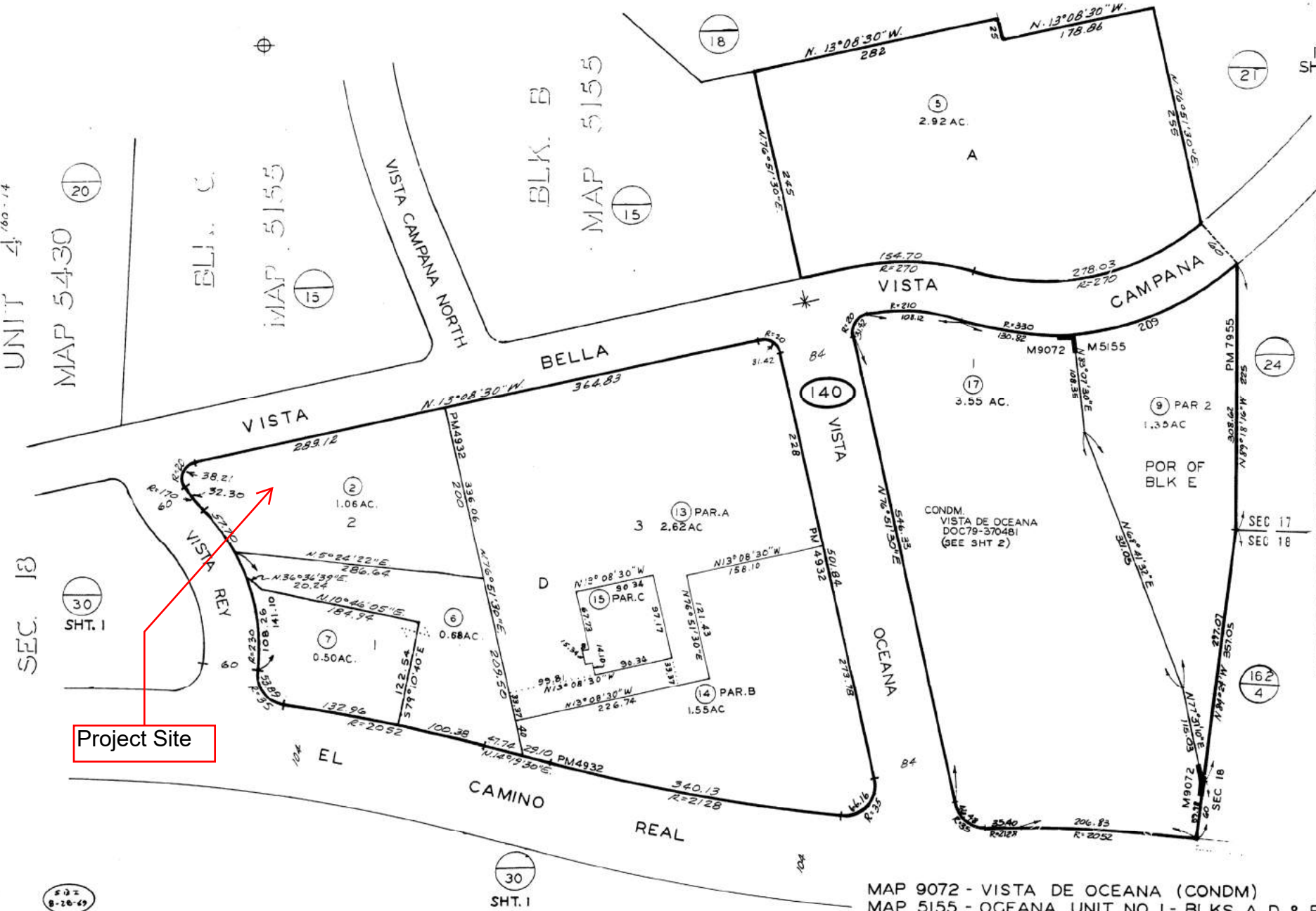
A-102

Sheet Of Sheets

160-14  
SHT 1 OF 2  
1" = 100'

**CHANGES**

BLK	OLD	NEW	YR	CUT
1	6 F7	68	4	630
4	8-9	71	7	232
3	10-12	73	2/11	
10-12	13-15	77	13/14	
10	76	77		
8,9	AC-100	79	5/75	
8	17	79	259	
140	17	CONNA	80	519



MAP 9072 - VISTA DE OCEANA (CONDM)  
MAP 5155 - OCEANA UNIT NO. 1 - BLKS A, D, & E

Project Site

UNIT 4  
MAP 5430

SEC. 13  
SHT. 1

BLK. C  
MAP 5155

BLK. B  
MAP 5155

SEC 17  
SEC 18

5-12  
8-28-69

SHT. 1



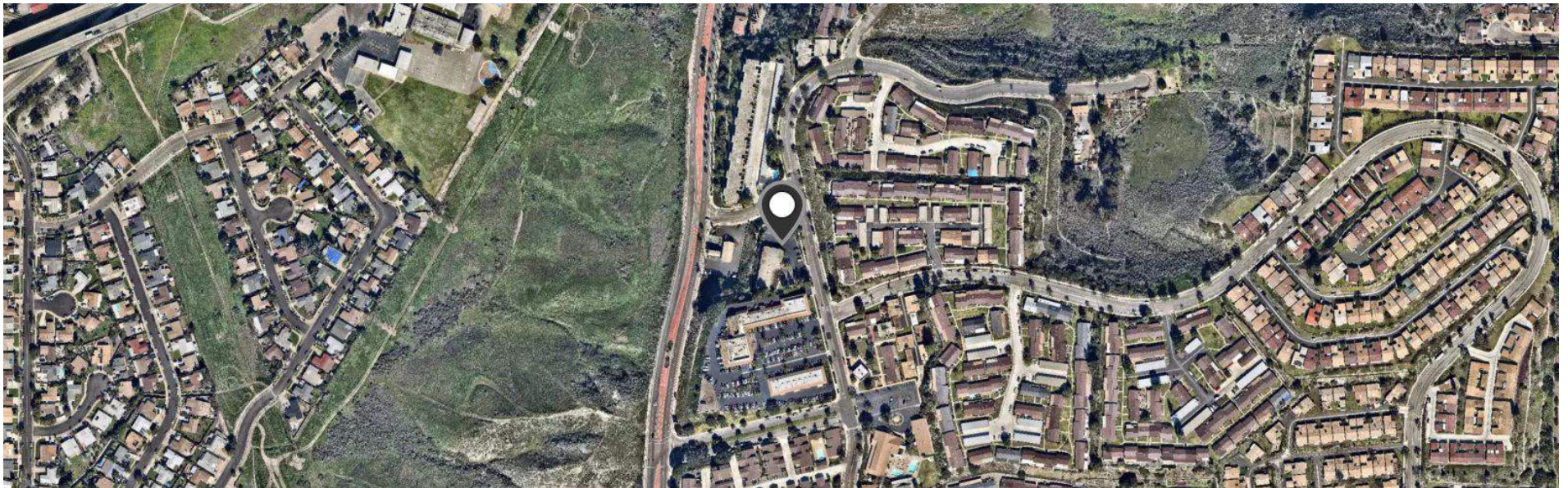
## Zoning Portal

Generated August 26, 2019

Project# 215279



**Your project requires an administrative conditional use permit at this location.**



### ZONING DETAILS

## Zoning Clearance

### Administrative Conditional Use Permit

A Conditional Use Permit (CUP) is a discretionary permit that may be granted by the City Planner, Planning Commission or City Council to allow certain use classification(s) to operate on a particular property. Use classifications subject to CUPs typically possess unusual site development features or operating characteristics requiring consideration by one of the aforementioned decision making bodies to ensure that they will be designed, located and operated compatibly with uses on adjoining properties and in the surrounding area.

## Zoning District

### Limited Commercial (CL)

To provide opportunities for a limited range of retail and service businesses that do not generate significant amounts of traffic, nor have high public service demands. Automobile-oriented uses, such as service stations and drive-up restaurants, are not permitted or are limited.

## Land Use Code

### Residential Care, General

Twenty-four hour non-medical care for seven or more persons, including wards of the juvenile court, in need of personal services, supervision, protection, or assistance essential for sustaining the activities of daily living.

## PARCEL DETAILS

The parcel ID is the City's classification system for divisions of buildable land. Parcels are more flexible for permitting processes than street addresses and also used to track assessed value for property taxes and title processes.



**Parcel ID: 1601400200**

## PROJECT DETAILS

### Type of business you would like to open \*

"care facility"

Residential > Care > Residential Care, General

### Is your facility age-restricted, only for persons age 55 and older?

Yes

### Address \*

📍 503 Vista Bella, Oceanside, California 92057

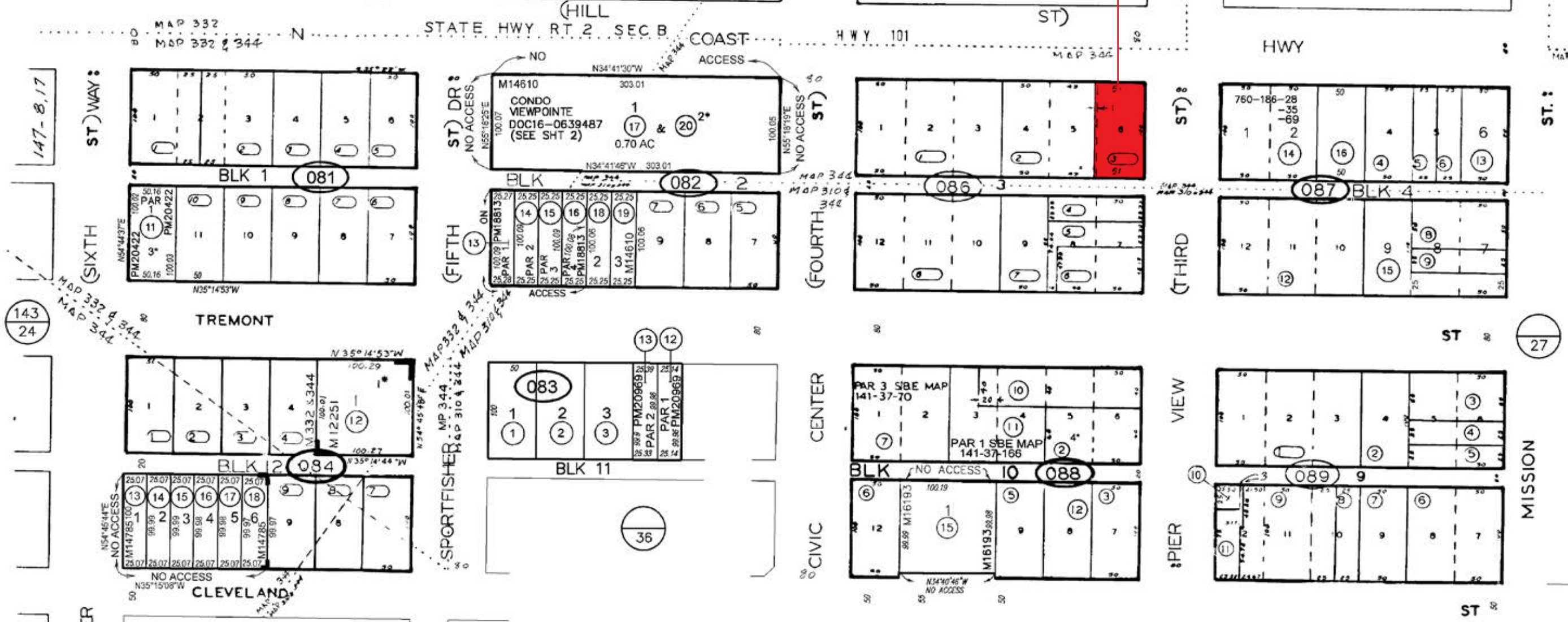
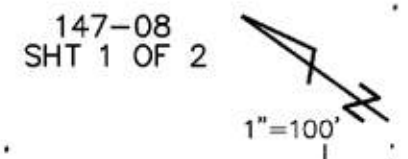
The information provided on the program is available to the public for reference purposes only. For more definitive information, please refer to the zoning standards applicable to the property in question. Zoning standards can be accessed at the Codes/Regulations/Maps web page at <https://www.ci.oceanside.ca.us/gov/dev/planning/codes.asp>. Should you have specific questions regarding any of the information presented in the Map Viewer, please contact the Planning Division at (760) 435-4373 or send an email inquiry to [planningstaff@ci.oceanside.ca.us](mailto:planningstaff@ci.oceanside.ca.us).

07

Provided by

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

PARCELOQUEST



project site

10/02/2017 DJS

CHANGES	BLK	OLD	NEW	YR	CUT	CC		CANC		VOID
	088	8	10, 11	72	7457					
	088	4	12	73	6238					
	088	9	13/14	79	2487					
	087	7	13	79	4652					
	084	12	18	89	224					
	082	1-4	11, 12	92	1524					
	087	1	13	93	2108					
	087	15	14	95	1270					
	083	5	11	99	3899					
	085	1								
	082	9&10	13-16	02	1789					
	087	10 & 11	15	03	1200					
	087	2&3	16	03	1399					
	082	8, 11&12	17-19	04	72					
	084	10&11	13-18	05	55					
	081	11	CONDO	09	574					
	083	4	12&13	13	1425					
	082	17	CONDO	17	514					
	088	13&14	15	18	1211					

1 CONDM SILVER SURF GARDEN DOC 89-448028 (SEE SHT 2)

2 COMMON AREA

3 CONDO TREMONT STREET DUPLEX DOCS 08-008725 & -082971 (SEE SHT 2)

- MAP 16193 - CLEVELAND BEACH LOFTS
- MAP 14785 - SEASIDE PROPERTIES
- MAP 14610 - OCEAN VILLAGE COMPLEX
- MAP 12251 - SILVER SURF GARDENS (CONDO)
- MAP 344 - A J MYERS ADD
- MAP 332 - MYERS & MC COMBERS ADD
- MAP 310 - OCEANSIDE LOCKLING REFILED
- ROS 12553



August 26, 2019

City of Oceanside  
Planning Division  
300 North Coast Highway  
Oceanside, CA 92054  
760 435 3562

Attn: Tiffany Chen, Planner II

[tchen@oceansideca.org](mailto:tchen@oceansideca.org)

Re: 503 Vista Bella, Oceanside, California 92057 Project Description  
APN NOS : 160-140-03 and 160-140-06

Dear Ms. Chen:

We are pleased to submit the following project description:

The project intends to convert an existing 18,000 SF (approximately) two story office building to an assisted living/memory care facility. The facility will house up to 54 residents with both one and two bed, room types. Phase II will add a 44 foot wide addition to the north side of the existing building. Within that 44 feet will add an additional 28 beds for a total of 82 beds.

City parking ordinance for assisted living requires 1 stall for every 3 beds. With a total of 54 beds phase 1 requires 18 stalls. Presently the site has 27 stalls. With 82 beds phase II will require 27.3 parking stalls and 27 are provided.

Support facilities will include:

- Lobby/visiting area
- Community space for social and health activities
- Dining room
- Kitchen
- Manager's office
- Staff lounge
- Laundry facilities
- Outdoor garden area
- Parking for staff and guests

We consider the site to be ideal for this use. Current zoning allows for this use. There is more than adequate Parking for phase I and adequate parking for Phase II. The site offers a partial ocean view for the residences, adequate site space for outdoor lounging and adjacent compatible uses.

Utah  
Nevada  
California

1177 Idaho Street  
Suite 200  
Redlands, California 92374  
P 909.335.7400  
F 909.335.7299  
An Architectural Corporation

MILLER architectural corporation

*Gary Miller*

Gary Miller, AIA President



Prepared for:

## 301 North Coast Highway Renovation

301 North Coast Highway, Oceanside, CA 92054

APN: 147-086-03-00

# Developer's Conference Review

September 4, 2019

Attachments:

- Project Description Letter
- Project Information
- Assessor's Parcel Map
- Regional Map and Vicinity Map
- Proposed Site Plan
- Proposed Floor Plan Level 1
- Proposed Floor Plan Level 2
- Proposed Roof Plan
- Proposed Elevations
- Proposed 3D Views

Prepared by:

## T7 Architecture, Inc.

Andrew Crocker, AIA

646 Valley Avenue, Suite A, Solana Beach, CA 92075

office 858-345-1295 | [andy@t7architecture.com](mailto:andy@t7architecture.com)

# Project Description Letter

September 4, 2019

Tiffany Chen  
Planning Division  
City of Oceanside

RE: Developers Conference, 301 North Coast Highway, Oceanside, CA 92054  
APN: 147-086-03-00

Dear Ms. Chen,

The existing building located at 301 North Coast Highway in Oceanside, CA is approximately 8,068 SF. It's two-story structure with ground floor retail space fronting North Coast Highway 101 and Pier View Way. The second floor is office space accessed from a door and stairway located off Pier View Way. The project proposes a second-floor addition of 3,681 SF of floor area as well as a new partially covered deck of 1,141 SF.

The Proposed Project consists of work to upgrade the building and prepare the shell for future first floor retail tenants and a second-floor restaurant tenant with a new elevator, stairways, seismic upgrades and other building system upgrades. Please note that the plans are subject to change upon the final lease agreement and tenant mix. The project includes the remodel of the suites 410 and 412 located off Pier View Way.

Project design goals include:

1. Removing the metal screen covering the façade and bringing back some of the historical character of the original structure where feasible.
2. Renovating the existing first-floor corner suite for a future tenant.
3. Remodeling and adding on to the second floor to create a new restaurant space with a deck on the west side of the property.
4. Upgrading the building accessibility by adding an elevator to the second-floor restaurant and adding code compliant stairwells.
5. Seismic and structural upgrades of the building to accommodate current building codes and proposed uses.
6. Mechanical, electrical, plumbing infrastructure upgrades to prep for future tenant needs.

Please let me know if you have any questions or comments

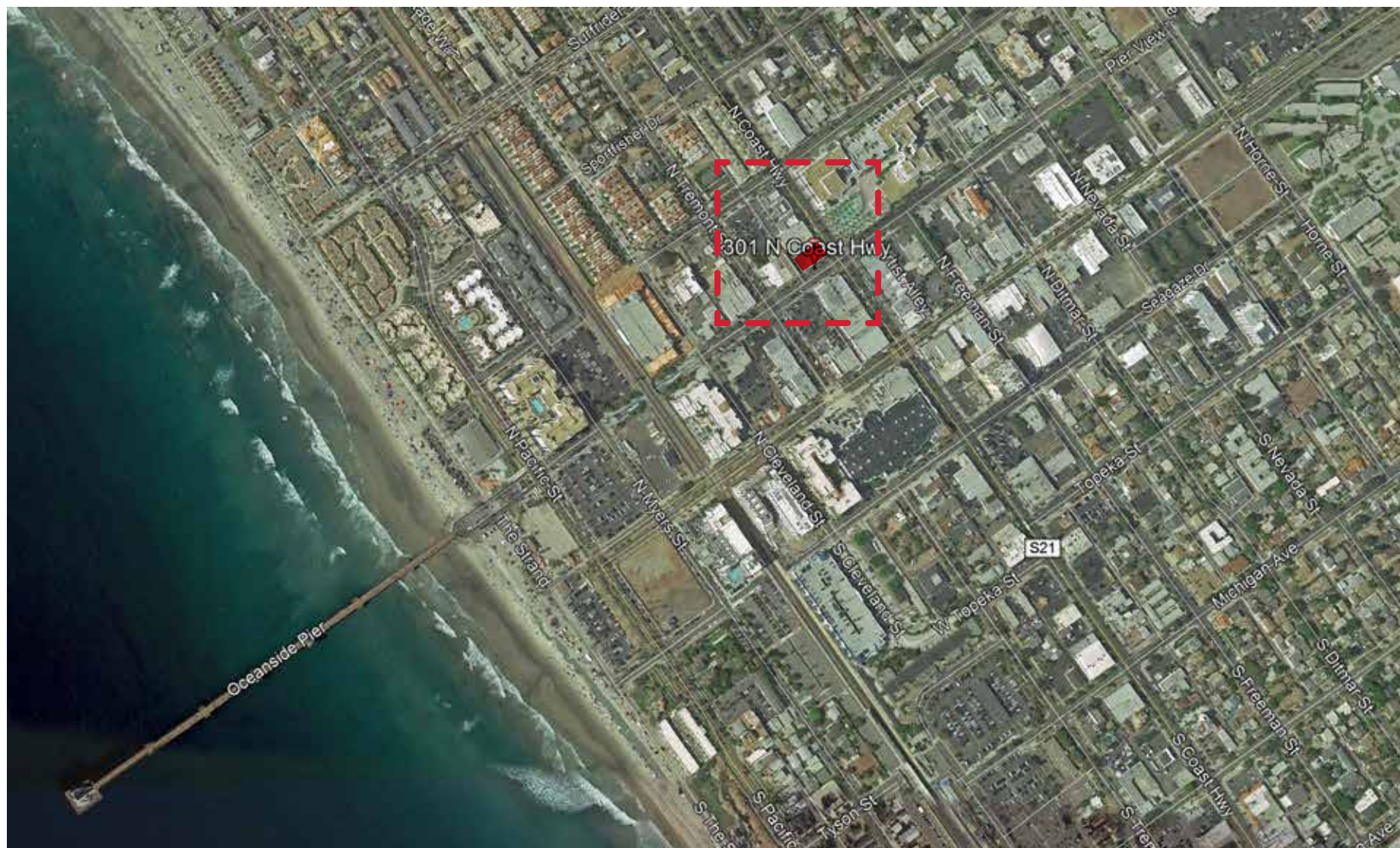
Sincerely,

Andrew Crocker, AIA  
T7 Architecture, Inc.

# Project Information

<b>Site Address:</b>	301 North Coast Hwy Oceanside, CA 92054
<b>APN:</b>	147-086-03-00
<b>Legal Description:</b>	BLK 3*LOT 6 SELY 1 FT LOT 5 & ALL*
<b>Zoning Designation:</b>	D-1 – Commercial Retail and Office / Residential possible (Redevelopment)
<b>Category:</b>	Mixed Use – Commercial/Residential/Professional
<b>Year Built:</b>	1929: Suites 410 & 412 / 1931: Suite 301
<b>Lot Size:</b>	5,100 SF   0.117 Acre
<b>Existing Building Area:</b>	5,081 SF First Floor 2,394 SF Second Floor 7,475 SF Total 593 SF Basement
<b>Gross Floor Area:</b>	8,068 SF TOTAL
<b>Proposed Building Area:</b>	5,081 SF First Floor 3,681 SF Second Floor 8,762 SF Total 593 SF Basement
<b>Gross Floor Area:</b>	9,355 SF TOTAL (+ 1,287 SF)
<b>Floor Area Ratio (FAR):</b>	2.0
<b>Floor Area Ratio (FAR) Proposed:</b>	1.8
<b>Floor Area Allowable:</b>	2 x 5,100 SF = 10,200 SF Maximum 10,200 SF Max – 8,068 SF Existing = 2,132 SF available for addition
<b>Floor Area Proposed:</b>	10,200 SF Max – 9,355 SF Proposed = 845 SF available for addition
<b>Lot Coverage Ratio:</b>	.60
<b>Lot Coverage Allowable:</b>	.60 x 5,100 SF = 3,060 SF Maximum
<b>Required Setbacks:</b>	Front Yard: 10'-0"/45'-0" – Existing non-conforming Side Yard: 0'-0" – Existing non-conforming Corner Yard: 10'-0" – Existing non-conforming Rear Yard: 5'-0" – Existing non-conforming
<b>Height Existing:</b>	No Change
<b>Height Allowable:</b>	45'-0" Maximum / 140'-0" Per Specific Uses and CUP

<b>Parking Existing:</b>	0 Off-Street
<b>Loading Spaces Existing:</b>	1 Off-Street
<b>Overlay Zones:</b>	Coastal
<b>Minimum Site Landscape:</b>	15% – Existing non-conforming
<b>Solid Waste/Recyclable Material Storage Areas</b>	Design parameters of solid waste/recyclable material storage areas shall be as prescribed by the City Planner and City Engineer, per Article 30 section 22



REGIONAL MAP



VICINITY MAP

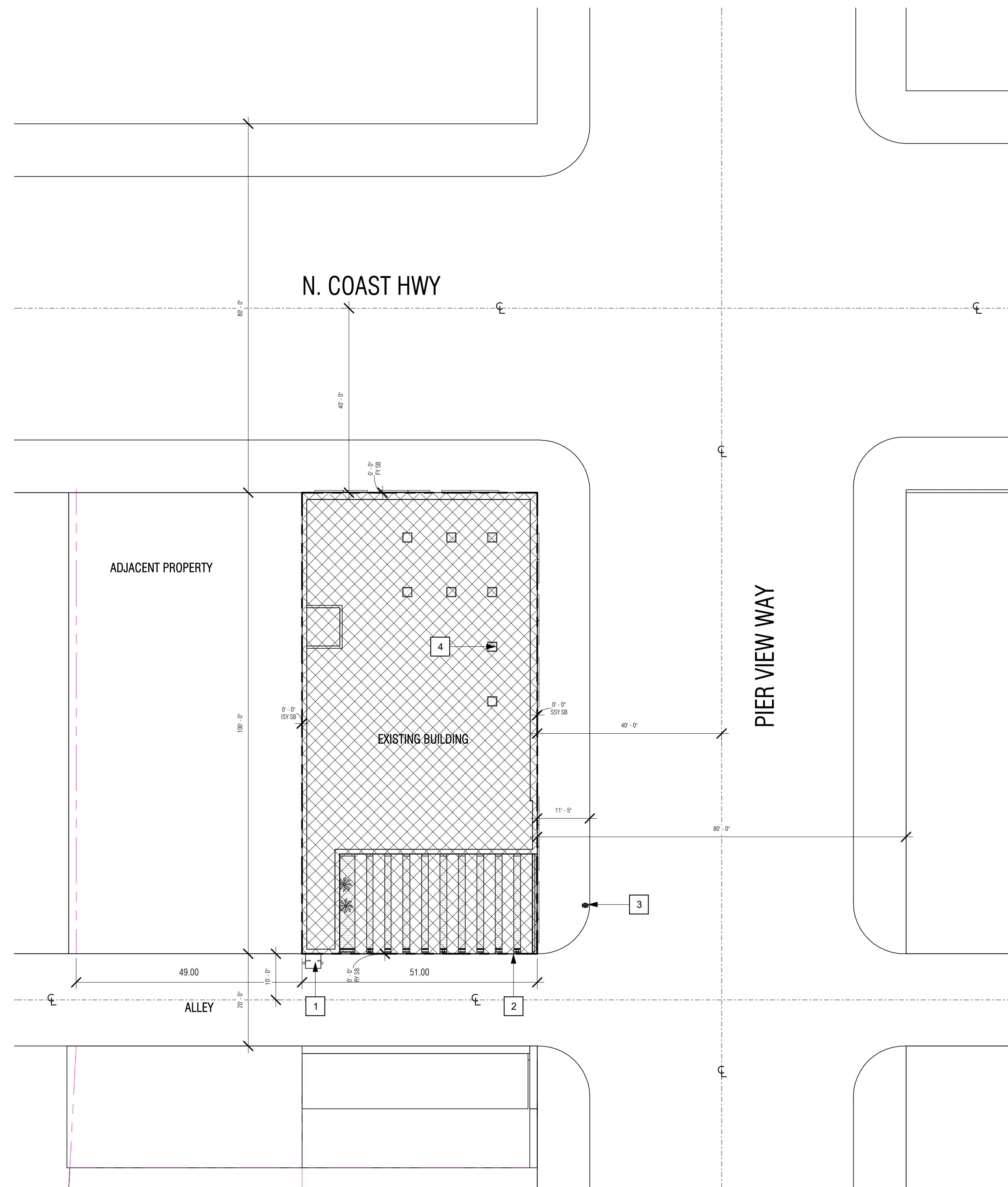


**SITE PLAN GENERAL NOTES**

1. THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR THE COMPLETE SCOPE OF WORK.
2. BEFORE COMMENCING ANY SITE FOUNDATION EXCAVATION THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE DIMENSIONS AND CONDITIONS. THESE INCLUDE BUT ARE NOT LIMITED TO: PROPERTY LINES, SETBACK LOCATIONS TO ALL NEW OR EXISTING WALLS, EASEMENTS (IF ANY), EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES AND ANY OTHER NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT IN ANY WAY THE CONSTRUCTION OF BUILDING. FLAG OR OTHERWISE MARK ALL LOCATIONS OF SITE PROPERTY LINES, EASEMENTS (IF ANY), UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.
3. PROTECT EXISTING VEGETATION AND MARK PERIMETER OF CONSTRUCTION ZONE. REMOVE ALL TREES AND VEGETATION WITHIN 5'-0" OF PROPOSED NEW STRUCTURES, UNLESS OTHERWISE SHOWN.
4. GRADE SITE TO DIRECT GROUND WATER AWAY FROM BUILDING AND NEW ADDITIONS. DRAINAGE SWALES ARE TO BE DIRECTED AS SHOWN, PROVIDE 2% SLOPE.
5. LOCATE REFUSE BIN AT APPROVED NUMBERS, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY.
6. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY.
7. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR ANY OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

**SITE PLAN KEYNOTES** XX

- 1 EXISTING GAS METER TO BE RELOCATED
- 2 EXISTING WATER METER TO BE RELOCATED
- 3 FIRE HYDRANT TO REMAIN
- 4 NEW SKYLIGHT



**1 PROPOSED SITE PLAN** X  
1/16" = 1'-0"

PROJECT:

101 & PIER WAY REMODEL

301 N. COAST HWY,  
OCEANSIDE, CA 92054

ARCHITECT:



T7 ARCHITECTURE, INC. - ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE A  
SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:

NO: REVISION: DATE:

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

PROJECT NAME: 101 & PIER WAY  
JOB NO: 1914  
DRAWN BY: FR/NR  
CHECKED BY: AC  
ISSUE DATE: 08/12/2019  
DRAWING FILE: 06/21/2019  
PHASE:

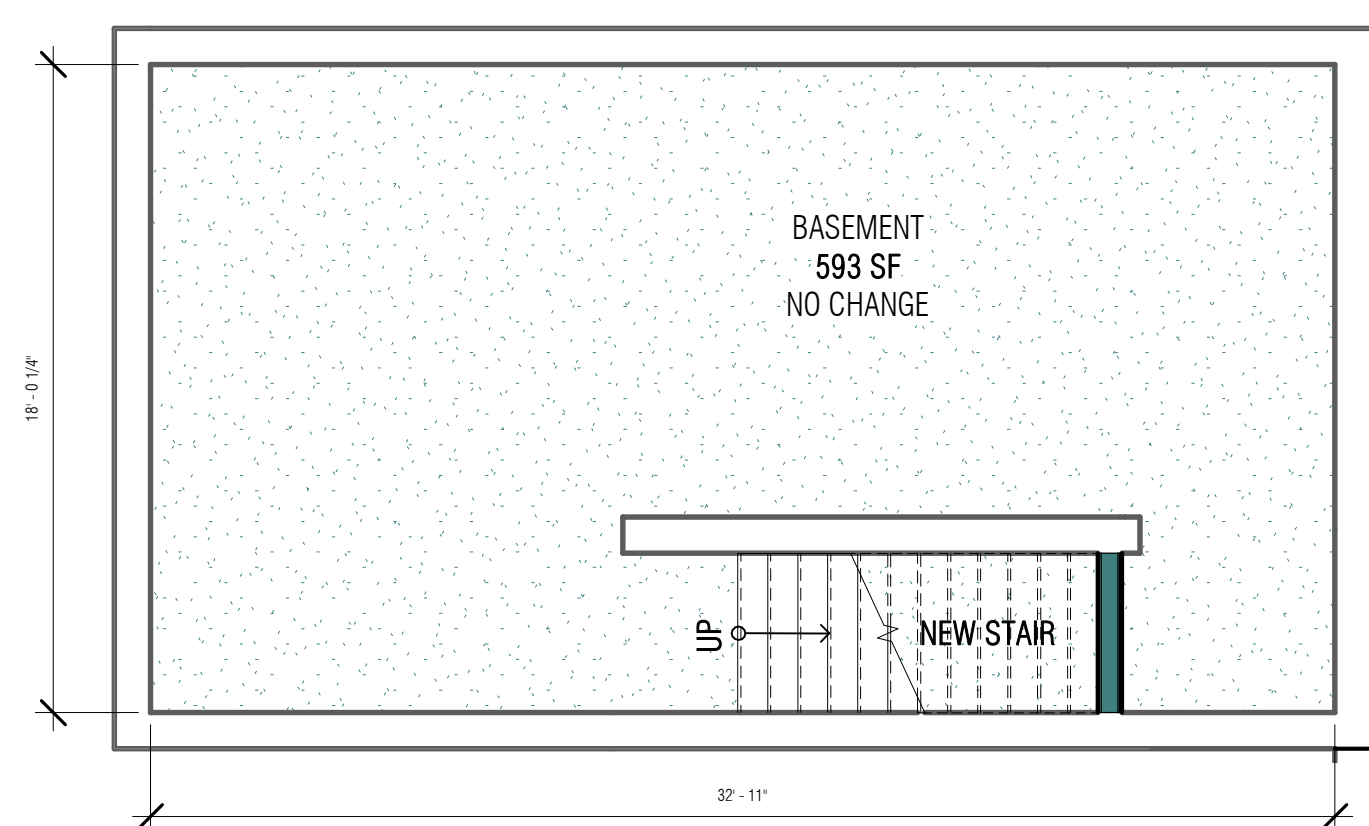
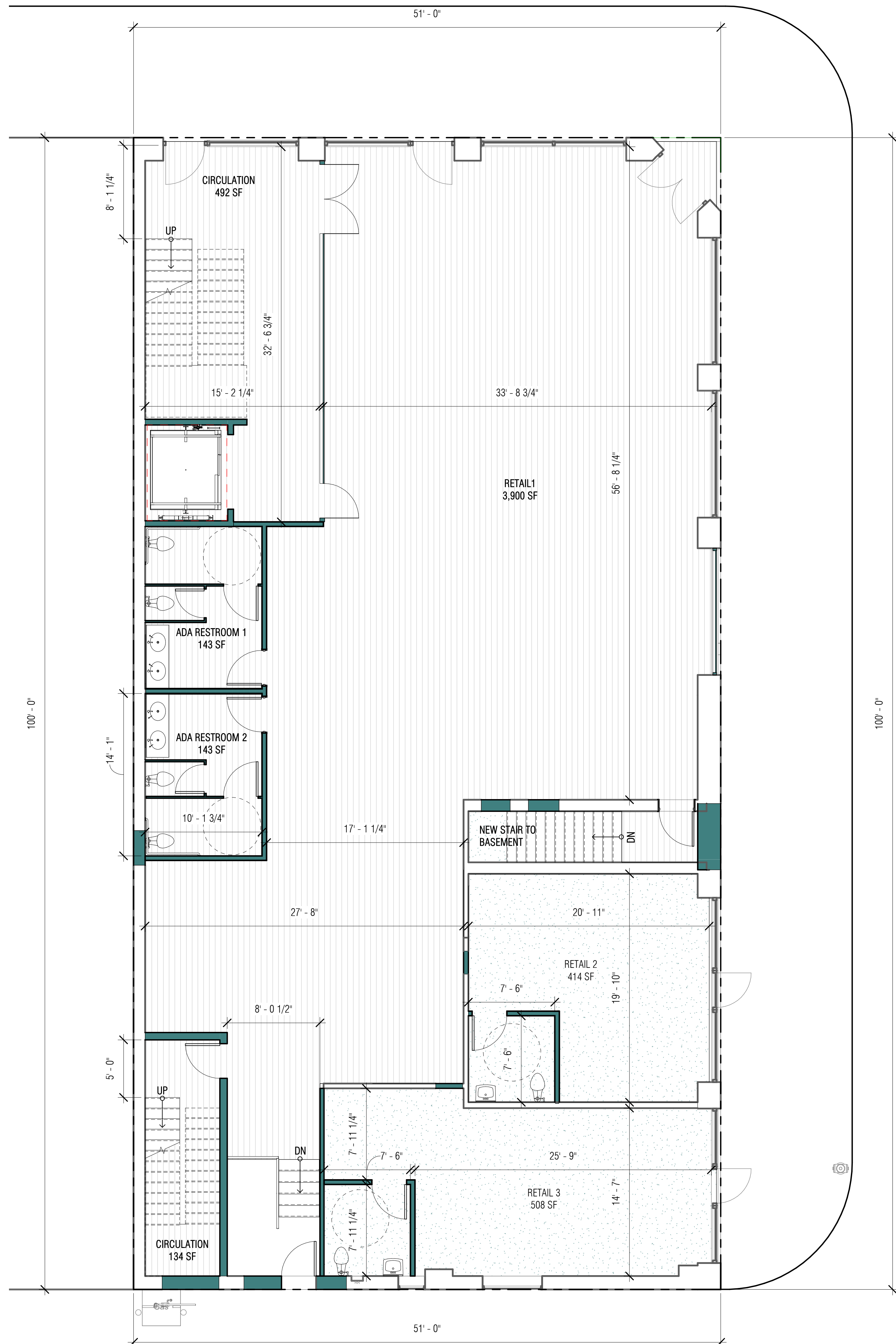
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SHEET TITLE:

PROPOSED SITE PLAN

SHEET NO:

A100.1



**WALL LEGEND**

- NEW WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED

PROJECT:

101 & PIER WAY REMODEL

301 N. COAST HWY,  
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DRAWING FILE: 06/21/2019

PHASE:

SCHEMATIC DESIGN

SHEET TITLE:

PROPOSED FLOOR PLAN LEVEL 1

SHEET NO:

A104





**EXTERIOR ELEVATIONS GENERAL NOTES**

- 1. NOTE: SEE PROJECT SPECIFICATIONS FOR COMPLETE INFORMATION
- 2. SIGNAGE UNDER SEPARATE PERMIT

PROJECT:

101 & PIER WAY REMODEL

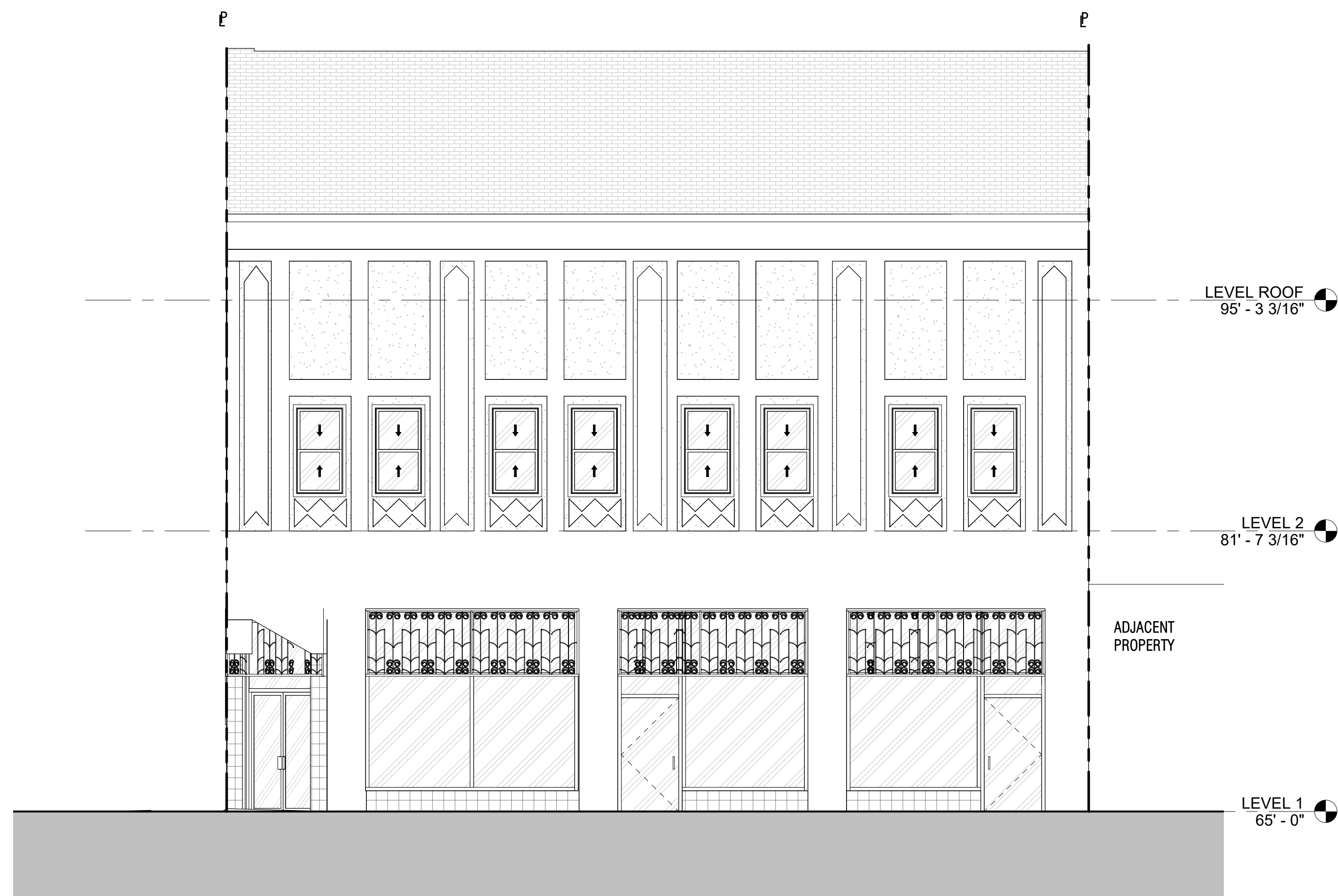
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ARCHITECT:



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T: 858.345.1295

CONSULTANT:



**1 PROPOSED ELEVATION NORTH**

3/16" = 1'-0"



**2 PROPOSED ELEVATION EAST**

3/16" = 1'-0"

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PROJECT NAME: 101 & PIER WAY

JOB NO: 1914

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ISSUE DATE: 08/12/2019

DRAWING FILE: 06/21/2019

PHASE:

SCHEMATIC DESIGN

SHEET TITLE: PROPOSED ELEVATIONS

SHEET NO: A302

**EXTERIOR ELEVATIONS GENERAL NOTES**

- 1. NOTE: SEE PROJECT SPECIFICATIONS FOR COMPLETE INFORMATION
- 2. SIGNAGE UNDER SEPARATE PERMIT

PROJECT:

101 & PIER WAY REMODEL

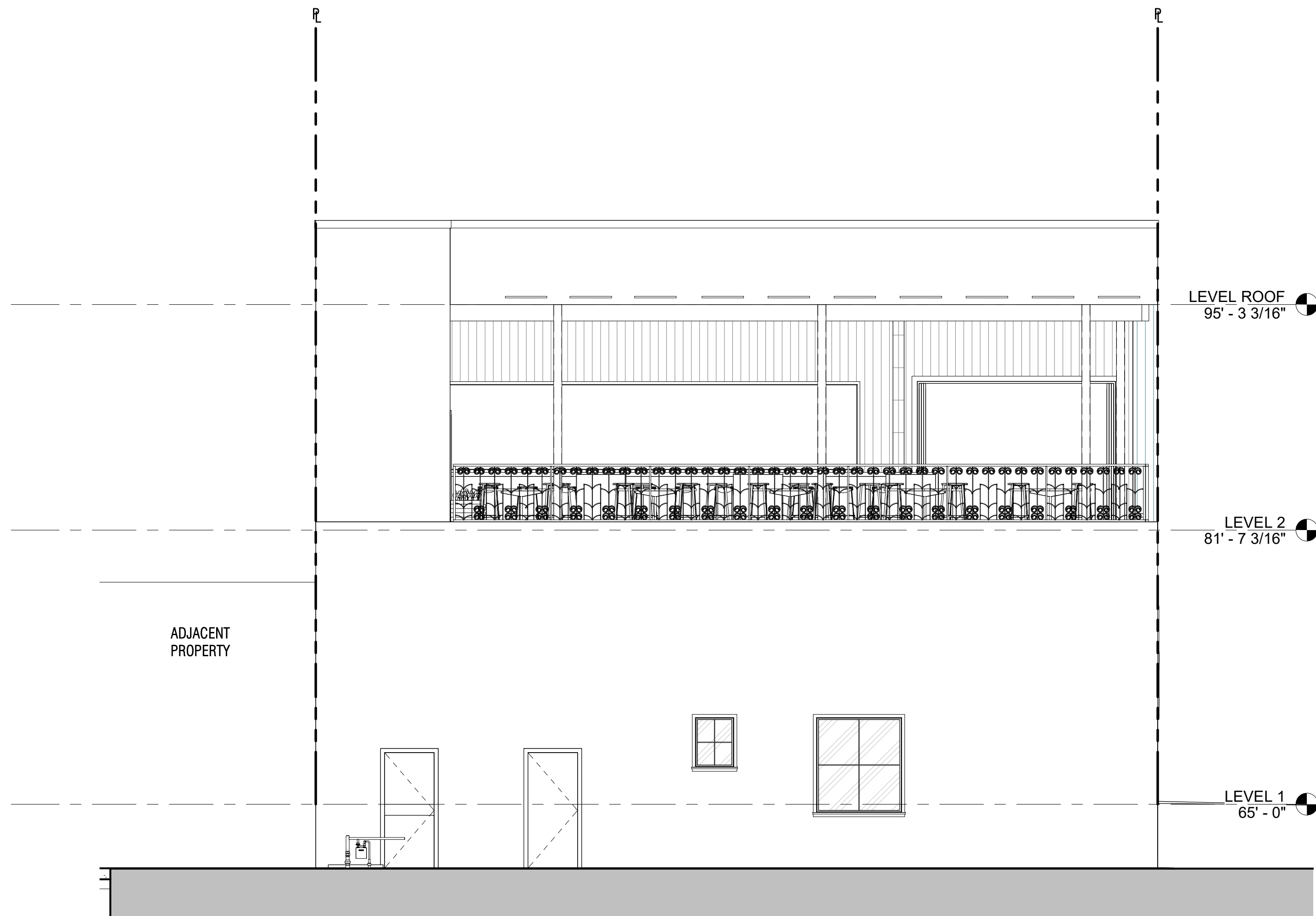
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OCEANSIDE, CA 92054

ARCHITECT:



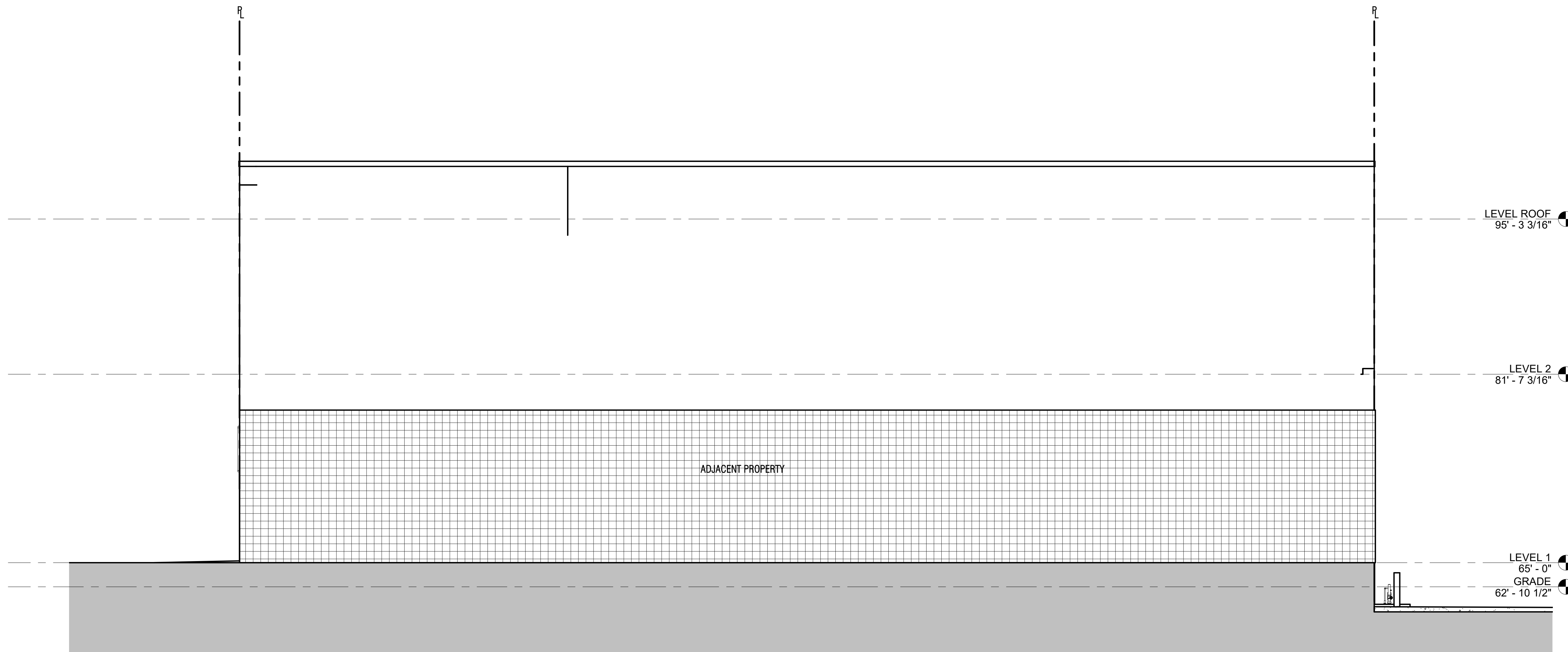
T7 ARCHITECTURE, INC. - ANDREW E. CROCKER, AIA  
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SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:



**1 PROPOSED ELEVATION SOUTH**

3/16" = 1'-0"



**2 PROPOSAL ELEVATION WEST**

3/16" = 1'-0"

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PHASE:

SCHEMATIC DESIGN

SHEET TITLE: PROPOSED ELEVATIONS

SHEET NO: A303



PROJECT:

101 & PIER WAY REMODEL

301 N. COAST HWY,  
OCEANSIDE, CA 92054

ARCHITECT:



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PHASE:

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SHEET TITLE:

3D VIEWS

SHEET NO:

A900

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