

**¹AGENDA
OCEANSIDE DEVELOPER'S CONFERENCE***

Wednesday, July 15, 2020

***Please note that an in-person Developer's Conference meeting will not be held due to COVID-19. Written comments will be provided to the applicant through email. Reviewers- please still use the Developer's Conference comment sheet template attached to the TRAKiT record and upload by noon on 7/15/20. Thank you!**

1. Proposed 4-lot subdivision of a 7.22-acre vacant parcel (previously owned by Caltrans), at the western terminus of Jeffries Ranch Road and parallel to SR-76. The proposed purchase of a parcel owned by the City of Oceanside (APN: 157-340-01) is also included as part of proposed access from Jeffries Ranch Road. [ADM20-00036]

Zoning: RE-B-EQ (Residential Estate B with Equestrian Overlay)
Land Use: EB-R (Estate B Residential)
Neighborhood Area: Guajome
Assessor Parcel Number(s): 157-340-31 & -32, 157-340-01
Contact Person: Rod Bradley
Email: rbradley@bhaincsd.com

2. Proposed demolition of an existing garage to be replaced with two new attached ground level garages with detached laundry room and storage and two new apartment units above the proposed garages, for a total of 4 units (2 units existing) at 1913-1915 S. Tremont Street. [ADM20-00037]

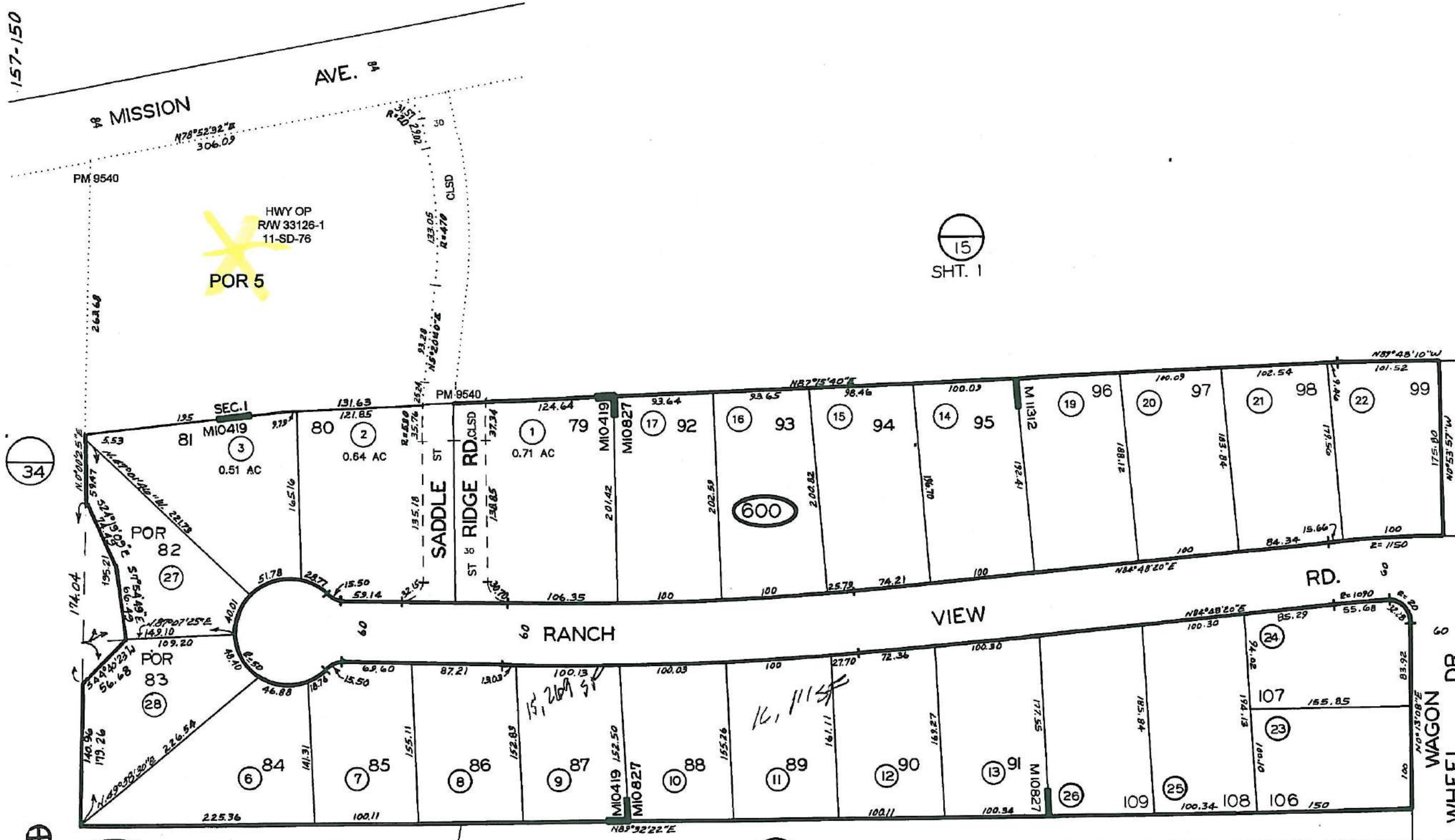
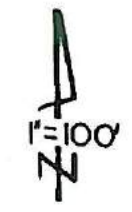
Zoning: R-3 (Coastal Medium-Density Residential)
Land Use: C-RH (Coastal Residential High Density)
Neighborhood Area: South Oceanside
Assessor Parcel Number(s): 153-264-24
Contact Person: Shackelton Design Group/Architects
Email: ryan@shacarchitecture.com

Attachments:

1. Parcel Map
2. Project Description Letter
3. Conceptual Site Plans
4. Vicinity/Regional

¹ *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.



8/2/2010 AJR

CHANGES			
BLK	OLD	NEW	CUT
600		1-9 83	64
	150-53-POR	10-17 84	220
	150-53	18 84	10083
	150-54	17-26 86	143
	44 5	27-29 92	1783
	29	FOR 340-33	92 1982
	23424	SAME B/LCHG	94 5036
	ST CLSD & 11&28&18	SAME	02 5536
600	18	KILL	11 1261

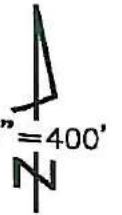
15
SHT. 1

59

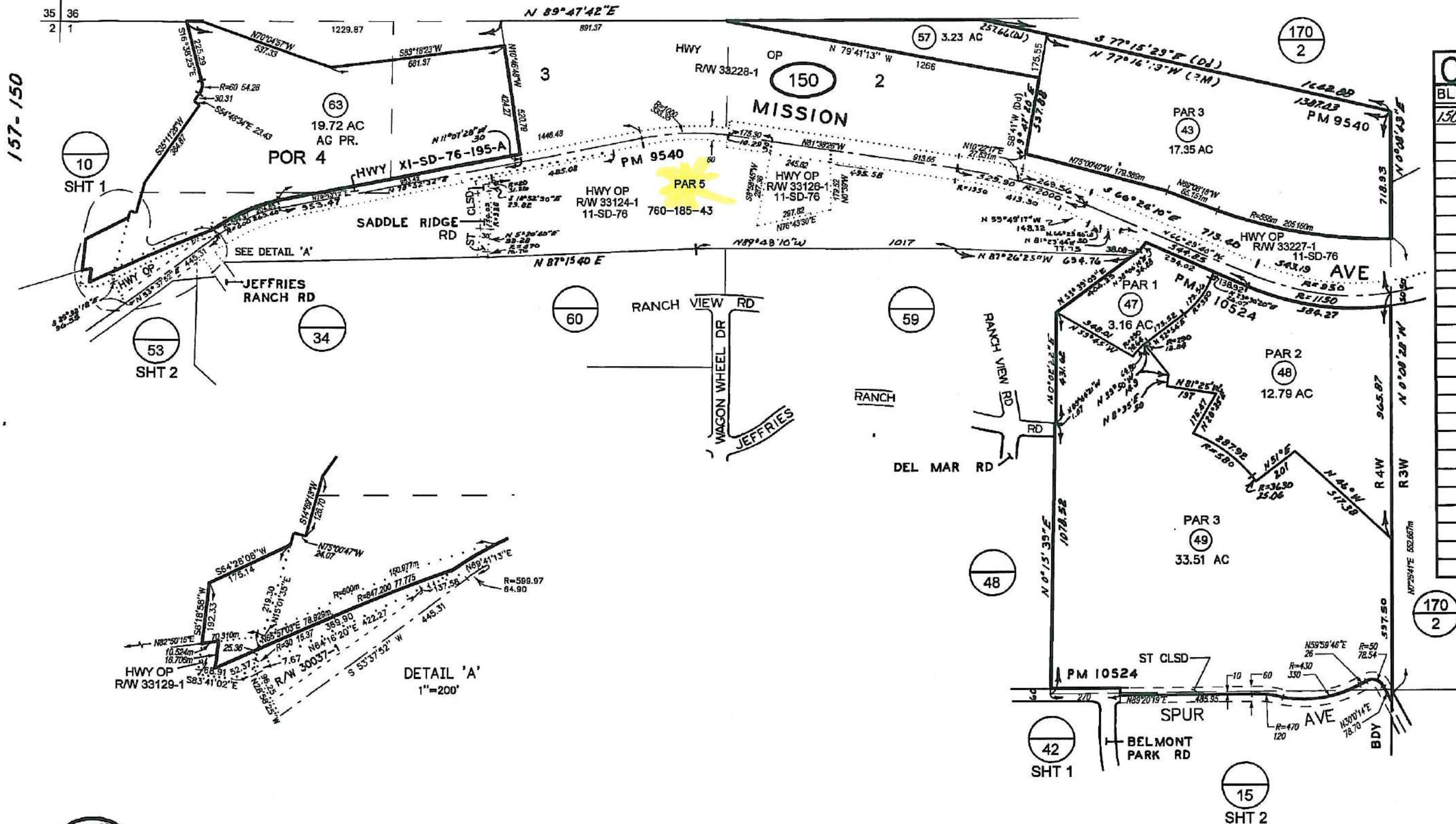
38
SHT. 1

R. LOVE
2-14-84
SAN DIEGO COUNTY
ASSESSOR'S MAP
BOOK 157, PAGE 60

MAP 11312 - JEFFRIES RANCH ADDITION UNIT NO. 3D
 MAP 10827 - JEFFRIES RANCH ADDITION UNIT NO. 3C
 MAP 10419 - JEFFRIES RANCH ADDITION UNIT NO. 3B
 SEC 1-T11S-R4W - POR. NE1/4 OF NW1/4
 ROS 13448,14861



01/03/2019 DJS



CHANGES				
BLK	OLD	NEW	YR	CUT
150	VAR.	3448 AC. CHG	82	5913
	50	53.1 AC	83	64
	53	54 (R/W)	84	220
	52	600-18	84	10083
	54	55 (R/W)	86	143
	55	55 (R/W)	87	229
	26	56&57	99	1413
	29	68 & HWY OP	00	1453
	PICK-UP	59	00	1455
	30, 58, 59	60	00	1389
	ST CLSD & 51	SAME	02	5536
	19	-100-77	06	10013
	47&48	SAME & AC CHG	07	5593
	27	KILL HWY OP	09	1097
	56	KILL HWY OP	10	1083
	51	KILL HWY OP	11	1261
	43	SAME & HWY OP	11	1262
	60	61 & HWY OP	12	1173
	61	62&122-130-41	12	1519
	62	63&64	13	1021
	64	POR -100-82	13	1059
	11	POR 170-020-40	14	1302
	49	SAME & ST CLSD	19	5597

5-6-82 P.W.

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.



land planning, civil engineering, surveying

ROD BRADLEY, *Urban Planner*
RONALD L. HOLLOWAY, *Civil Engineer*

To: City of Oceanside
300 N. Coast Hwy.
Oceanside, CA 92054

Date: June 10, 2020

W.O.: 1100-1474-400

Re: Developers Conference

Attention: Tiffany Chen

From: Rod Bradley

Enclosed Under Separate Cover

Please Find:

- Request Form
- Google Earth (image) Vicinity Map
- Lot/Grading Study
- Assessors Maps
- Caltrans Mapping

THESE ARE TRANSMITTED as checked below:

Via:

Mail Messenger Hand

For your information

For approval

In accordance with your request

For Checking

For your files

Please return enclosures

Please Sign

Please forward

Please telephone me

Please notarize

Please record

Please acknowledge with receipt

Please comment

In accordance with our telephone conversation

Comments:

bHA, Inc.

cc:

By: 
Rod Bradley
President



Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

General Information

Project/Property Address: Jefferies Ranch Road at HWY 76

Assessor's Parcel Number: 157-340-31&32

Lot Area (acres or SF): 7.22 ac.

Existing Use: Vacant / excess Caltrans R.O.W.

Brief Description of Proposal:

Four lot subdivision utilizing a remainder parcel

Property Owner & Applicant Information

Owner Name: Amjad Nahi

Phone Number & E-Mail Address: (925)348-7947

basrawi2001@yahoo.com

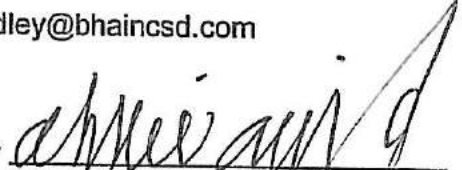
Applicant Name: Bha,inc

Phone Number & E-Mail Address: (760) 931-8700

rbradley@bhaincsd.com

To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf:


Signature of Property Owner
(or attach a Letter of Authorization)

Requested Meeting Date/Time (please provide 2 options) - reference the Developer's Conference calendar for dates

1st choice date: June 17th

Time preference: 9:30 am 10:30 am either

2nd choice date: July 1st

Time preference: 9:30 am 10:30 am either

Requested Divisions to Attend (Planning attends all meetings)

Building Fire Water Engineering Transportation Solid Waste Other Planning

Email the following documents in PDF to Tiffany Chen, tchen@oceansideca.org

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

To be completed by City staff:

Assigned meeting date: _____

Time: _____

Assigned Project Planner: _____

PROJECT DESCRIPTION

The subject property was purchased from Caltrans by Amjad Nahi. Mr Nahi was issued a preliminary Title Report prepared by Fidelity National Title. In the prelim they referenced APN's 157-340-31, 157-340-32, 157-600-18, and 157-150-57. Attached plans find APN maps with the property approximately highlighted.

The assessor's office does not reflect the purchase or the property on its current mapping. However, we have attached Caltrans mapping "Right-of-way" record map, map no. 25502.8M. The property is shown in brown on this map.

Mr. Nahi proposes a four lot tentative parcel map. The property is in the RE-B (EQ) overlay zone and is proposing large parcels to comply with the EQ overlay.

The property will gain its access from Jefferson Ranch Road (public). The four parcels will provide their access via a 40' wide private road with a standard hammerhead for emergency vehicle turn around. Both sewer and water are available to the site.

The applicant would like to purchase the City of Oceanside parcel APN 157-340-01 adjacent to the subject property and abutting Jefferies Ranch Road.



Google Earth

© 2020 Google

LOT/GRADING STUDY

JEFFRIES RANCH ROAD

OWNER: AMJAD NAH
1078 W WESTRIDGE CT.
UPLAND, CA 91789

APH: 157-340-31 & 32,
153-150-51
157-600-18

ZONING: RE-B (EO)

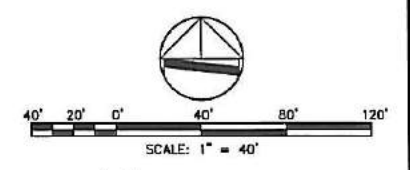
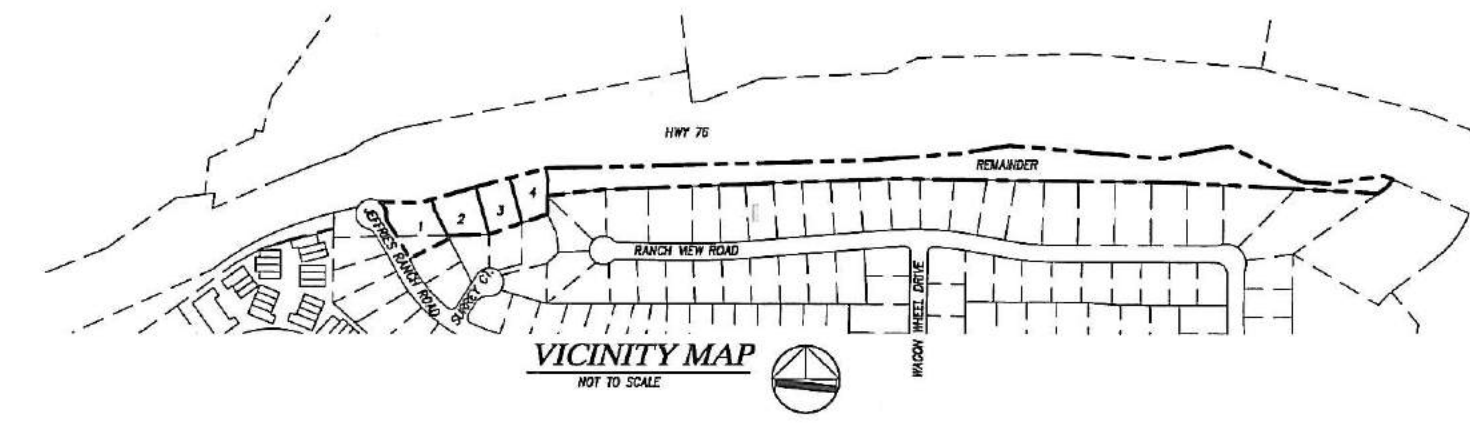
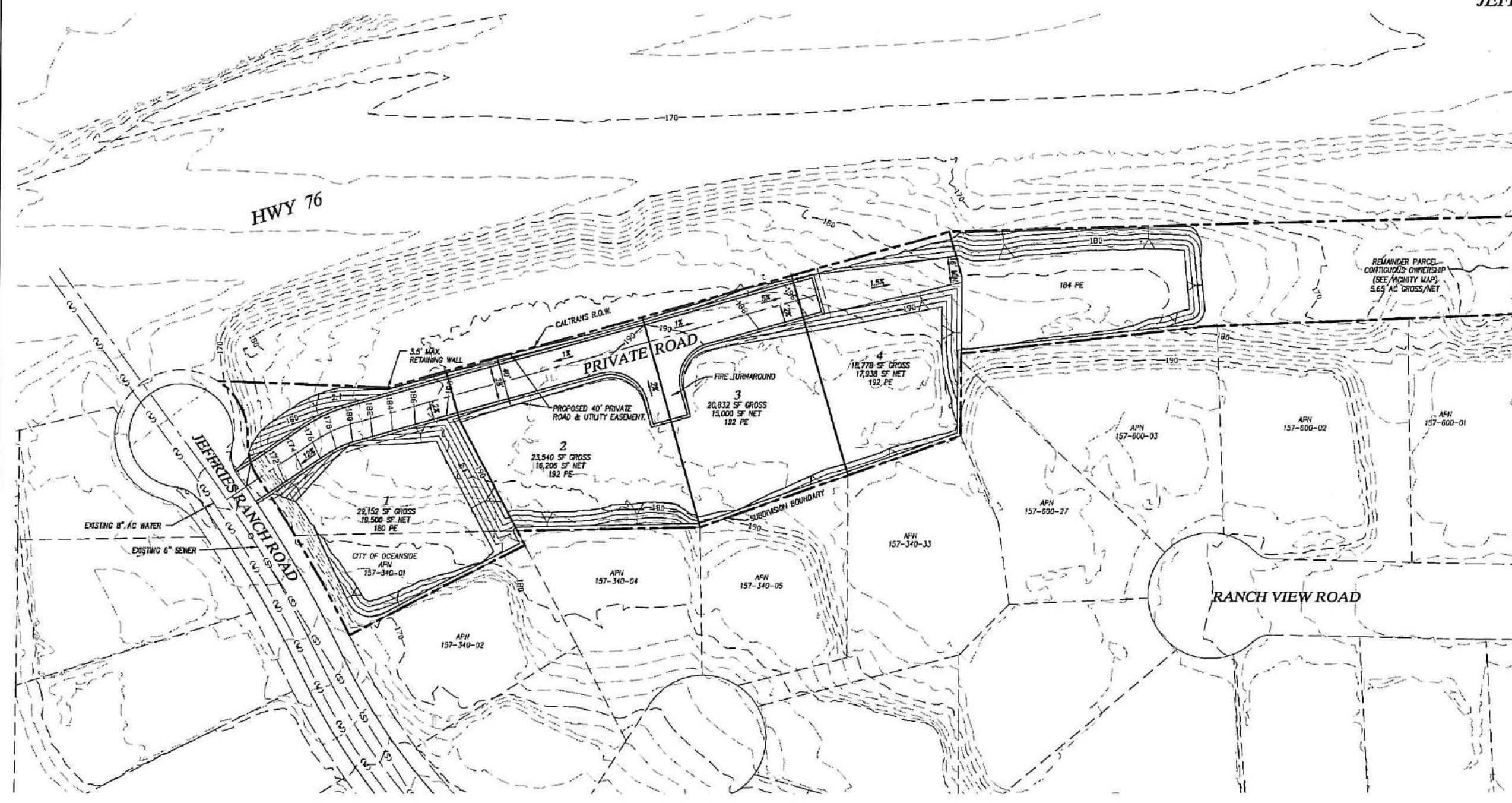
GENERAL PLAN: EB-R

EARTHWORK:
CUT: 7,020 CY
FILL: 2,910 CY
EXPORT: 4,110 CY

SETBACKS:
FRONT: 25'
SIDE: 7.5'
REAR: 20'

ACREAGE: 7.22 AC GROSS

NO. OF LOTS: 4 PLUS REMAINDER

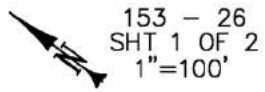


bHA, Inc.
land planning, civil engineering, surveying
5115 Avenida Encinas
Suite L
Carlsbad, California 92008-4387
(760) 931-8700

11/23/16 RAG

CHANGES	
BLK	OLD NEW YR CUT
264	6 22 86 246
264	22 COMM 21 1667
264	19 23&24 02 1314
262	22&23 40 16 18
262	40 CONDO 17 533

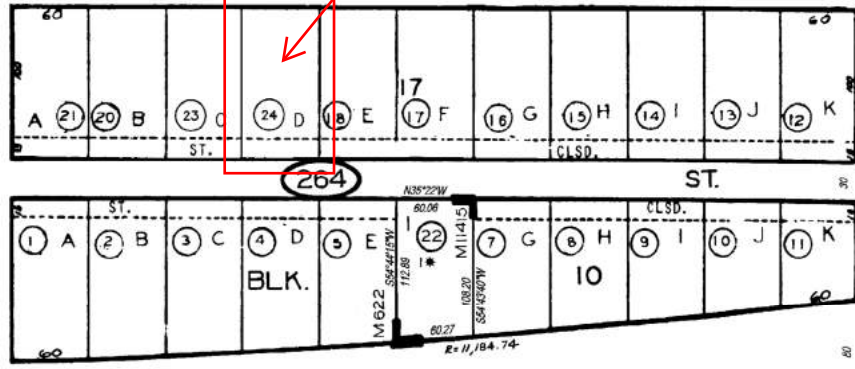
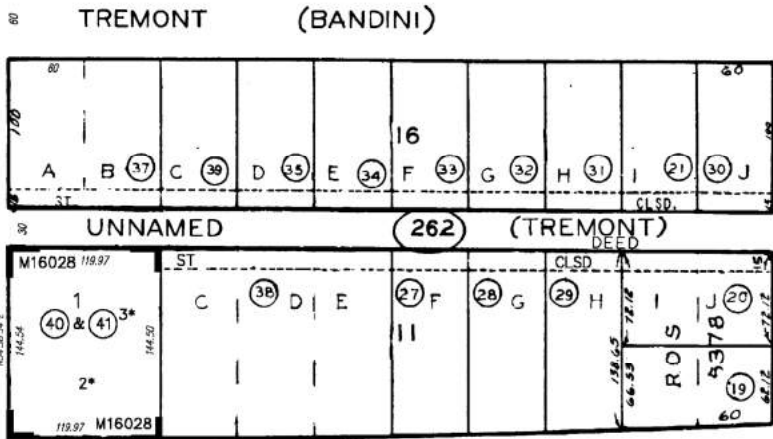
- 1* CONDO
SUNSET CONDOMINIUMS
DOC66-0381151
(SEE SHT 2)
- 2* CONDO
BEACHWALK AT CASSIDY
DOC15-0335273
(SEE SHT 2)
- 3* COMMON AREA



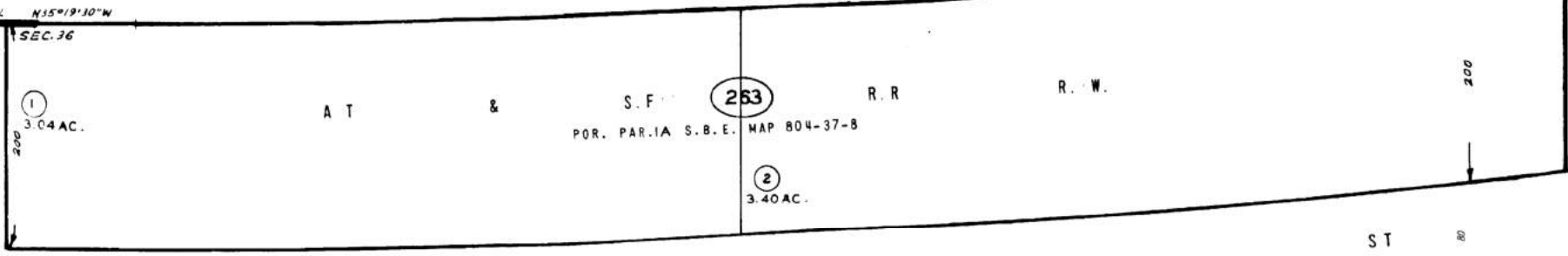
153 - 26
SHT 1 OF 2
1"=100'

Project Site

11



BROADWAY



MAP 16028 - BEACHWALK AT CASSIDY
MAP 11415 - SUNSET CONDOMINIUMS
MAP 622 - SOUTH OCEANSIDE REFILED 1890
BLKS 10, 11, 16 & 17
SEC 36 - T11S - R5W
ROS 6378, 20499, 21538

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

ES 7-22-09



Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

General Information

Project/Property Address: 1913-1915 SOUTH TREMONT STREET

Assessor's Parcel Number: 153-264-24-00

Lot Area (acres or SF): 6900

Existing Use: TWO RESIDENTIAL APARTMENTS

Brief Description of Proposal:

TWO NEW GARAGES WITH TWO NEW APARTMENTS ABOVE

Property Owner & Applicant Information

Owner Name: BETTY LING

Phone Number & E-Mail Address: 858-752-8541

RESTONE341@GMAIL.COM

Applicant Name: SHACKELTON DESIGN GROUP/ARCHITECTS

Phone Number & E-Mail Address: 631-905-8724

RYAN@SHACARCHITECTURE.COM

To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf:

Signature of Property Owner
(or attach a Letter of Authorization)

Requested Meeting Date/Time (please provide 2 options) - reference the Developer's Conference calendar for dates

1st choice date: 7/15

Time preference: 9:30 am 10:30 am either

2nd choice date: 7/29

Time preference: 9:30 am 10:30 am either

Requested Divisions to Attend (Planning attends all meetings)

Building Fire Water Engineering Transportation Solid Waste Other SEWER

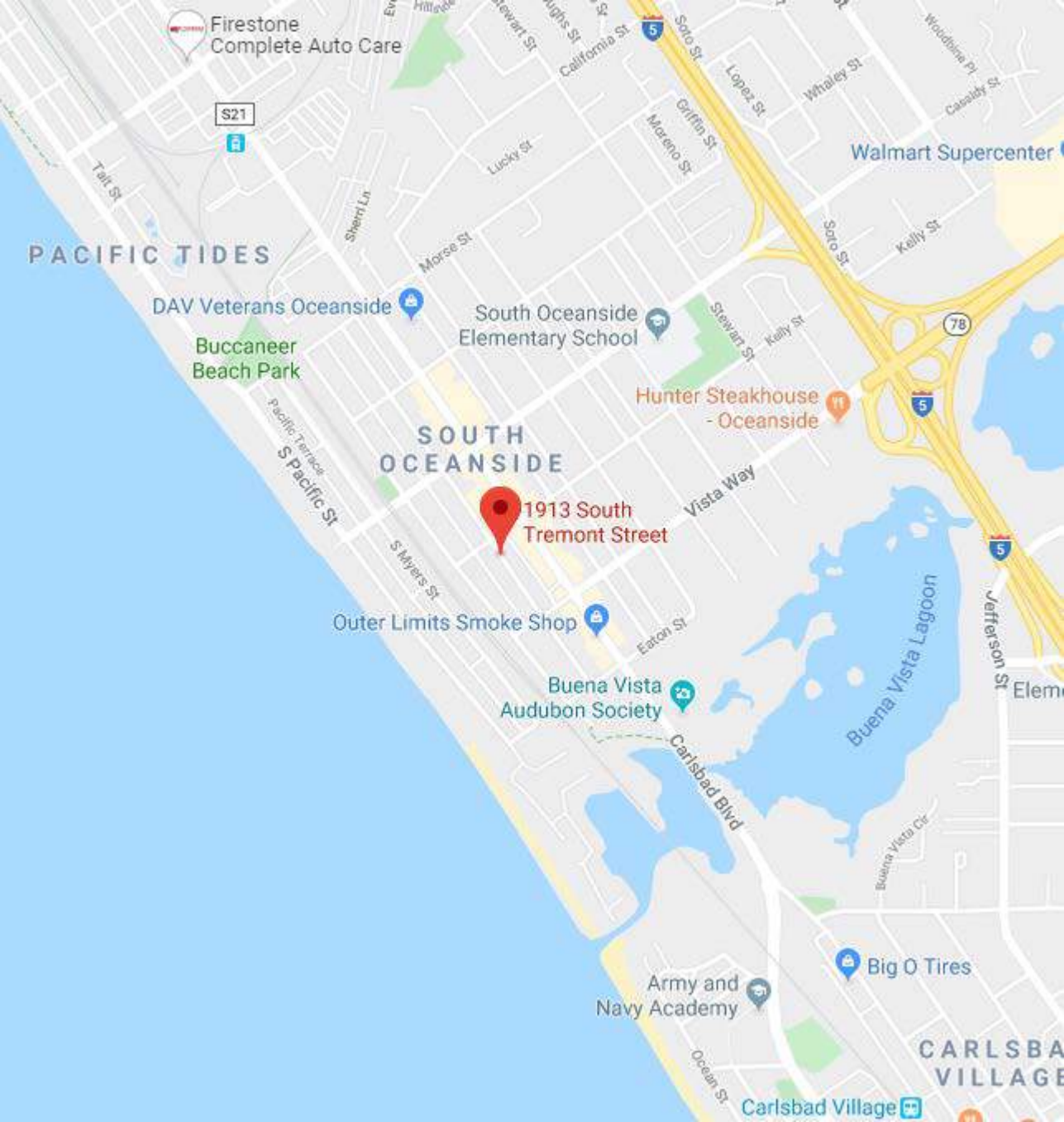
Email the following documents in PDF to Tiffany Chen, tchen@oceansideca.org

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

To be completed by City staff:

Assigned meeting date: _____ Time: _____

Assigned Project Planner: _____



Firestone Complete Auto Care

S21

PACIFIC TIDES

DAV Veterans Oceanside

Buccaneer Beach Park

SOUTH OCEANSIDE

South Oceanside Elementary School

Hunter Steakhouse - Oceanside

1913 South Tremont Street

Outer Limits Smoke Shop

Buena Vista Audubon Society

Buena Vista Lagoon

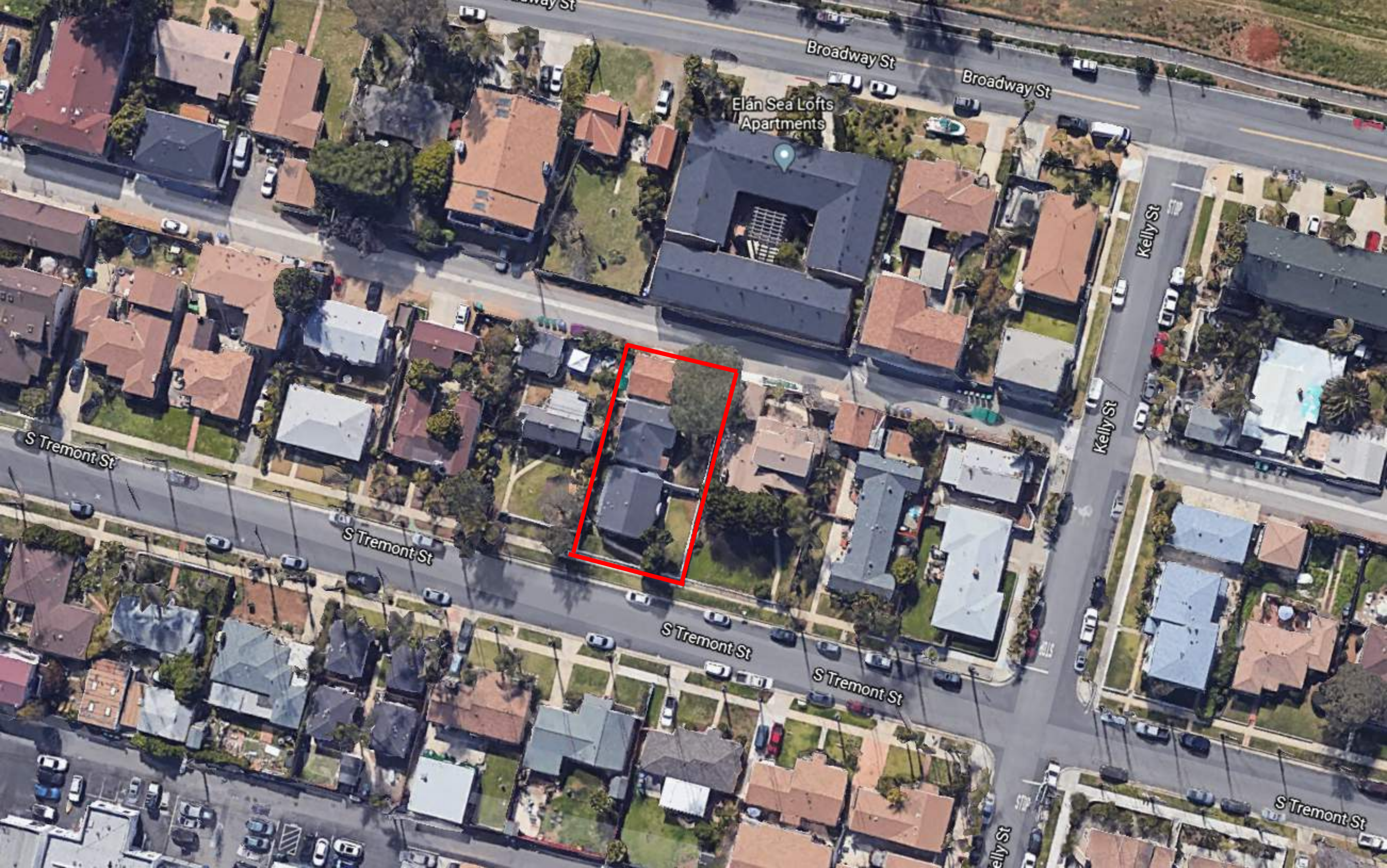
Army and Navy Academy

Big O Tires

Walmart Supercenter

CARLSBAD VILLAGE

Carlsbad Village



Elán Sea Lofts
Apartments

Broadway St

Broadway St

Kelly St

Kelly St

S Tremont St

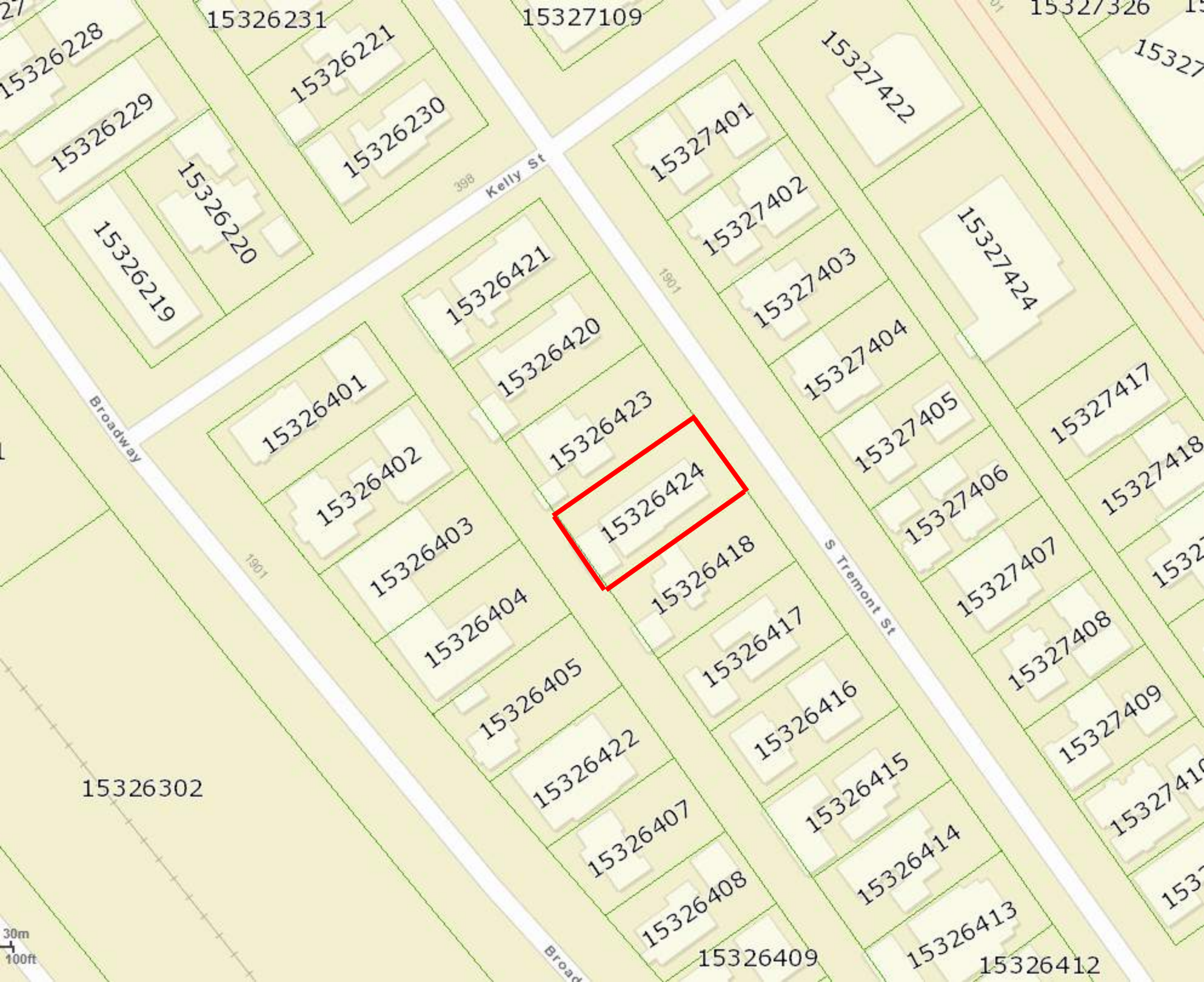
S Tremont St

S Tremont St

S Tremont St

S Tremont St

Kelly St



15326424

Broadway

398 Kelly St

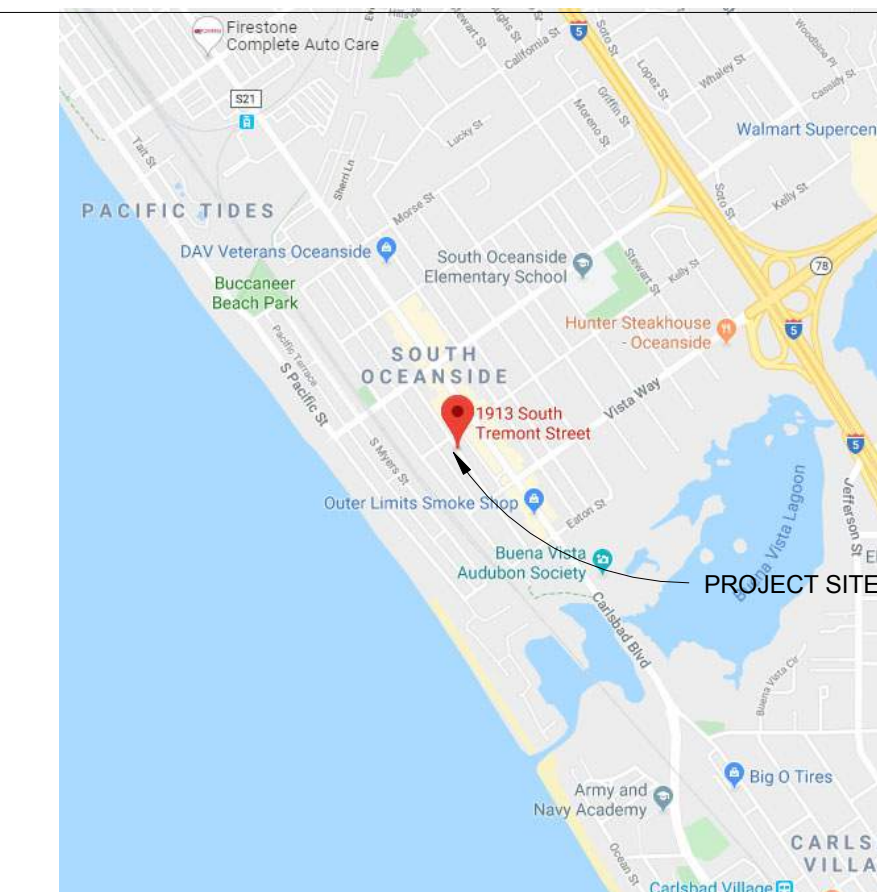
S Tremont St

Broad

30m
100ft

SOUTH TREMONT APARTMENTS

1913-1915 SOUTH TREMONT,
OCEANSIDE, CA 92054



FIRE DEPARTMENT NOTES

- ACCESS ROAD MINIMUM DIMENSIONS: FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED IMPROVED WIDTH OF NOT LESS THAN 24 FEET; CURB LINE TO CURB LINE, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES. EXCEPTION: SINGLE FAMILY RESIDENTIAL DRIVEWAYS; SERVING NO MORE THAN FOUR SINGLE FAMILY DWELLINGS, SHALL HAVE MINIMUM OF 16 FEET, CURB LINE TO CURB LINE, OF UNOBSTRUCTED IMPROVED WIDTH. ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF NOT LESS THAN 75,000 POUNDS.
- RESPONSE MAPS: ANY NEW DEVELOPMENT, WHICH NECESSITATES UPDATING OF EMERGENCY RESPONSE MAPS BY VIRTUE OF NEW STRUCTURES, HYDRANTS, ROADWAYS, OR SIMILAR FEATURES, SHALL BE REQUIRED TO PROVIDE MAP UPDATES IN ONE OF THE FOLLOWING FORMATS (AUTOCAD DWG, DXF, ESRI SHAPEFILE, ESRI PERSONAL GEODATABASE, OR XML FORMAT) AND SHALL BE CHARGED A REASONABLE FEE FOR UPDATING ALL RESPONSE MAPS.
- CONSTRUCTION MATERIALS: PRIOR TO DELIVERY OF COMBUSTIBLE BUILDING CONSTRUCTION MATERIALS TO THE PROJECT SITE ALL OF THE FOLLOWING CONDITIONS MUST BE COMPLETED TO THE SATISFACTION OF THE FIRE DEPARTMENT: 1) ALL WET AND DRY UTILITIES SHALL BE INSTALLED AND APPROVED BY THE APPROPRIATE INSPECTING DEPARTMENT OF AGENCY; 2) AS A MINIMUM, THE FIRST LIFT OF ASPHALT PAVING SHALL BE IN PLACE TO PROVIDE A PERMANENT ALL WEATHER SURFACE FOR EMERGENCY VEHICLES; AND 3) ALL FIRE HYDRANTS SHALL BE INSTALLED, IN SERVICE AND ACCEPTED BY THE FIRE DEPARTMENT AND APPLICABLE WEATHER DISTRICT.
- POSTING OR STRIPING ROADWAYS "NO PARKING FIRE LANE": FIRE DEPARTMENT ACCESS ROADWAYS, WHEN REQUIRED, SHALL BE PROPERLY IDENTIFIED AS PER ENCINITAS FIRE DEPARTMENT STANDARDS.
- ADDRESS NUMBERS: APPROVED NUMBERS AND/OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS AND AT APPROPRIATE ADDITIONAL LOCATIONS AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY FROM EITHER DIRECTION OF APPROACH. SAID NUMBERS SHALL CONTRAST FROM THEIR BACKGROUNDS, AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS AS TO SIZE: 4" HIGH WITH A 3/8" STROKE FOR RESIDENTIAL BUILDINGS. ADDITIONAL NUMBERS SHALL BE REQUIRED WHERE DEEMED NECESSARY BY THE FIRE MARSHALL.
- ADDRESS NUMBERS FOR STRUCTURES LOCATED OFF ROADWAY: WHERE STRUCTURES ARE LOCATED OFF A ROADWAY ON LONG EASEMENTS/DRIVEWAYS, A MONUMENT MARKER SHALL BE PLACED AT THE ENTRANCE WHERE THE EASEMENT/DRIVEWAY INTERSECTS THE MAIN ROADWAY. PERMANENT ADDRESS MARKERS WITH HEIGHT CONFORMING TO FIRE DEPARTMENT STANDARDS SHALL BE AFFIXED TO THIS MARKER.
- FIRE SPRINKLER SYSTEM. N/A
- SMOKE ALARMS WILL BE INSTALLED ACCORDING TO CRC SECTION R314.
- CARBON MONOXIDE ALARMS WILL BE INSTALLED ACCORDING TO CRC SECTION 315.

PROJECT DATA

SCOPE OF WORK: DEMOLITION OF EXISTING GARAGE. TWO NEW GROUND FLOOR GARAGES WITH DETACHED LAUNDRY ROOM & STORAGE. TWO NEW APARTMENTS ABOVE GARAGES & LAUNDRY ROOM WITH COMMON ENTRY DECK.

PROJECT ADDRESS: 1913-1915 S. TREMONT ST
 APN: 153-264-24-00
 ZONE: R-3
 STORIES: 1
 YEAR BUILT: 1944
 CONSTRUCTION TYPE: V-N(NON-SPRINKLERED)

EXISTING FLOOR AREA:
 1913(NO CHANGE): 780 SF
 1915(NO CHANGE): 880 SF
 TOTAL: 1660 SF

GARAGE(DEMO'D): 476 SF

PROPOSED FLOOR AREA:
 GARAGES: 420 SF EACH
 TOTAL: 840 SF

UTILITY AREA: 85 SF
 LAUNDRY ROOM: 100 SF
 STORAGE: 130 SF
 TOTAL: 315 SF

1BDRM UNIT: 510 SF
 2BDRM UNIT: 650 SF
 TOTAL: 1160 SF

COMMON DECK AREA: 140 SF

TOTAL GROUND FLOOR:
 EXISTING: 2,136 SF
 NEW: 2,815 SF

LOT AREA: 6,900 SF

COVERAGE: 60% ALLOWED

SETBACKS:
 FRONT: 20'
 SIDE: 5'
 REAR: 5'

PARKING REQUIREMENTS:

AS STATED IN CODE SECTION 3103, OFF-STREET PARKING REQUIREMENTS SHALL FOLLOW ORDINANCE NO. 69-39 AND BE AS FOLLOWS:

1 & 2 BEDROOM UNITS REQUIRE 1 ENCLOSED OR COVERED SPACE PER DWELLING UNIT

EXISTING:
 2 BEDROOM APARTMENTS: 2

PROPOSED:
 1 BEDROOM APARTMENT: 1
 2 BEDROOM APARTMENT: 1

TOTAL: 4

PARKING REQUIRED: 4

PROJECT TEAM

ARCHITECT:
 SHACKELTON DESIGN GROUP
 4407 MANCHESTER AVENUE, SUITE 205
 ENCINITAS, CA 92024
 760-889-2600
 STEVE@SHACARCHITECTURE.COM

CIVIL ENGINEER:
 COASTAL LAND SOLUTIONS, INC.
 SEAN ENGLERT
 577 SECOND STREET
 ENCINITAS, CA 92024
 (760) 230-6025 X205
 SEAN@COASTAL-LAND-SOLUTIONS.COM

MECH, PLUMBING, & ELECTRICAL:
 PRO ENGINEERING CONSULTING, INC.
 RAMIN PARSİ
 1057 SYCAMORE VISTA, CA 92081
 RAMIN@PROENGC.COM

VICINITY MAP:

STRUCTURAL ENGINEER:
 BRIAN QUALLS
 QUALLS ENGINEERING
 4403 MANCHESTER AVENUE, #203
 ENCINITAS, CA 92024

LANDSCAPE:
 STONE + GROVE LANDSCAPE ARCHITECTS
 BRIAN GROVE
 200 N CEDROS AVENUE
 SOLANA BEACH, CA 92075
 (858) 345-1499
 BRIAN@STONE-GROVE.CO

OWNER:
 BETTY LING
 3663 FOXGROVE PLACE
 SAN DIEGO, CA 92130
 858-752-8541

CODE COMPLIANCE

ALL PLANS AND WORK FOR THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING CODES WITH LOCAL AMENDMENTS:
 BUILDING: 2019 IRC, 2019 IBC

MECHANICAL: 2019 UMC

PLUMBING: 2019 UPC

ELECTRICAL: 2019 NEC

ENERGY: CA TITLE 24

SHEET INDEX

ARCHITECTURAL

- | | |
|--------|------------------------------|
| A1.0 | Title Sheet |
| A1.0.1 | Site Plan |
| A1.0.2 | Survey |
| A1.1.0 | 2019 Green Code Requirements |
| A1.1.1 | 2019 Green Code Requirements |
| A2.4 | Proposed Floor Plans |
| A2.5 | Roof Plans |
| A2.8 | Reflected Ceiling Plan |
| A3.1 | Exterior Elevations |
| A3.3 | 3Ds |

APN: 256-100-50-00

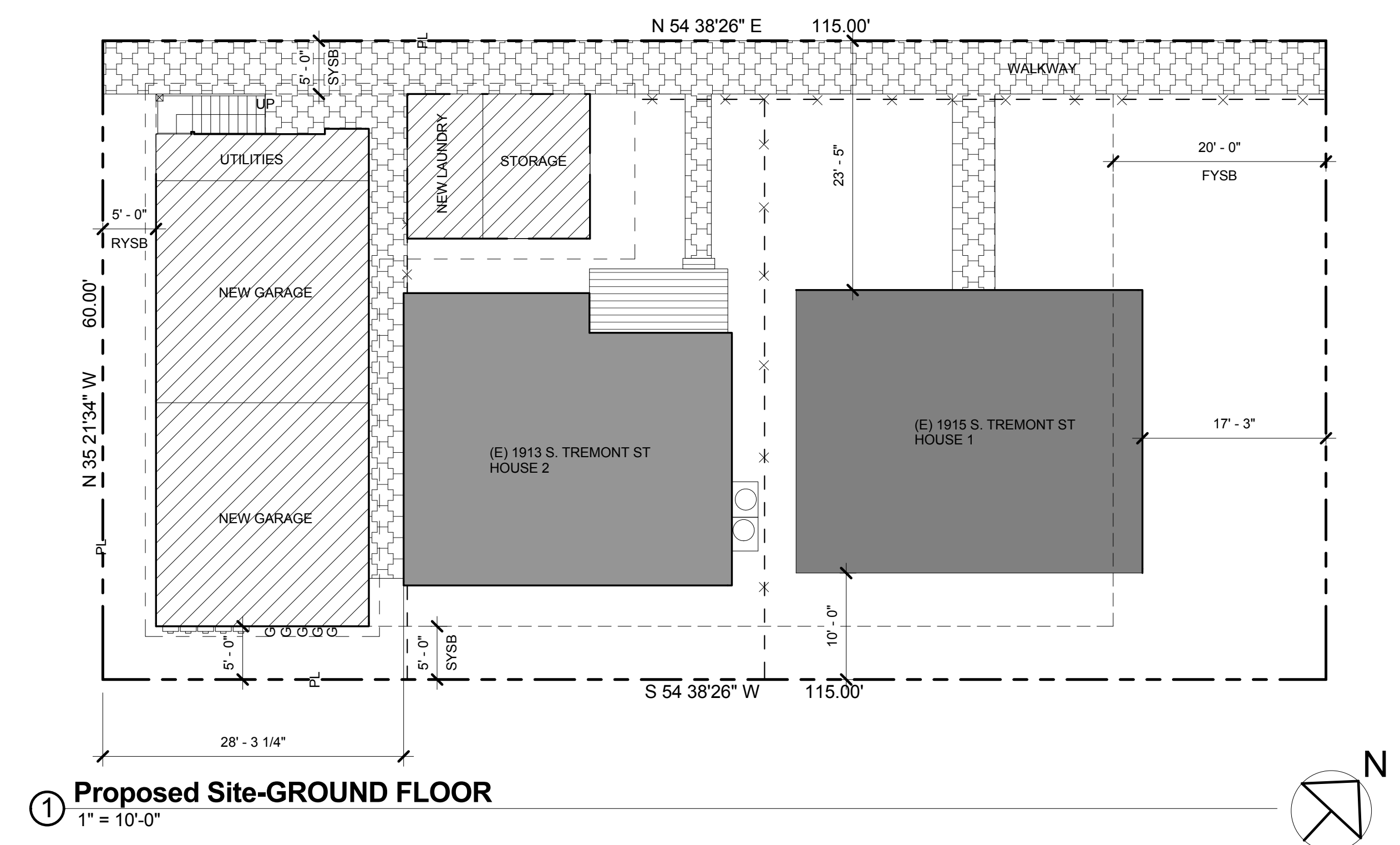
Rev	Description	Date

JOB NO:

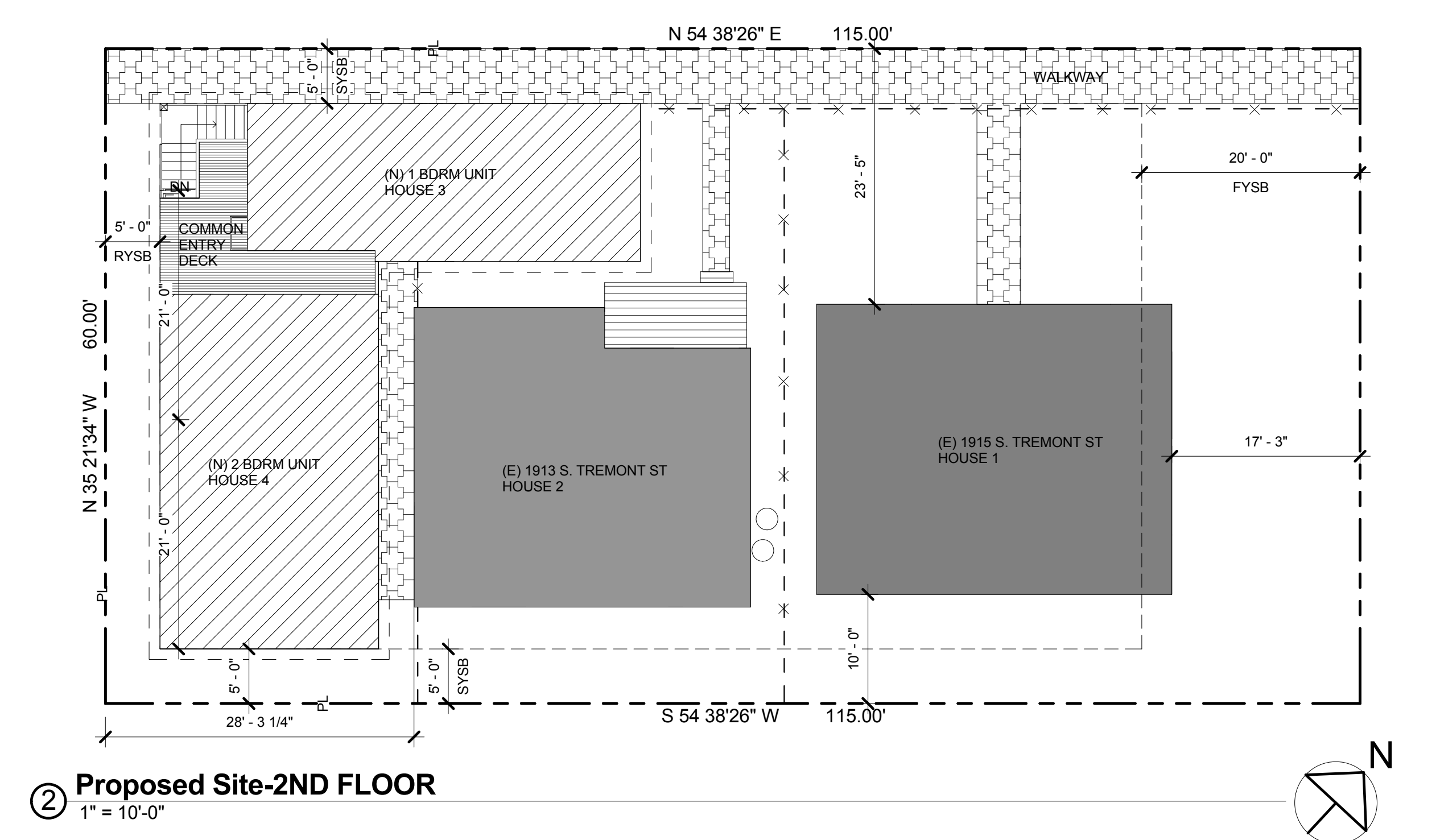
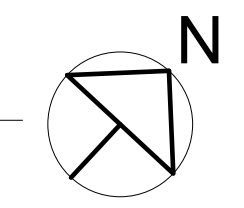
DATE: 6/30/2020

TITLE: Title Sheet

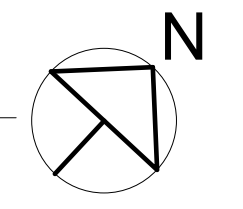
A1.0



① **Proposed Site-GROUND FLOOR**
 1" = 10'-0"



② **Proposed Site-2ND FLOOR**
 1" = 10'-0"



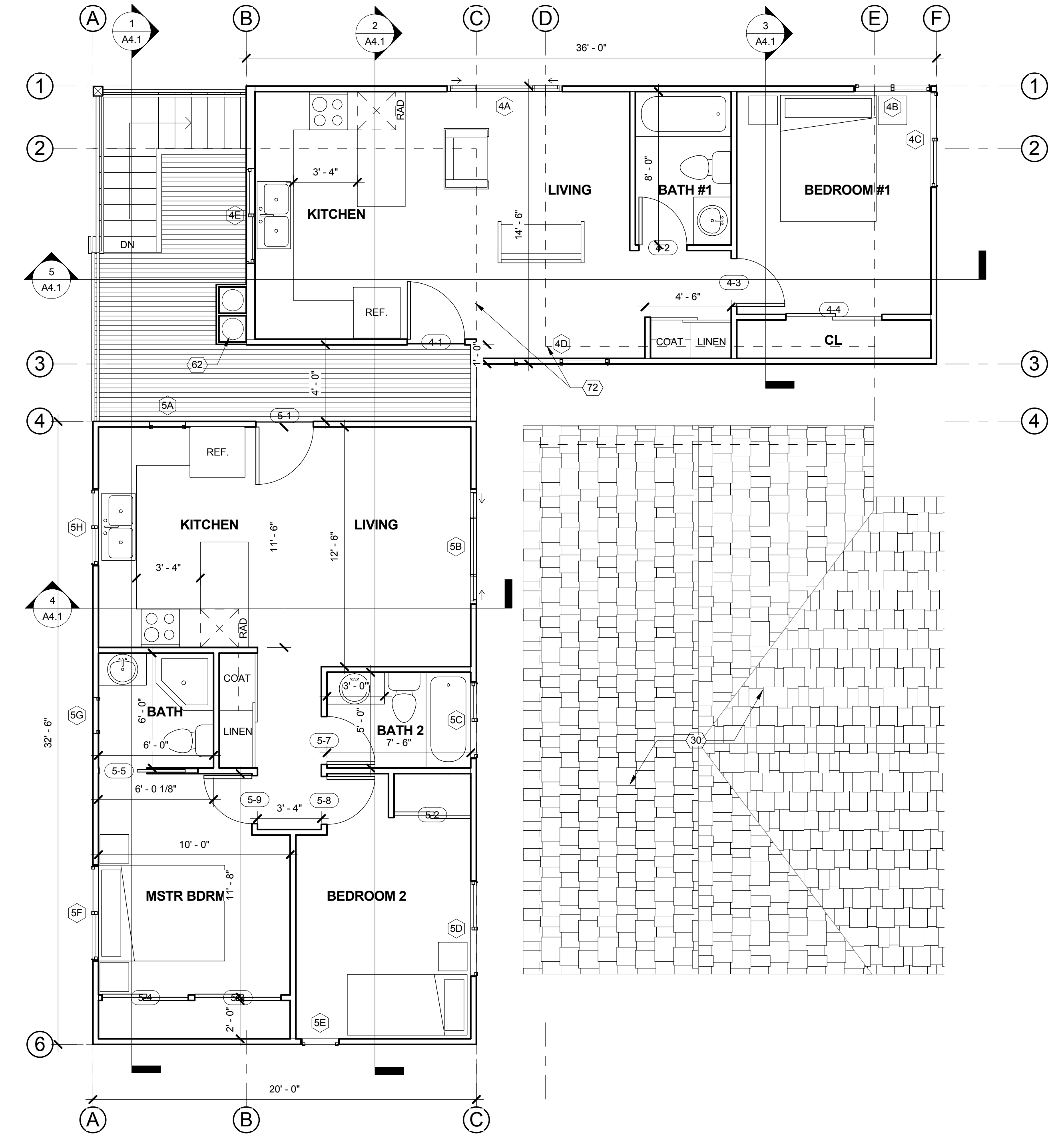
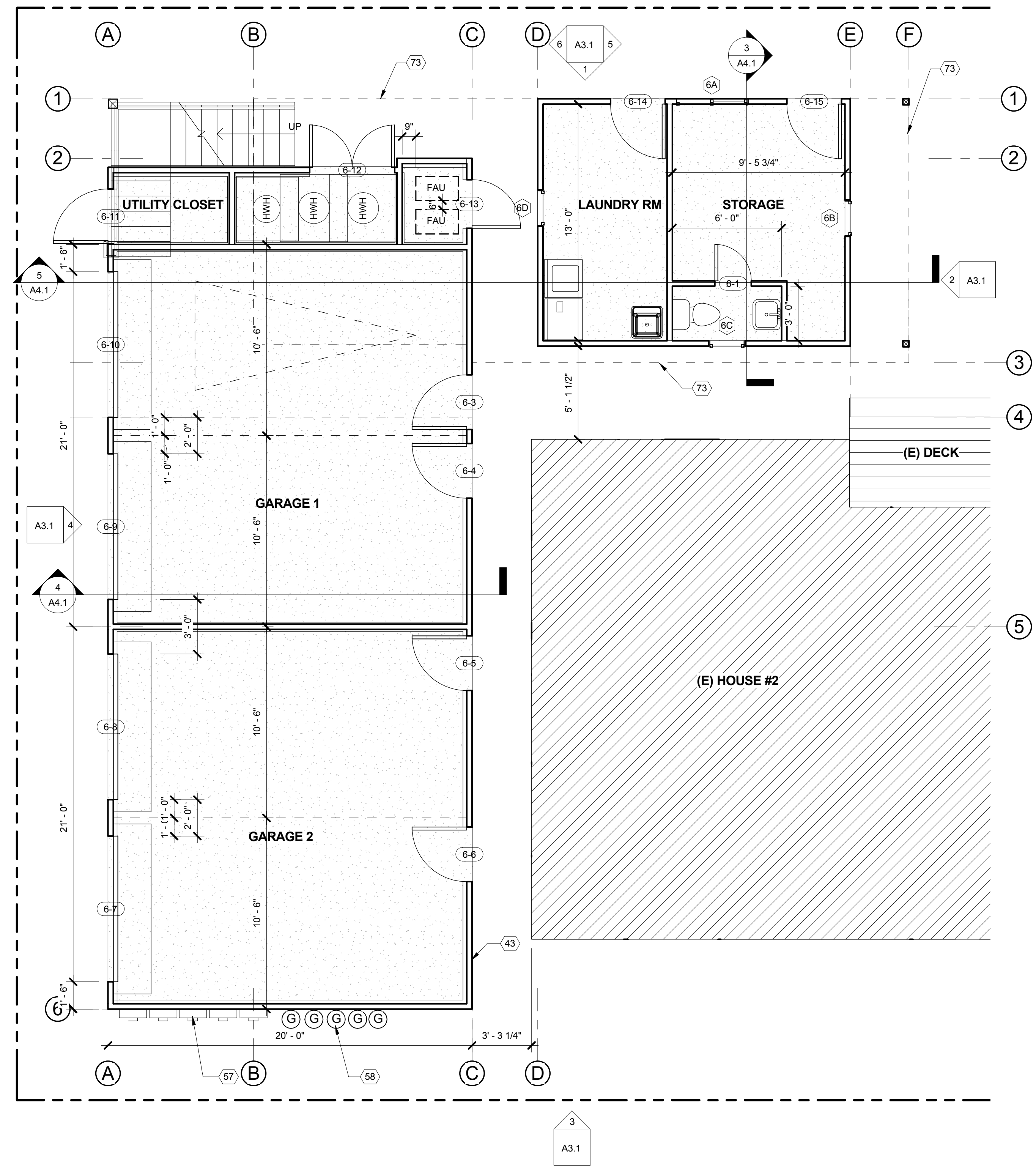
APN: 256-100-50-00

Rev	Description	Date

JOB NO: _____
 DATE: 6/30/2020
 TITLE: Site Plan

A1.0.1

Keynote Legend	
30	EXISTING ROOF BELOW
43	1-HR FIRE RATED WALL
57	NEW ELECTRICAL METERS
58	NEW GAS METERS OC
62	MECHANICAL DUCT CHASE
72	LINE OF WALL BELOW (TYP.)
73	LINE OF FLOOR ABOVE



① GARAGE FLOOR PLAN
 1/4" = 1'-0"

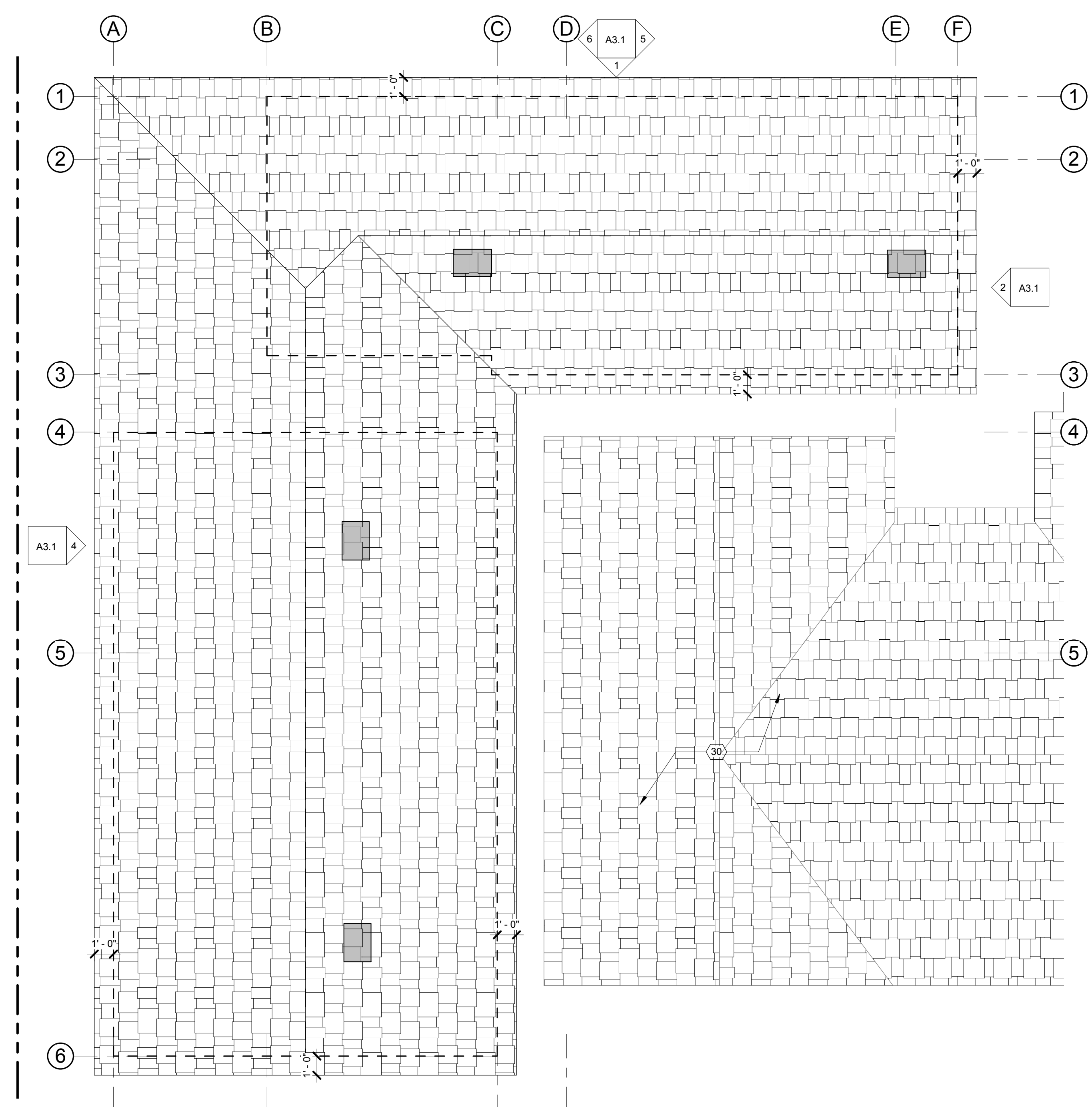
② HOUSE #3 & HOUSE #4 FLOOR PLAN
 1/4" = 1'-0"

APN: 256-100-50-00

Rev	Description	Date

JOB NO:
 DATE: 6/30/2020
 TITLE: Proposed Floor Plans

C:\Users\shackleton\OneDrive\Documents\2020\6-15_Terrace\Proposed Units_Schedule\W2.rvt
 6/30/2020 1:35:00 PM



ROOF VENTING SQUARE AREAS:
 1/300 SQ FT OF FREE AREA FOR UPPER & LOWER VENTING
 HARDIE SOFFIT VENTING SHALL PROVIDE 5 SQ IN OF FREE AREA PER LINEAR FOOT

	ROOF SQ FOOTAGE	REQUIRED AREA	PROVIDED AREA
ROOF	1539.97 SQ FT	5.133 SQ FT	9.85 SQ FT

	CALCULATIONS		
SOFFIT VENTING:	105 LINEAR FT + 100 LINEAR FT =	205 LINEAR FT	
	525 SQ IN	500 SQ IN	1025 SQ IN
	3.64 SQ FT	3.47 SQ FT	7.11 SQ FT OF VENTILATION

RIDGE O'HAGIN VENTING:	98.75 SQ IN x	4 VENTS =	395 SQ IN
			= 2.74 SQ FT OF VENTILATION

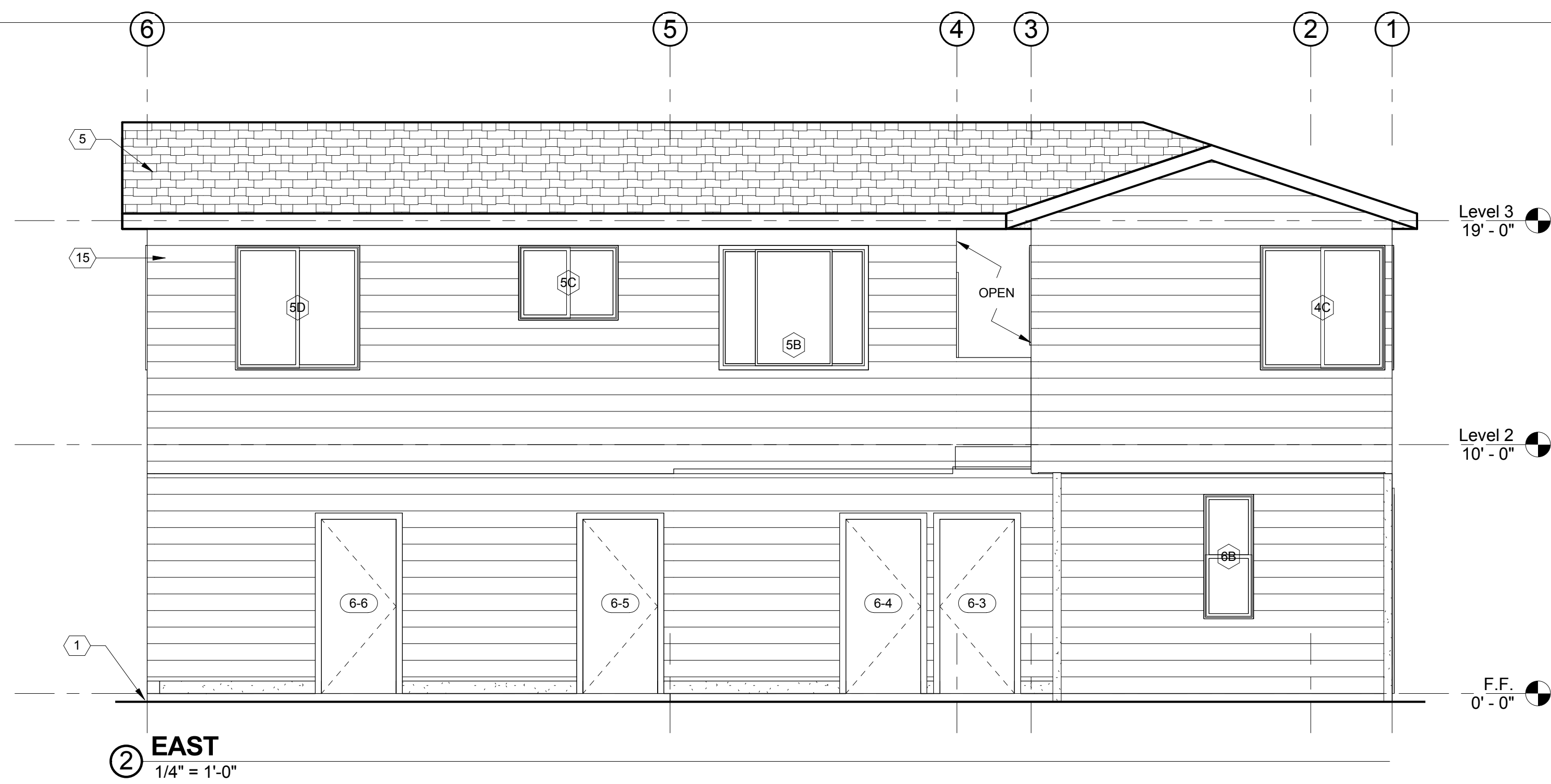
① HOUSE #3/HOUSE #4 - ROOF PLAN
 1/4" = 1'-0"

APN: 256-100-50-00

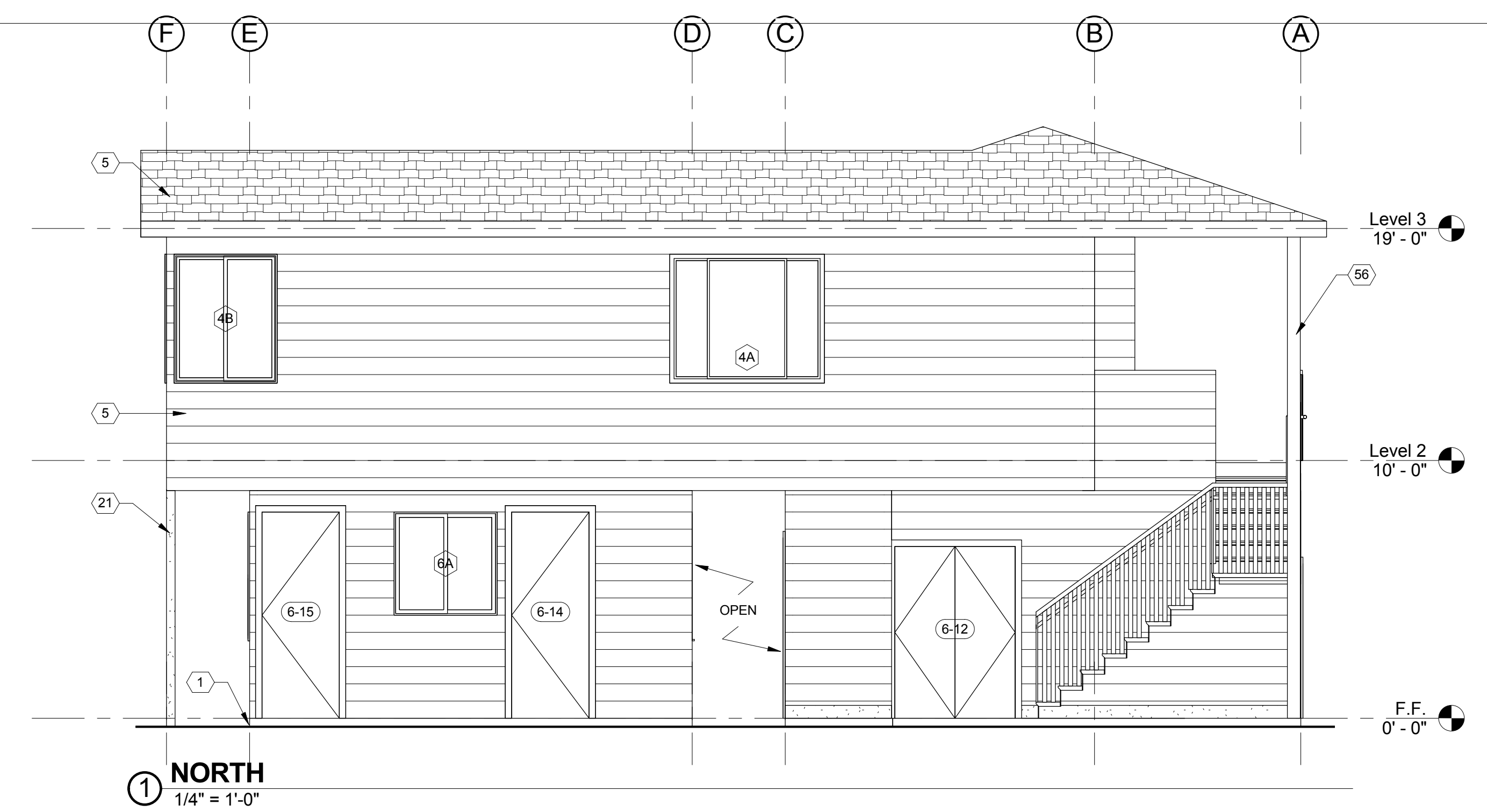
Rev	Description	Date

JOB NO:
 DATE: 6/30/2020
 TITLE: Roof Plans

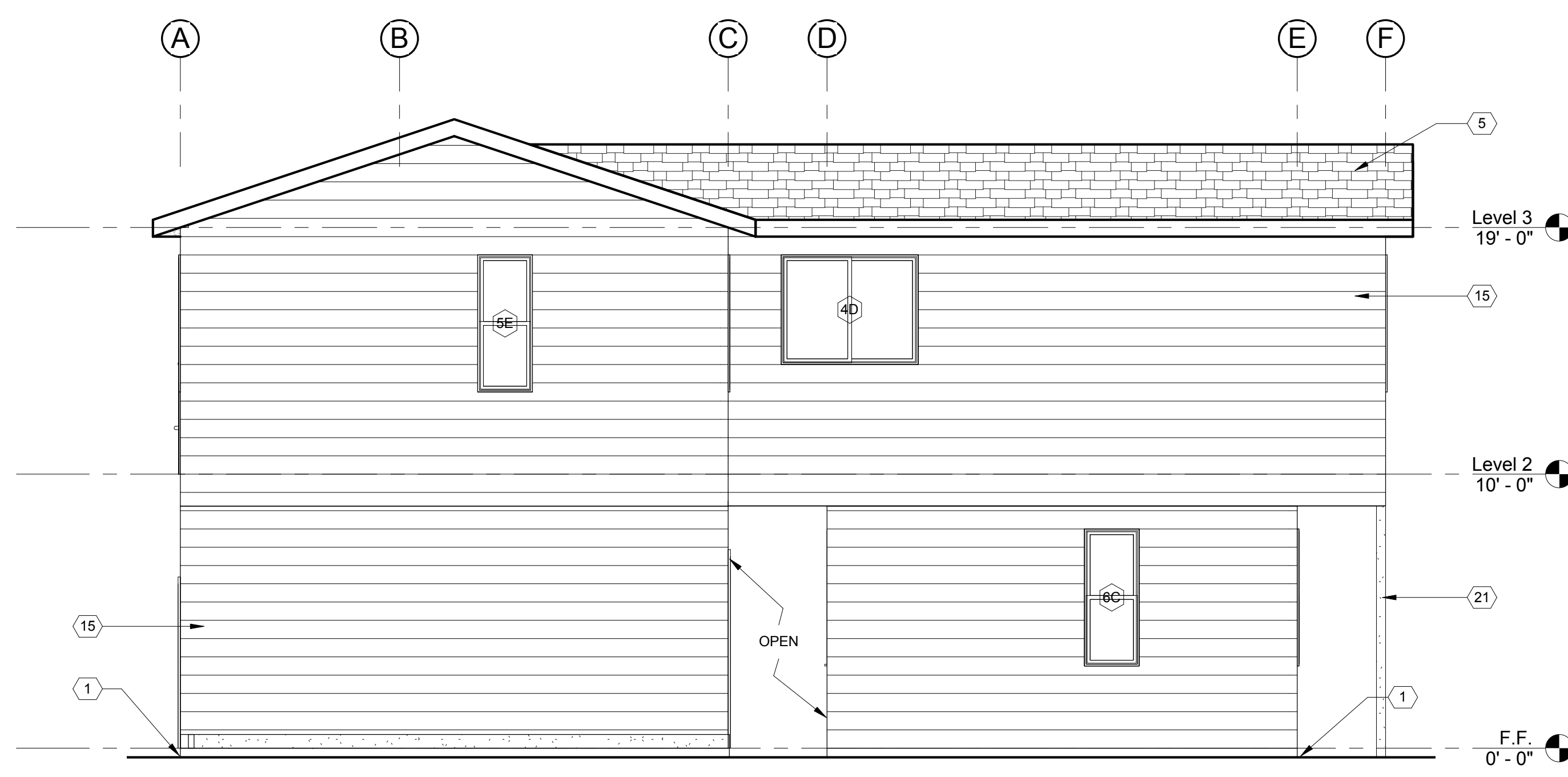
A2.5



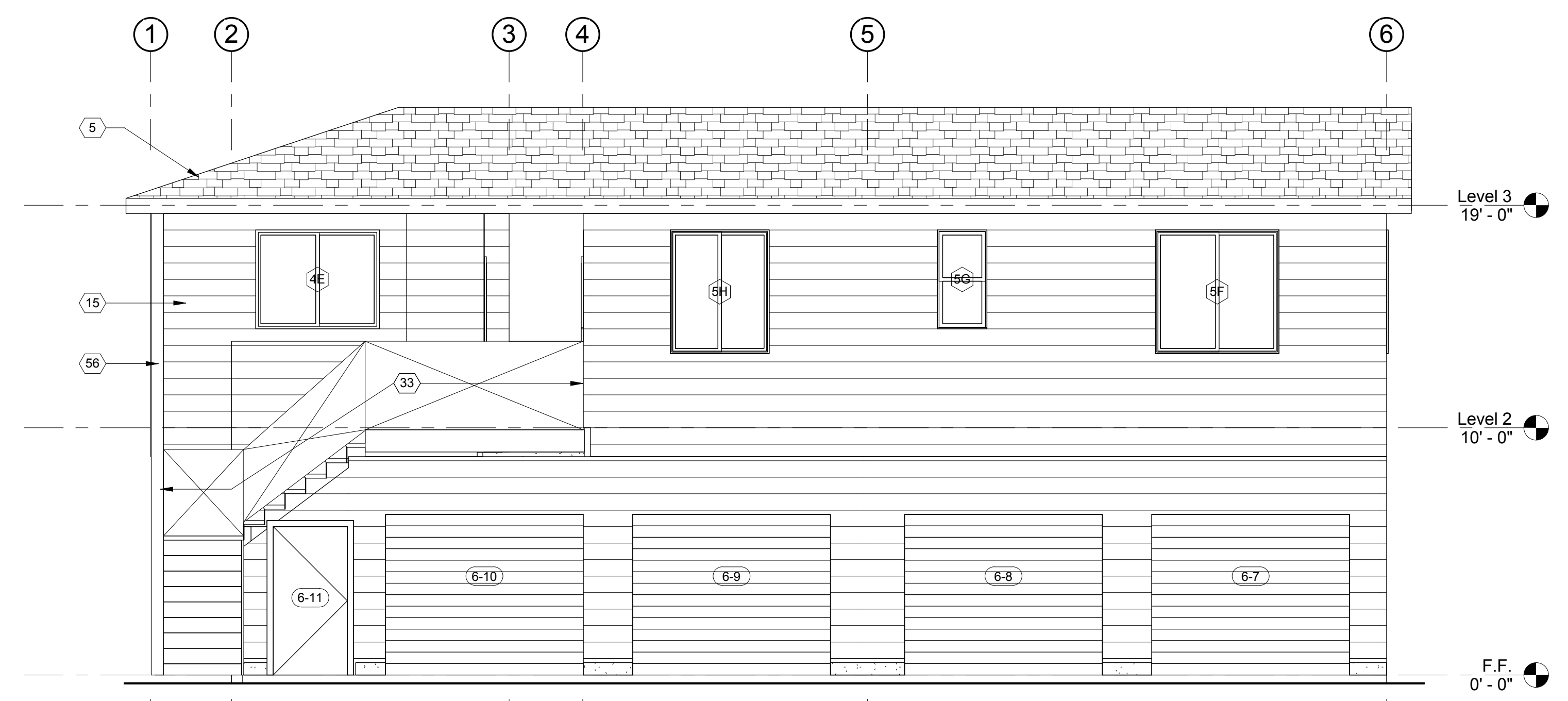
2 EAST
 1/4" = 1'-0"



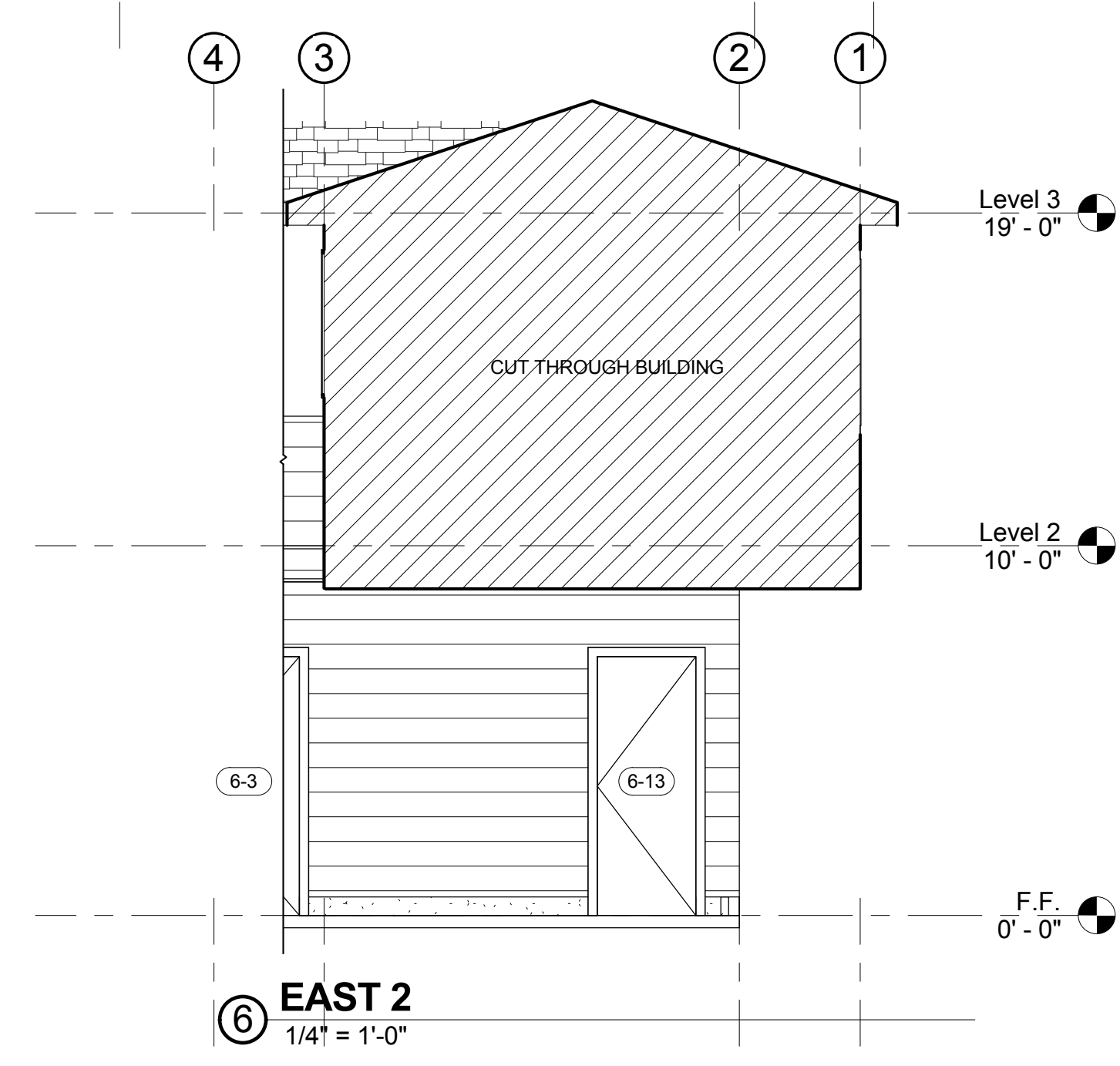
1 NORTH
 1/4" = 1'-0"



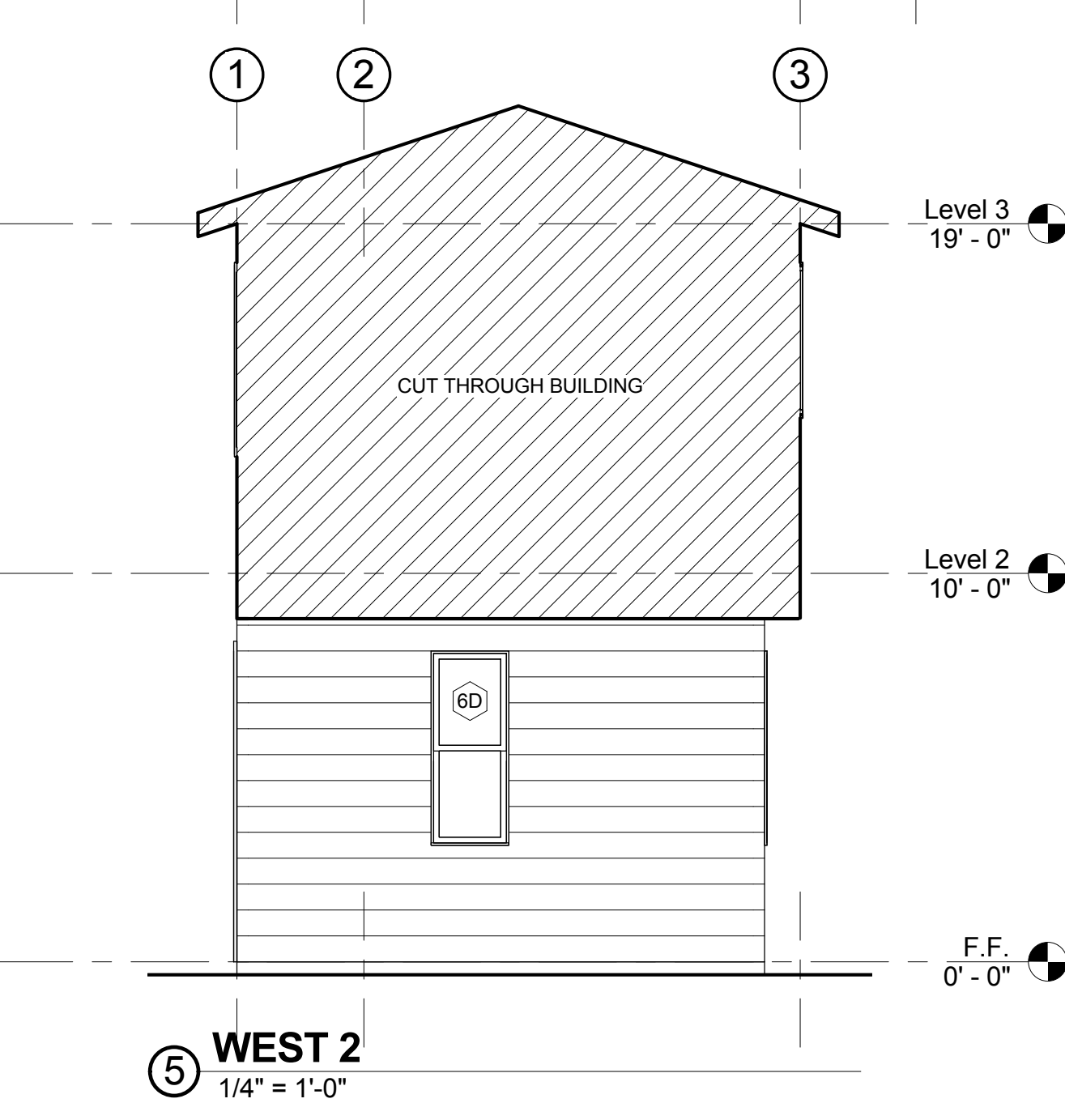
3 SOUTH
 1/4" = 1'-0"



4 WEST
 1/4" = 1'-0"



6 EAST 2
 1/4" = 1'-0"



5 WEST 2
 1/4" = 1'-0"

Keynote Legend	
1	EXISTING & FINISHED GRADE(NO CHANGE)
5	NEW CLASS 'A' COMPOSITE SHINGLE ASPHALT ROOFING BY GAF (ICC# ESR-3267) OR EQ.
15	NEW 8" HARDIEBOARD SIDING W/ TRIM 3/8" W/ FELT PAPER BEHIND SIDING
21	NEW WOOD POST
33	NEW 42" GUARD RAIL WITH 2X2 PICKETS
56	6X6 WOOD POST

APN: 256-100-50-00

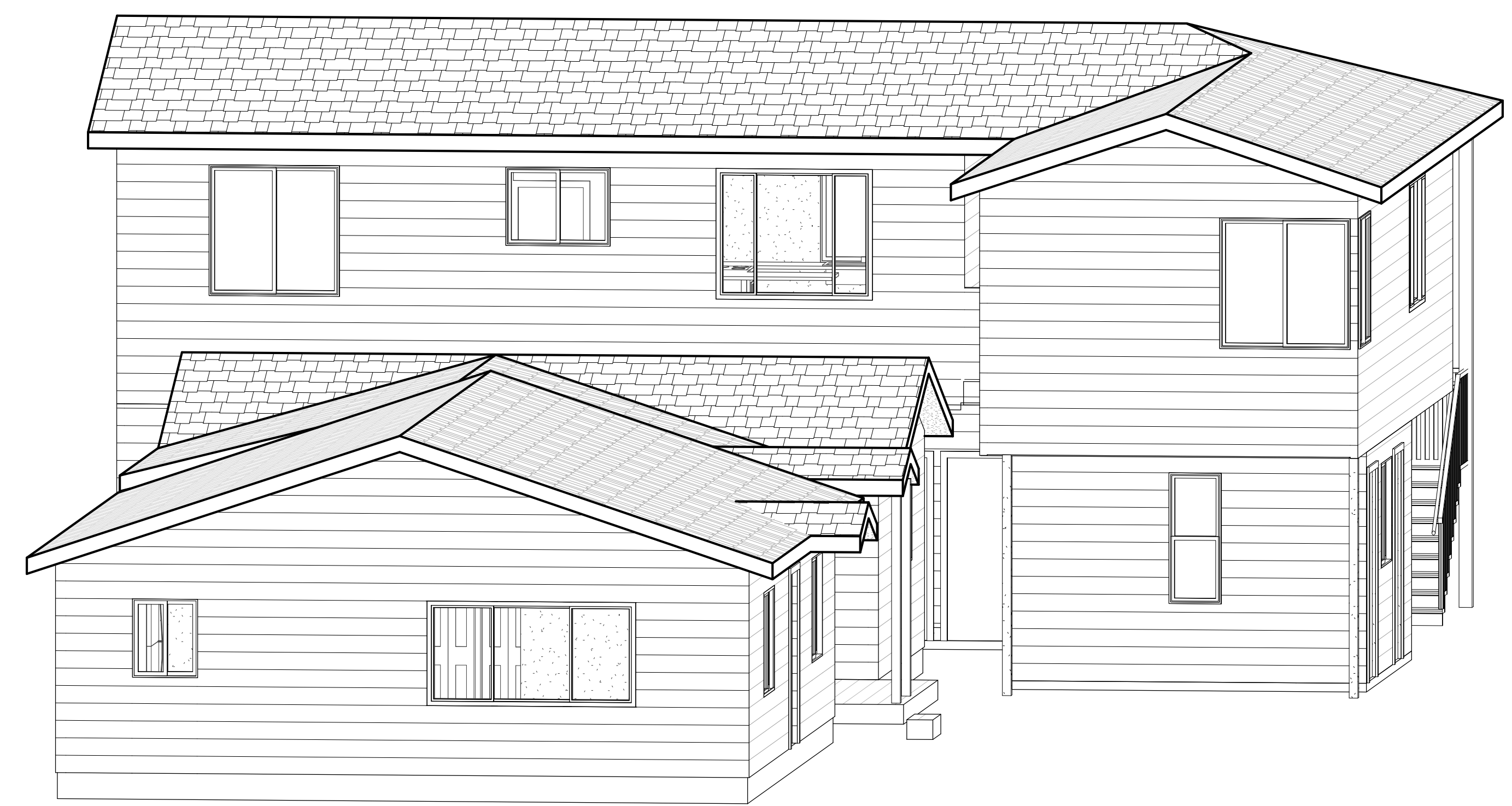
Rev	Description	Date

JOB NO:
 DATE: 6/30/2020
 TITLE: Exterior Elevations

C:\Users\shack\OneDrive\Documents\2020\6-15_Transect_Proposed Units_06\Shackleton WPC.dwg
 6/30/2020 1:35:33 PM



① Copy (2) of {3D}



② Copy (3) of {3D}



③ Copy of {3D}

C:\Users\shackelton\OneDrive\Documents\2020\6-15 Transit\Proposed Units_3D\shackelton WPC.rvt
 6/30/2020 1:35:38 PM

Author

JOB NO: _____
 DATE: 6/30/2020
 TITLE: 3Ds