

**<sup>1</sup>AGENDA  
OCEANSIDE DEVELOPER'S CONFERENCE**

**Wednesday, July 29, 2020**

**Reviewers- please complete the Developer's Conference comment sheet template attached to the TRAKiT record by 7/29/20.**

1. Proposed 13-lot subdivision for 12 market rate and 1 very low income single-family homes on a 2.4-acre site located at 1865 California Street utilizing density bonus. The market rate homes would include attached ADUs. [ADM20-00040]

**Zoning: RE-B (Residential Estate B)  
Land Use: EB-R (Estate B Residential)  
Neighborhood Area: Fire Mountain  
Assessor Parcel Number(s): 154-040-68  
Contact Person: Kevin Dunn  
Email: [kdunn@rincongrp.com](mailto:kdunn@rincongrp.com)**

2. Proposed 4-story mixed use development with 54 condo units on a .91-acre site located at 1602 S. Coast Hwy, utilizing density bonus. [ADM20-00041]

**Zoning: C-2 (Coastal General Commercial)  
Land Use: Coastal General Commercial  
Neighborhood Area: South Oceanside  
Assessor Parcel Number(s): 153-112-01  
Contact Person: Sean Santa Cruz  
Email: [ssantacruz@hallmarkcommunities.com](mailto:ssantacruz@hallmarkcommunities.com)**

Attachments:

1. Parcel Map
2. Project Description Letter
3. Conceptual Site Plans
4. Vicinity/Regional

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<sup>1</sup> *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*



To be completed by City staff

Project Number: ADM \_\_\_\_\_ - \_\_\_\_\_



# Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division  
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

## General Information

Project/Property Address: 1865 California Street, Oceanside, CA 92054

Assessor's Parcel Number: 154-040-68-00 Lot Area (acres or SF): 2.40 acres

Existing Use: Nursery

Brief Description of Proposal:  
Design and Build a new home development (see attachments for more information)

## Property Owner & Applicant Information

Owner Name: The Jack Ingwersen Trust

Phone Number & E-Mail Address: +66 86 185 1536 gina8686@hotmail.com

Applicant Name: Rincon Capital Group, LLC

Phone Number & E-Mail Address: 949-637-3254 kdunn@rincongrp.com

### To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf:

DocuSigned by:  
Jack Ingwersen, Trustee  
22C60516695F4E3  
Signature of Property Owner  
(or attach a Letter of Authorization)

### Requested Meeting Date/Time (please provide 2 options) - reference the Developer's Conference calendar for dates

1<sup>st</sup> choice date: 7/29/2020 Time preference:  9:30 am  10:30 am  either

2<sup>nd</sup> choice date: \_\_\_\_\_ Time preference:  9:30 am  10:30 am  either

### Requested Divisions to Attend (Planning attends all meetings)

Building  Fire  Water  Engineering  Transportation  Solid Waste  Other \_\_\_\_\_

### Email the following documents in PDF to Tiffany Chen, [tchen@oceansideca.org](mailto:tchen@oceansideca.org)

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

### To be completed by City staff:

Assigned meeting date: \_\_\_\_\_ Time: \_\_\_\_\_

Assigned Project Planner: \_\_\_\_\_

# 1865 California Street Developer's Conference

APN: 154-040-68

2.4 acres

GP/Zoning: Residential Estate B / RE-B

## Project Description

- We are planning a development of 13 single family homes on a private cul-du-sac. 12 of the homes will be market rate and 1 home will be very low income affordable. The architecture will be coastal contemporary. We are planning on 3-4 different floor plans with multiple building elevations and layouts. The 12 market rate homes will be 2000+/- sf and will have an attached 500+/- sf ADU. The ADU will have its own entrance and parking, but will also be designed in such a way to connect the ADU to the main residence if a homeowner does not want to use the ADU as a rental (rather for multi-generational living or a comfortable home office workspace—both of these are more important than ever). We are proposing an 1,850+/- sf very low income affordable home. The affordable home will not have an ADU. The private road will have parking on one side of the street (12 spaces total) and will have sidewalk on both sides. Given this properties location (schools bordering the property to the West and South and a school across the street on California), we believe this is an ideal property for a family friendly, density bonus project.

## Proposed Density Bonus Summary

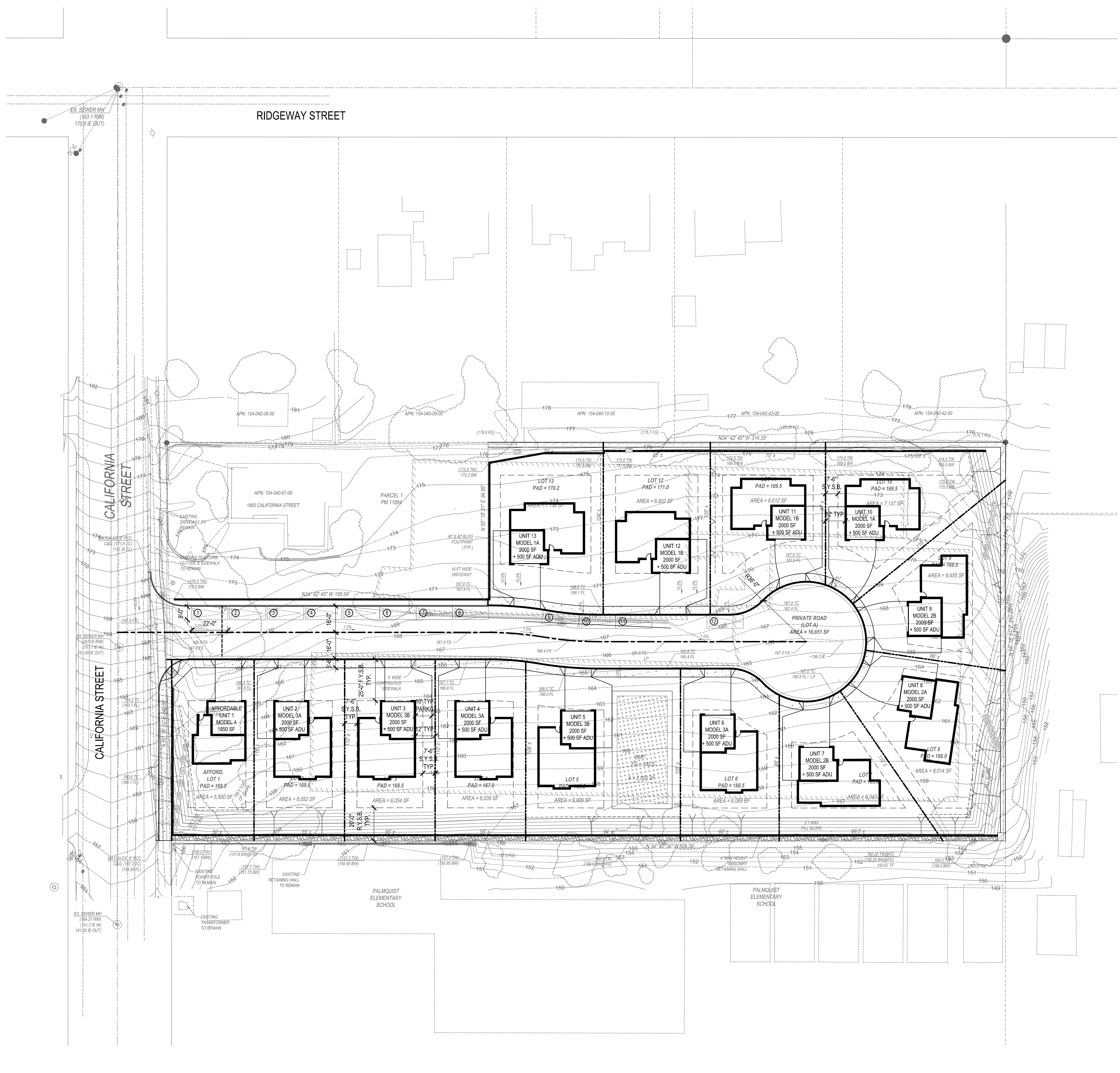
- Based on RE-B zoning density (3.5 du/ac), zoning maximum = 8.4 – round up to **9 base units**
- 11% Very Low Income affordable x 9 = .99 – round up to **1 VL affordable unit** required
- 35% density bonus 9 x .35=3.15 - round up to **4 bonus units**
- Total of 9+4=**13 total units** permitted for the site.

Based on conceptual design, waivers/incentives will be needed for:

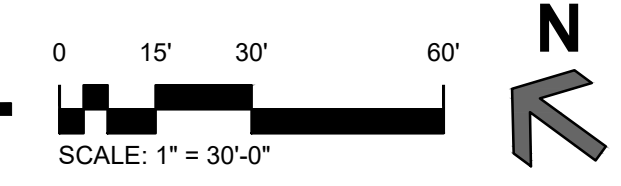
- Minimum Lot Area under 10,000 square feet – smallest lot 5,500 sf, average lot size approx. 6,700 sf
- Minimum Lot Width under 70 feet.
- Usable rear yard setback per 1050(AA) – Rear yard setback proposed to be minimum of 20 feet from property line, as per zone, but some lots would have slope banks in rear yard and would not meet the design criteria of (AA) because they have less than 20 feet in a usable rear yard, defined as an area with no slopes greater than 5 percent provided immediately adjacent to the rear of the structure.

## Additional Questions

1. Front yard setback of 25' measured from edge of public street pavement. Our sidewalks will be within this front yard area with an easement. Does this meet front yard requirements, or would it need a waiver?
2. Can the project utilize a 32' wide private street with parking on one side?
3. Are there any other code compliance items with the proposed design that may need waivers?
4. Will the city require a Phase I Environmental Assessment as part of the application?
5. Can you speak to whether this property would qualify for an Infill Exemption as it relates to EIR?
6. What frontage improvements will be required along California Street? Please confirm no improvements will be required adjacent to 1865 California Street, which is not a part of the proposed subdivision.
7. Will the city require the power lines along the property frontage to be undergrounded? If yes, please confirm the only pole to be undergrounded will be the single pole along the property frontage and not adjacent poles (not along property frontage).
8. Will a 3' right-of-way dedication to the City of Oceanside be required along California Street to match the half-width adjacent to Palmquist Elementary School?
  - a. Will the sidewalk need to continue along the project frontage to the new private street intersection as an 8-foot sidewalk to match existing sidewalk along Palmquist or can it be a 5' sidewalk with a transition to the 1' in front of the school?
9. Can any proposed curb, gutter, and sidewalk improvements in the right-of-way be considered removal / replacement and maintenance to be exempt from storm water treatment requirements?
10. Can maintenance of the slopes within rear yards be maintained by individual homeowners, or would some or all of these slopes need to be HOA-maintained?
11. Will a biological survey be required for this project?
12. What is the city's policy on fence heights and placements in rear yards with down slopes? We are proposing a 4' high retaining wall along the western property line and would like to have our privacy fence on top of that wall (bottom of slope). This will tie into Question 10 above).
13. Please provide specific code direction for architectural design guidelines for this project.
14. Can the interior build out of the ADU be a buyer option? In other words, can we submit plans that show the ADU with a kitchen but not build a kitchen if the ultimate buyer doesn't want it?
15. Does Staff believe there is a high likelihood this project will be appealed to City Council?



1 SITE PLAN



PROJECT TEAM	
OWNER:	THE JACK INGWERSEN TRUST T: 66-86-185-1536 gina8686@hotmail.com
ARCHITECT:	KIRK MOELLER ARCHITECTS, INC. CONTACT: KIRK MOELLER 2888 LOKER AVENUE EAST, STE. 220 CARLSBAD, CA. 92010 T: 760-814-8128 kirk@kmarchitectsinc.com
APPLICANT:	RINCON CAPITAL GROUP, LLC. CONTACT: KEVIN DUNN 5315 AVENIDA ENCINAS, STE 200 CARLSBAD, CA 92008 T: 949-637-3254 kdunn@rincogr.com
CIVIL:	PASCO LARET SUITER & ASSOCIATES CONTACT: TYLER LAWSON 535 N. HIGHWAY 101 SUITE A SOLANA BEACH, CA. 92075 T: 858-259-8212 tlawson@psaengineering.com

ZONING	
EXISTING ZONE:	RE-8 (RESIDENTIAL ESTATES B)
PROPOSED ZONE:	SAME

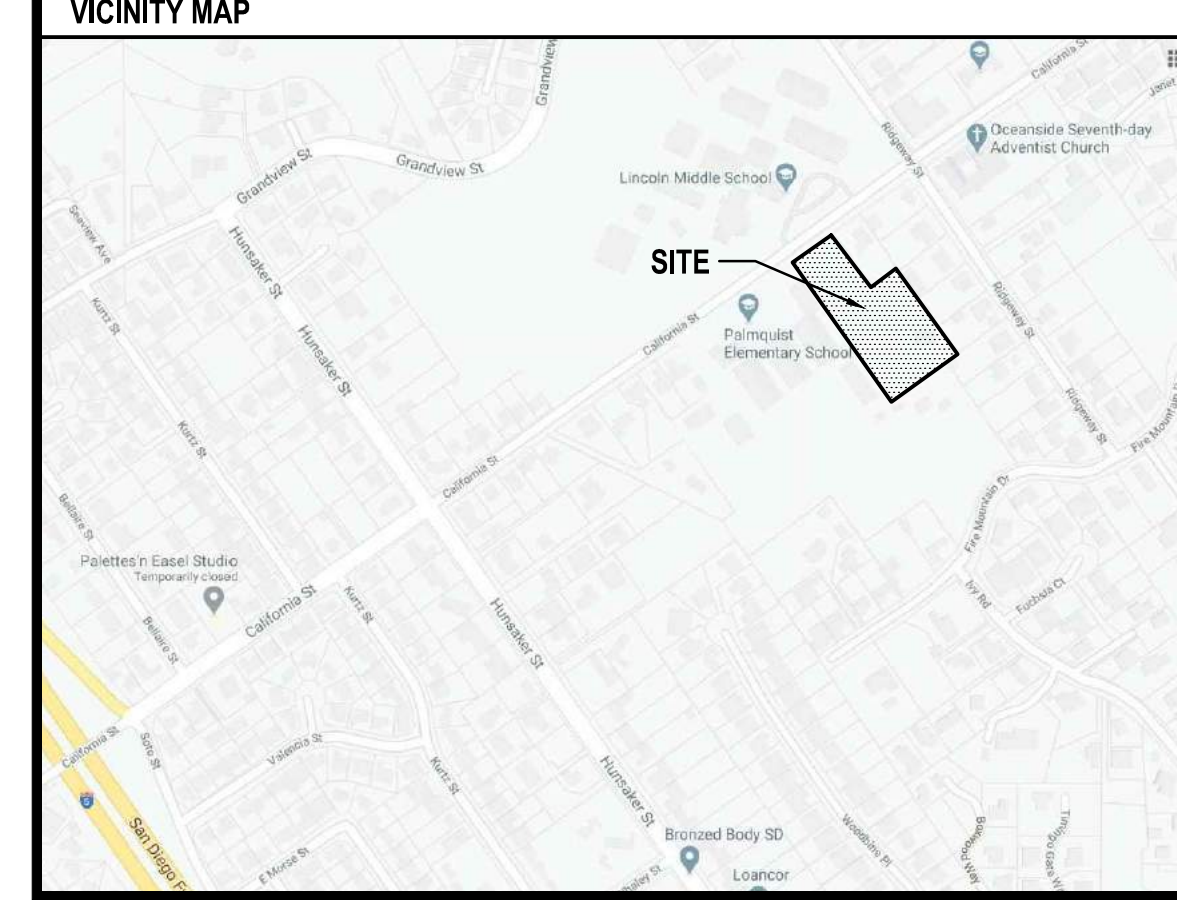
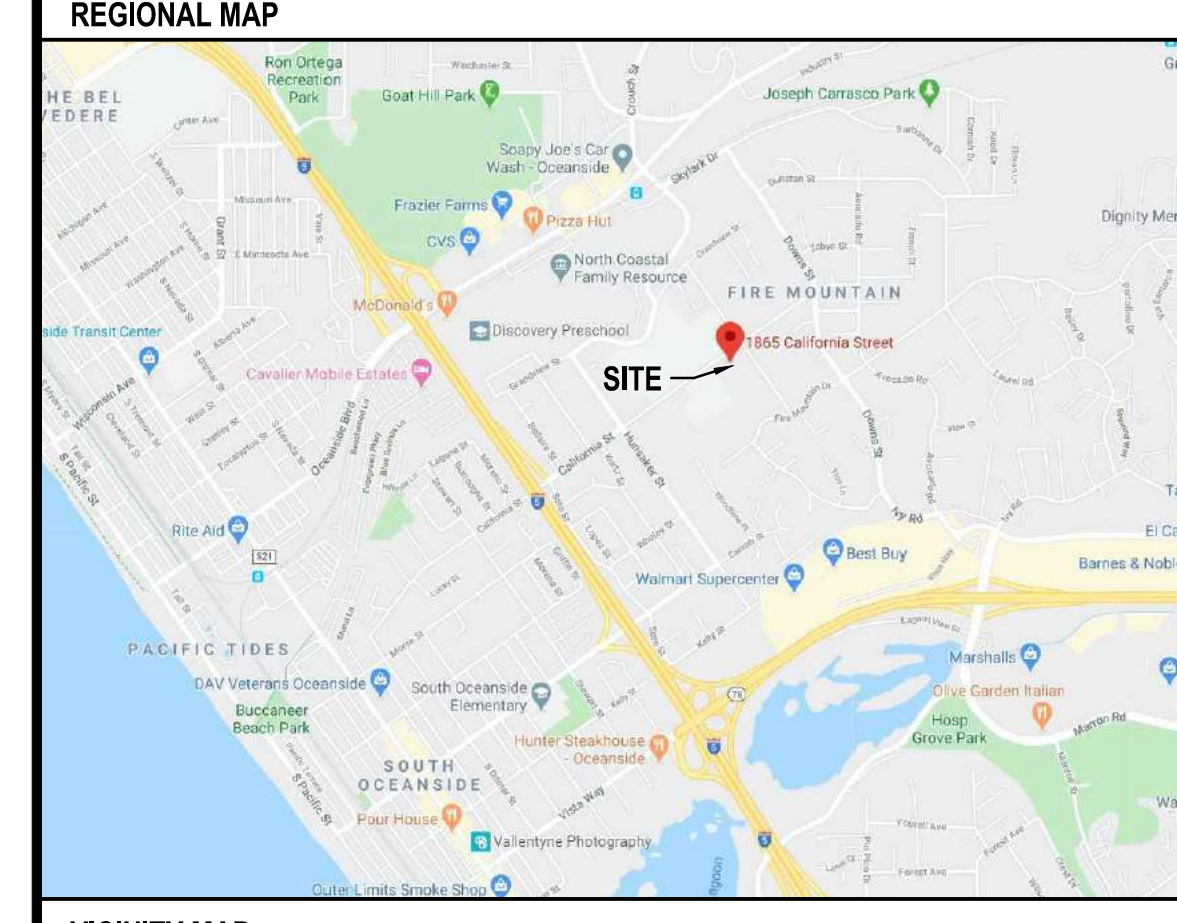
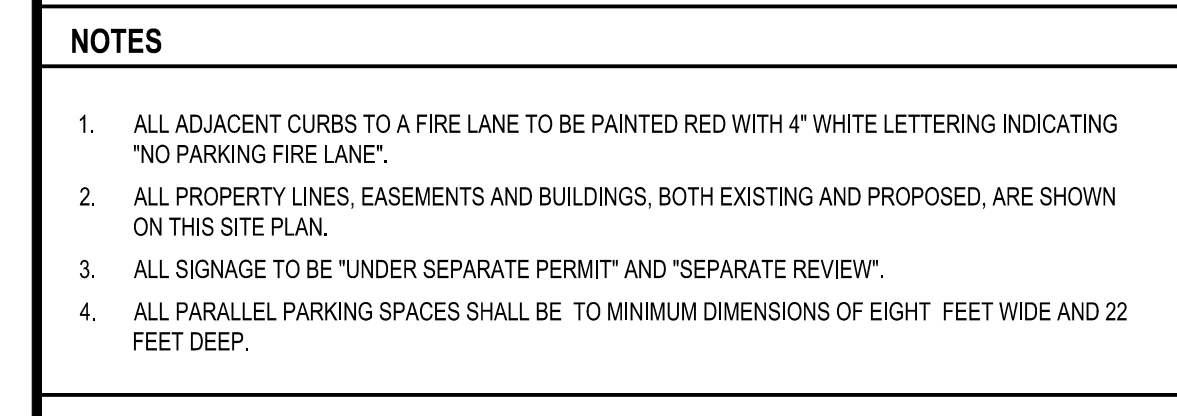
PROJECT DATA	
ADDRESS:	1865 CALIFORNIA STREET
A.P.N.:	154-040-68-00
EXISTING SITE AREA:	2.40 ACRES

CODE DATA	
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY:	SINGLE FAMILY RESIDENTIAL
STORIES:	2
SPRINKLERED:	YES

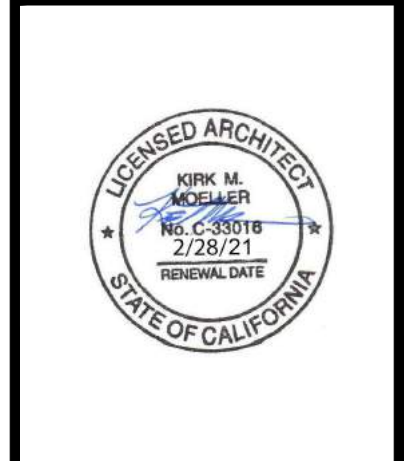
PROJECT DESCRIPTION

PROPOSED PROJECT IS TO CONSIST OF (13) SINGLE FAMILY HOMES ON SEPARATE LOTS ON A PRIVATE CUL-DE-SAC. (12) HOMES SHALL BE MARKET RATE AND (1) SHALL BE VERY LOW INCOME AFFORDABLE. THE (12) MARKET RATE HOMES SHALL BE 2,000 SQ. FT. +/- WITH ATTACHED 500 SQ. FT. ADU'S. THE (1) VERY LOW INCOME AFFORDABLE HOME SHALL BE 1,850 SQ. FT. +/- THE ARCHITECTURE SHALL BE COASTAL CONTEMPORARY. THE PRIVATE ROAD SHALL HAVE PARKING LOCATED ON ONE SIDE OF THE STREET.

NOTES	
1.	ALL ADJACENT CURBS TO A FIRE LANE TO BE PAINTED RED WITH 4" WHITE LETTERING INDICATING "NO PARKING FIRE LANE".
2.	ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN.
3.	ALL SIGNAGE TO BE "UNDER SEPARATE PERMIT" AND "SEPARATE REVIEW".
4.	ALL PARALLEL PARKING SPACES SHALL BE TO MINIMUM DIMENSIONS OF EIGHT FEET WIDE AND 22 FEET DEEP.



ALL IDEAS, DESIGNS AND DIRECTION INDICATED WITHIN THESE DRAWINGS ARE THE PROPERTY OF KIRK MOELLER ARCHITECTS, INC. AND ARE INTENDED TO BE ASSOCIATED WITH THIS SPECIFIC PROJECT ONLY AND SHALL NOT OTHERWISE BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF KIRK MOELLER ARCHITECTS, INC. THERE SHALL BE NO CHANGES OR DEVIATIONS FROM THESE DRAWINGS OR ACCOMPANYING SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



CALIFORNIA STREET HOMES  
1865 CALIFORNIA STREET  
OCEANSIDE, CA

Date:	7-14-20
Project:	20-120 CA. STREET HOMES
File:	A1.1
Revisions:	

Sheet Title:  
**SITE PLAN**

Sheet Number:  
**A1.1**

**ZONING INFORMATION**

ZONING: RESIDENTIAL (RE-B) RESIDENTIAL ESTATE B  
 MIN LOT AREA: 10,000 SF (PER CODE)  
 MIN LOT WIDTH: 70'  
 FYSB: 25'  
 SYSB: 7.5'  
 CORNER SYSB: 15'  
 RYSB: 20'

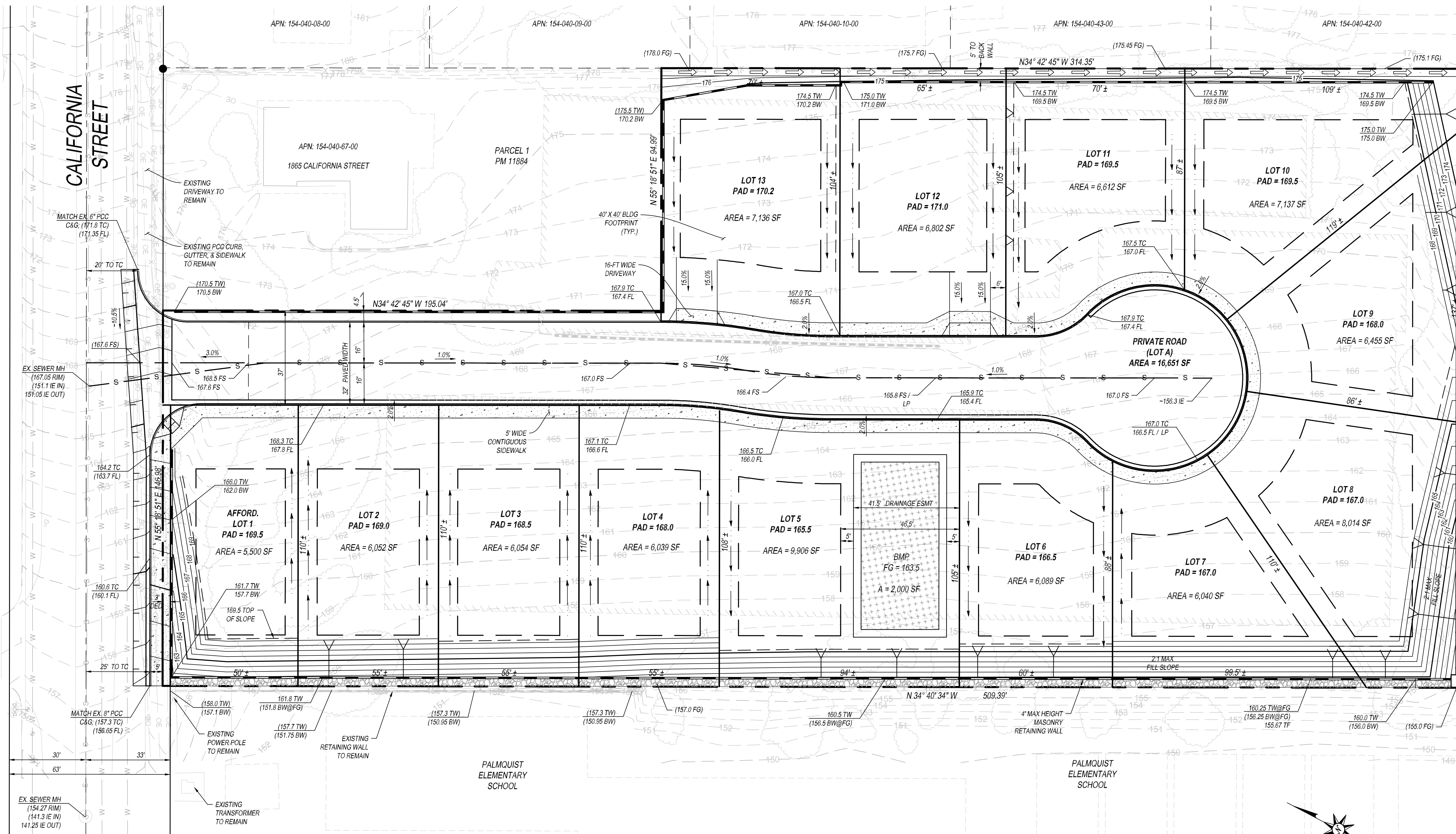
# PRELIMINARY DRAINAGE AND GRADES PLAN

## 1865 CALIFORNIA STREET

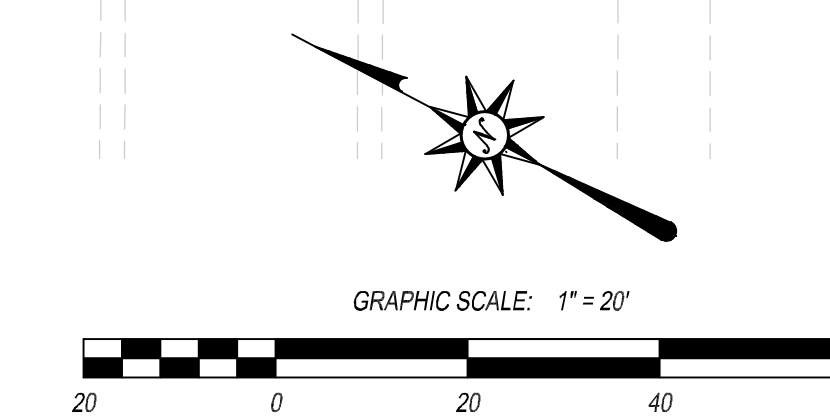
**LEGEND**

- SUBDIVISION BOUNDARY
- PROPOSED LOT LINE
- CENTERLINE OF ROAD
- \*PARKING SPACE

NOTE: PARALLEL ON-STREET PARKING DIMENSION SHOWN AS 22' LONG X 8' WIDE PER ARTICLE 31, SECTION 3109 OF CITY OF OCEANSIDE ZONING ORDINANCE



PLAN VIEW - PRELIMINARY DRAINAGE EXHIBIT  
 SCALE: 1" = 20' HORIZONTAL



**PASCO LARET SUTER & ASSOCIATES**  
 San Diego | Solana Beach | Orange County  
 Phone 858.259.8212 | www.plsaengineering.com





# Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division  
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

## General Information

Project/Property Address: 1602 S. Coast Highway

Assessor's Parcel Number: 153-112-01-00 Lot Area (acres or SF): 0.91 AC (39,639 SF)

Existing Use: Asphalt Parking Lot; Automotive Service Center; Motorcycle Service & Sales

Brief Description of Proposal:  
4- Story Building w/54 condominium units; on grade parking garage; Commercial Office Ground Floor

## Property Owner & Applicant Information

Owner Name: 1602 SCH, LLC; Brendan Foote; Managing Member

Phone Number & E-Mail Address: 619-840-7721 brendan@fabricinvestments.com

Applicant Name: Hall Land Company, Inc

Phone Number & E-Mail Address: 858-481-3310 x108 ssantacruz@hallmarkcommunities.com

### To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf: \_\_\_\_\_

Signature of Property Owner  
(or attach a Letter of Authorization)

### Requested Meeting Date/Time (please provide 2 options) - reference the Developer's Conference calendar for dates

1<sup>st</sup> choice date: 07/29/2020 Time preference:  9:30 am  10:30 am  either

2<sup>nd</sup> choice date: 08/12/2020 Time preference:  9:30 am  10:30 am  either

### Requested Divisions to Attend (Planning attends all meetings)

Building  Fire  Water  Engineering  Transportation  Solid Waste  Other Neighborhood Services

### Email the following documents in PDF to Tiffany Chen, tchen@oceasideca.org

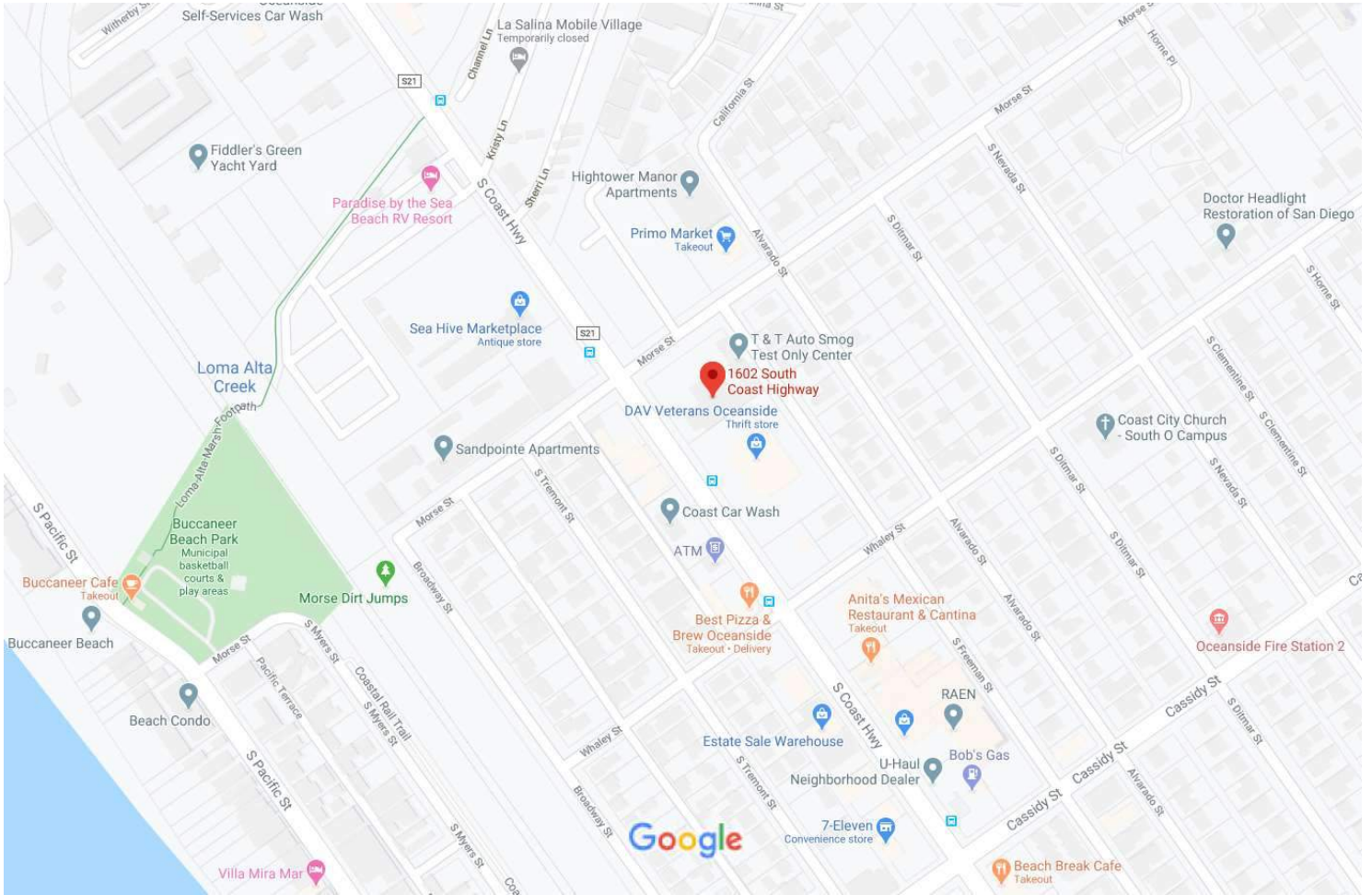
- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

To be completed by City staff:

Assigned meeting date: \_\_\_\_\_ Time: \_\_\_\_\_

Assigned Project Planner: \_\_\_\_\_

# Google Maps 1602 S Coast Hwy



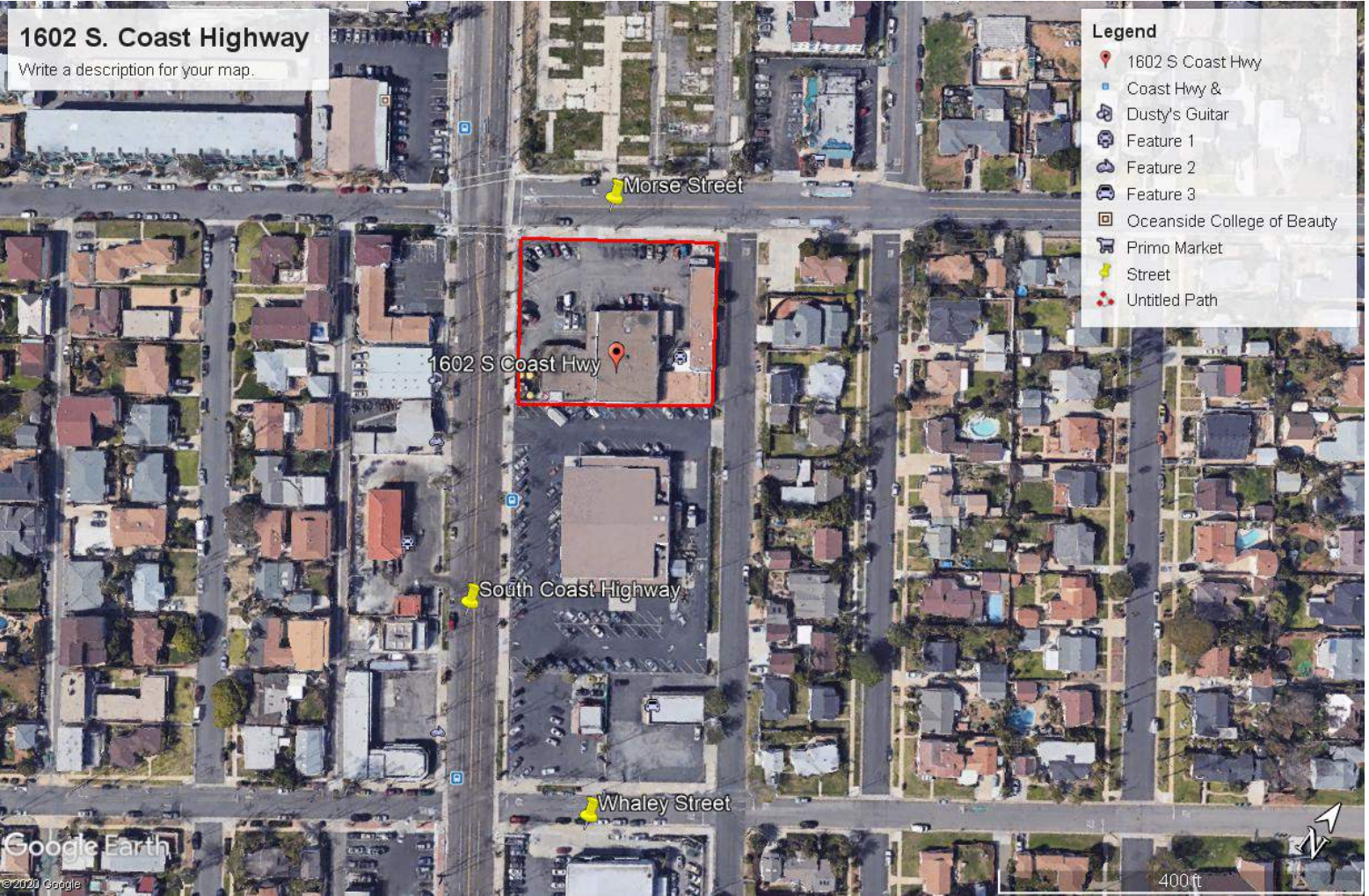
Map data ©2020 Google 200 ft

# 1602 S. Coast Highway

Write a description for your map.

## Legend

- 1602 S Coast Hwy
- Coast Hwy &
- Dusty's Guitar
- Feature 1
- Feature 2
- Feature 3
- Oceanside College of Beauty
- Primo Market
- Street
- Untitled Path



# OH Underground Exhibit

Write a description for your map.

## Legend

- 1602 S Coast Hwy
- Coast Hwy &
- Dusty's Guitar
- Feature 1
- Feature 2
- Feature 3
- Oceanside College of Beauty
- Primo Market
- Street
- Untitled Path



# 1602 S. COAST HIGHWAY

## PROJECT DESCRIPTION

**Applicant:** Hall Land Company, Inc.

Attn: Sean Santa Cruz- Vice President of Planning and Development

740 Lomas Santa Fe Drive Suite 204

Solana Beach, CA 92075

(858) 481-3310 x108

[ssantacruz@hallmarkcommunities.com](mailto:ssantacruz@hallmarkcommunities.com)

**Address:** 1602 S. COAST HIGHWAY OCEANSIDE, CA

**APN:** 153-112-01

**Legal Description:** LOTS A, B, C, K, L AND M IN BLOCK 23 OF SOUTH OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO ACCORDING TO MAP THEREOF NO. 622 FILED IN THE COUNTY RECORDER'S OFFICE OF SAN DIEGO COUNTY, FEBRUARY 7, 1890. ALSO THAT PORTION OF THE ALLEY CLOSED TO PUBLIC USE LYING BETWEEN LOTS A, B, C AND LOTS K, L, M. & LOTS A THRU C & K THRU M IN BLOCK 23 TRACT 622

**Total Acreage:** Property: 0.91 acres (approximately) (39,639 SF)

**General Plan Land Use:** Coastal General Commercial

**Zoning:** C-2/CZ

**Density:** Residential: 1 du per 1,000 SF Lot Area. Forty (40) base units permitted. (Section 1140 (Q)(3))

**Density Bonus Project Proposed:** The project is proposing to utilize the Density Bonus program to allow for a density increase over the maximum allowable residential density allowance under the applicable C-2 zoning. For 40 base units, 11% Very Low Income affordable units (5 units required) for a 35% density bonus resulting in a total of 54 units permitted for the site. Waivers, concessions, and incentives pursuant to State Density Bonus Law will be requested as needed to address potential issues identified in regards to the overall design of the project and compliance with current zoning rules and regulations.

**Coast Highway Vision Plan:** Not in any District or Node

**Transit Priority Project:** The proposed project is a Transit Priority project since it is located 0.4 mile from the Coast Highway Sprinter Station, a Major Transit Stop that is identified in the SANDAG and City of Oceanside regional transportation plan.

**VMT Analysis:** Since the project is located 0.4 miles from the Coast Highway Sprinter Station and meets the definition of a Transit Priority Project and is consistent with the General Plan at the time of project application, the project will be Screened Out from VMT analysis. A Local Transportation Analysis may be required based on the estimated project ADT of 390 ADT (54 x 6 (multi-family 20 du/ac +) = 324 ADT) + (3,300 SF/1,000 SF (Standard Office) x 20 ADT= 66 ADT).

**Existing Site:** The existing site consists of automotive and motorcycle service centers with associated parking lots.

**Adjacent Properties:**

North: Multi-Family Residential (Morse Street Townhomes) & Morse Street and Commercial (NE)

South: Commercial

West: South Coast Highway & Commercial - Motel and Retail

East: Single Family & S. Freeman Street & Professional Commercial

**Setbacks:**

Required	Proposed
Front (S. Coast Highway): 50' from Centerline	50' from Centerline
Side (Interior): 0'	5'
Corner Side (Morse Street): 10'	10'
Rear (Freeman Street): 0'	5' (Landscaped Setback Area)

**Right-of-Way on South Coast Highway:** Will there be any additional dedication required along South Coast Highway for this property? An additional 2' Right-of-Way dedication along South Coast Highway was required for the Morse Street Townhomes Final Map. No. 16194 The current South Coast Highway ROW along the property frontage is 80 feet.

**Height:**

Required	Proposed (See Partial Section on Sheet 1.4 of Plans)
45'/4 stories	4 Stories (Roof Top for Condensers, Venting, & Solar Panels only) 44'4" to Finish Floor of Roof 47'10" to Top of Elevator & Parapet/Architectural Enhancement/Projections around Building

\*Section 3018 Exceptions to Height Limits Item B(1)(4) Structures Subject to Discretionary Review allows for certain structures to exceed applicable base zoning district limits by no more than 10 feet if determined to be in compliance with 3018 B provisions. The proposed elevator and architectural building design elements and articulation meets the criteria and does not provide any living area or accessible rooftop deck that can be occupied.

**Conditional Use Permit for Residential Dwellings:** The project requires a Conditional Use Permit to allow for residential units within the C-2/CZ zone and the project meets the criteria outlined Section 1140 (Q) Items 1 thru 5 to permit the granting of such approval for the project.

**Description of Project:** A Tentative Map, Development Plan, Conditional Use Permit (for residential within the C-2/CZ Zone), Regular Coastal Permit, and Density Bonus Agreement to allow for the development of fifty-four (54) condominium units and 3,300 SF of Commercial Office Space. The project is proposed as a four (4) story podium style building. The 1st floor will have commercial office space, lobby/entrance/stairs/elevators, parking, trash enclosures, utility room, electrical room, and a bicycle/storage room; condominium units will be on the 2<sup>nd</sup>, 3<sup>rd</sup>, and 4<sup>th</sup> floors of the building with a common area courtyard on the 2<sup>nd</sup> floor podium deck. The project will install solar panels on the roof to service each unit and all air conditioners for each unit will be located on the roof as well with access via built-in ladder/handles affixed to the building on the 4<sup>th</sup> floor allowing for access to the roof areas for maintenance.

Access to the project site would be off a new twenty-four (24) foot wide private driveway on S. Freeman Street leading to the covered ground floor parking for commercial office employees, residents and guests. Two (2) trash/recycling/green waste enclosure and landscape improvements are proposed as well.

Access to the condominium units would be via two (2) common stairways and two (2) common elevators for the building located off of S. Coast Highway and S. Freeman Street. Access to the commercial office spaces will be located along S. Coast Highway and Morse Street. Each residential unit would have either a single or two levels (townhome) of habitable space and a combination of private balconies/patios on all units.

**S. Coast Highway Improvements:** The project proposes to follow the same improvement requirements as were implemented on the Public Improvements Plans for the Morse Street Townhomes (R16-00026) in regards to South Coast Highway. The project will sawcut, grind, and overlay 2" minimum AC for thirty-two (32) feet (to the centerline) along its frontage and up to the centerline at the Morse Street and S. Coast Highway intersection. The existing concrete driveway providing access to the site will be removed and new curb, gutter, and sidewalk will be installed in its place. All existing curb, gutter, and sidewalk will remain as is unless directed by the public works inspector to replace damaged panels and/or curb and gutter as needed. The existing palm trees shall remain as well. New SDRSD D-25 curb outlets or D-27 sidewalk under drains shall be installed to handle the drainage from the site from the landscape and raised BMP planter areas as shown on the plans. If BMP Tree Wells are required due to the proposed improvements they will be installed subject to the City's review and direction for storm water management. A two (2) foot right-of-way dedication to the City of Oceanside is called out on the plans to match the required dedication provided by the Morse Street Townhomes project per Final Map 16194. If that dedication is not needed on this particular property we ask Staff to confirm as part of the review process.

**Morse Street Improvements:** The project proposes to follow the same improvement requirements as were implemented on the Public Improvements Plans for the Morse Street Townhomes (R16-00026) in regards to Morse Street. The project will sawcut, grind, and overlay 2" minimum AC for the remaining twenty-five (25) feet (to the centerline) along its frontage that was not completed by the Morse Street Townhomes project. This will match the limits as shown on the public improvement plans for the Morse Street Townhome project which goes up to the centerline on S. Freeman Street. The two (2) existing concrete driveways will be removed and new curb, gutter, and sidewalk will be installed in its place. All existing curb, gutter, and sidewalk will remain as is unless directed by the public works inspector to replace damaged panels and/or curb and gutter as needed. The existing streetlights, signs, and SDG&E transformers shall remain as well. New SDRSD D-25 curb outlets or D-27 sidewalk under drains shall be installed to handle the drainage from the site from the landscape and raised BMP planter areas as shown on the plans. If BMP Tree Wells are required due to the proposed improvements they will be installed subject to the City's review and direction for storm water management.

Water shall be provided via the existing 10" AC Water Main per DWG No. W-763 and Sewer shall be provided via the existing 12" PVC Sewer Main installed by the Morse Street Townhomes project per Public Improvement Plans R16-00026.

A new 6" or 8" PVC private sewer main/lateral shall be installed to service the project and connect to the existing sewer manhole on Morse Street located at the entrance of the Morse Street Townhomes project. Cleanouts will be added within the parking garage as needed along with a media/sand filtration inlet as needed.

A new Master Water Service & Meter for the residential units and a new Master Water Service & Meter for the commercial office space shall be installed along with the required backflows to provide domestic potable water for the residential and commercial areas of the development. Additionally, a new irrigation service, meter, and backflow shall be installed for the proposed ground floor landscape and raised BMP planters along S. Coast Highway, Morse Street, and S. Freeman Street. No Fire Hydrants are required as there are two (2) existing Fire Hydrants located at the corners of S. Coast Highway/Morse Street and Morse Street/S. Freeman Street to provide service to the proposed development. A new Fire Service and Double Check Detector Assembly (DCDA) shall be installed off of Morse Street as well to provide fire sprinkler service to both the residential and commercial sprinkler system proposed for the development.

**S. Freeman Street Improvements:**

The project proposes to install a new five (5) foot sidewalk made of 4" PCC over 6" Class II AB and new 6" Type "G" Curb and Gutter along the project frontage. A new twenty-four (24) foot PCC driveway and approach shall be installed at the entrance of the project to provide access to the parking garage. The existing AC pavement in S. Freeman Street along the project frontage appears to be in bad shape and shall be removed and replaced (half + 12 feet after the pavement is cored to confirm it is deficient) with new 3" AC over 6" AB in S. Freeman Street along the project frontage. If the existing concrete cross gutter at the intersection of S. Freeman Street and Morse Street needs to be removed

and replaced the project will perform the work. New BMP Tree wells will need to be added along S. Freeman Street due to the removal of the existing AC and replacement with new AB (if required) and will be installed accordingly. A landscaped parkway will be installed behind the new sidewalk within the existing right-of-way as well.

**Overhead/Dry Utilities:**

There are existing overhead utility lines (SDG&E, AT&T, Cox Communications) along the S. Freeman Street frontage of the project. There is one existing overhead pole at the southern property line and one in the middle of the property along S. Freeman Street per the Overhead Underground Exhibit. As shown on the Site Plan and Overhead Underground Exhibit, the existing overhead pole at the southern property line along S. Freeman Street shall remain in place as those lines continue south and east along S. Freeman Street in order to provide service to the surrounding area. A new guy wire heading north shall be installed to stabilize the pole. The existing overhead pole in the middle of the property shall be removed in order to accommodate the new project driveway entrance. The existing overhead electrical services to the existing buildings on the site shall be removed and the existing services that cross S. Freeman Street to the east shall be placed underground to the existing poles and homes. The existing phone/cable poles on the east side of S. Freeman Street shall remain.

**Storm Water/Drainage:** Drainage along S. Coast Highway and Morse Street is conveyed via existing concrete curb and gutters along the property frontage and then crosses an existing cross gutter at the intersection of Morse Street and S. Coast Highway to an existing inlet that connects to an existing 36" Storm Drain per City DWG. S-7220. There is no existing curb and gutter along S. Freeman Street and as such water is conveyed via a dirt swale along the asphalt edge.

The project will be classified as a Priority Development Project (Major) and the required compliance with the SUSMP and the generation of a Priority SWMP would be required for the project. Additionally, the project shall be subject to Hydromodification since all project water is discharged into the Loma Alta Creek which is not an exempt body of water prior to discharging into the Pacific Ocean.

Infiltration tests shall be performed on the project site however due to the results found on other projects in the area it is not likely that infiltration will be possible.

All treatment and storage would be met via a combination of permeable pavers, landscaped areas, and raised BMP Planters. The raised BMP Planters will be 42" high and range in depths of 5 feet to 9 feet and will range in lengths of 20 feet to 70 feet as shown on the conceptual site plan. All roof drains, area drains, and landscape areas will drain via private storm drain systems for the project which shall be installed in one or more locations on the property as shown conceptually on the Site Plan and shall drain via D-25 curb outlets and/or D-27 sidewalk underdrains along S. Coast Highway and Morse Street. One (1) to Four (4) Street Tree Wells per SDCDS GS-1.18 and GS1.1A with select soil shall be installed on S. Freeman Street to treat the S. Freeman Street storm water due to street improvements along the S. Freeman Street frontage. Street Tree Wells will be added along S. Coast Highway and Morse Street as needed based on the aforementioned improvements however it is anticipated a de minimus finding can be made for the associated improvements along both streets that would negate the need for tree wells.

**Parking and Vehicle Circulation:** The private driveway would provide access from S. Freeman Street to a covered parking structure with parking spaces/stalls for residents, guests, and commercial office employees. The project proposes a total of fifty-four (54) condominium units consisting of nine (1) one bedroom units, twenty-seven (27) 2 bedroom units and eighteen (18) three bedroom units.

Based on the parking requirements per Section 1140 C-2/CZ Property Development Regulations (Q)(4) the project is required to provide one parking space for each dwelling unit for the residential component of the project for a total of fifty-four (54) parking spaces. For the Commercial Office at 3,300 SF, the project is required to provide 1 parking space per each 300 SF for a total of eleven (11) parking spaces. The total parking spaces required for the project is sixty-five (65) and the project is proposing to provide seventy-four (74) parking spaces. There will continue to be parking along the Morse Street and S. Freeman Street frontage as well. Although not required, the project is providing three (3) motorcycle parking spaces along with additional bicycle parking over and above the required 3.25 spaces required per Section 3108 (B). A bicycle/storage room of 570 SF is included as an amenity for both the residential and commercial office space at the lobby entrance off of S. Coast Highway.

Additionally, the project is compliant with Section 3032 Affordable Housing Density Bonus (L)(2), as the proposed project includes the maximum percentage of very low income units provided for in paragraphs (1) and (2) of Section 3032(C) (i.e. 11% very low income) and is located within 0.5 mile of a major transit stop and there is unobstructed access to the major transit stop (i.e. sidewalks) from the project site. As such, and upon request of the developer, the City shall not impose a vehicular parking ratio, inclusive of handicapped and guest parking that exceeds 0.5 spaces per bedroom.

Unit Type	# of Bedrooms	# of Units	0.5 space per Bedroom
A	1	9	4.5
B	2	27	27
C	3	18	27
Total			58.5 (round up) 59 spaces required

**Landscape:** The project will provide a combination of groundcover, shrubbery, and tree species consistent with the City’s Landscape Design Manual and approved street tree list within the front, rear, and corner side setback on S. Coast Highway, Morse Street, and S. Freeman Street. Landscaping will be provided in the raised BMP Planters as well and shall be consistent with both the storm water and City of Oceanside requirements for planting within BMP planter areas. A new irrigation meter shall be installed off of Morse Street to provide service to the common area landscaping as previously discussed.

**Inclusionary Housing:** The project is utilizing the State Density Bonus program and providing five (5) very low income units or 11% in order to utilize a 35% density bonus. As such, no inclusionary housing in-lieu fee is required and the project meets its inclusionary housing requirements by constructing the five (5) units onsite.

**Reclaimed Water In-Lieu Fee:** The project shall pay the required Reclaimed Water In-Lieu Fee for the length of its frontage along S. Coast Highway per the Utilities Department's requirements. Morse Street and S. Freeman Street shall not be charged a reclaimed water in-lieu fee per Bryan Kallenbaugh.

**Trash/Recycling:** The project will provide two (2) common trash enclosures that would provide a total of one (1) trash, one (1) recycling, and one (1) green waste bin for the residents and commercial office in each enclosure. However, since the City now requires a food waste/composite bin, the project is proposing to remove the green waste bin due to the fact that landscape maintenance of the site will be by contract between the future HOA and Landscape Contractor whereby all green waste will be hauled offsite and therefore a dedicated green waste bin is not needed. The project is proposing to swap the green waste bin placement in the enclosure with the food waste/compost bin. The enclosures would be placed within the parking structure just off the entry driveway and at the southern property line as shown on the Architectural Site Plan in order to provide access for Waste Management to roll out the bins into the private driveway and onto S. Freeman Street on a weekly basis. Distance between the bins and the units would be less than the maximum 150'. Clearances are maintained in front of the enclosures as required by the Refuse and Recycling Enclosures handout and Waste Management Guidelines. Frequency of pickups would be increased per week to allow for the use of only two (2) bins for the Development.

**Walls/Fencing:** The project is not proposing to install any walls or fencing at this time other than the parking structure itself and the raised BMP planters along S. Coast Highway and Morse Street which will be treated with stone or brick veneer.

**Architecture:** The architecture of the building would be an urban beach design with more articulated facades and a variety of finish materials, including stucco, fiber cement siding, stone veneer, decorative rails, metal brackets, metal awnings, and flat roofs. Additionally, it would include balconies/decks, furred-out wall sections, window trim, and score lines.

**Floor Plans:** As previously mentioned, the project is proposing a total of fifty-four (54) condominium units consisting of nine (9) 1 bedroom units (900 SF), twenty-seven (27) two bedroom units (1,165 SF), and eighteen (18) three bedroom units (1,410 SF). The Commercial Office will consist of three (3) spaces ranging from 900 SF to 1,200 SF.

**Exhibits Provided:**

- 1) Plat Map
- 2) Aerial Image
- 3) Vicinity Map
- 4) Site Plan/Architectural Plan/Building Height Section
- 5) Overhead Utility/Underground Exhibit

## **STAFF QUESTIONS:**

### **PLANNING DEPARTMENT:**

- 1) Will the City support the proposed four (4) story “podium” style building where access to the condominium units will be off two common stairways and elevators on the 2<sup>nd</sup> thru 4<sup>th</sup> floors?
- 2) Will the City support a Conditional Use Permit for the construction of the fifty-four (54) residential units as a secondary use to the commercial office space in the C-2/CZ zone?
- 3) Please review the proposed Building Height Partial Section on Sheet 1.4 of the plans. Will the City support the height exceedance of 2’-10” to a total height of 47’-10” for the proposed parapet/architectural projection/elevator overhead clearance as allowed in Section 3018 Exceptions to Height Limits Item B(1)(4) or will the project be required to be at the 45’ height limit with no exception to heights? If required to comply, can a density bonus concession, incentive, or waiver be utilized to allow for this exceedance under the provisions of Section 3018 (B)(1)(4)?
- 4) The current auto uses treat S. Freeman Street as a rear yard or alley with 0’ setback. Will the Planning Department be treating the project site as if it has dual frontage on both S. Coast Hwy and S. Freeman Street? If so, and front yard setbacks would be required off of S. Coast Highway and S. Freeman Street would staff support the use of a wavier/concession/incentive as part of the Density Bonus to lessen the setback to the proposed 5’ foot off of S. Freeman Street?
- 5) Will the Planning Department be treating the Morse Street setback as a corner side setback of 10 feet as shown on the plans?
- 6) Is there a minimum ground floor commercial office space height that the City will require for the project or is the proposed 12 feet adequate?
- 7) Is the City ok with the with the proposed size, design, and total SF of Commercial Office space proposed along S. Coast Highway and Morse Street?
- 8) Please confirm in conjunction with the Traffic Department that the parking calculations are correct for the project as described in the Parking and Vehicle Circulation paragraph of the Project Description.
- 9) Please confirm that the length, depth, height and overall design of the raised BMP planters within the front yard and corner side setback are acceptable to the Planning Department along with any concerns about the landscape plantings within the proposed setbacks for the project. If there is an issue, can a density bonus concession, incentive, or waiver be utilized to allow for the raised BMP planters to located as designed?

### **ENGINEERING DEPARTMENT**

- 1) Will the City require the project to provide a 2 foot right-of-way dedication along the S. Coast Highway frontage as was required for the Morse Street Townhomes project across the street per Final Map No. 16194 (T13-00008)?
- 2) Please confirm if the proposed improvements as detailed in the Project Description sections above are correct for S. Coast Highway, Morse Street, and S. Freeman Street or if other improvements will be

required for each of the streets surrounding the project that differed from the Morse Street Townhome project.

3) Please confirm if the proposed overhead utility underground plan as described above and shown in the Overhead Underground Exhibit is acceptable and/or if an in-lieu fee will be required for the lines on the east side of S. Freeman Street for the AT&T & Cox lines due to the physical limitations that would prevent them from being placed underground along the frontage. If required, please provide the LF cost for the phone and cable in-lieu fee.

4) Please confirm if the proposed Storm Drain BMP raised planters and curb outlets and sidewalk underdrain setup will be acceptable to the Engineering Department or if the City will require a hard connection to the existing storm drain pipe in either Morse Street or S. Coast Highway. Will any additional improvements be required to the existing storm drain improvements in S. Coast Highway and Morse Street as well?

5) Will the existing cross gutter at Morse Street and S. Freeman Street be required to be removed and replaced?

6) If BMP Tree Wells are required along any of the frontage streets, will the City have any issue with the placement of them on any of the streets?

#### **TRAFFIC DEPARTMENT**

1) Please confirm that the single lane roundabout considered at Morse Street has been removed from the Coast Highway Corridor Study/Master Plan as approved by City Council.

2) Please confirm in conjunction with the Planning Department that the parking calculations are correct for the project as described in the Parking and Vehicle Circulation section of the Project Description.

3) If BMP Tree Wells are required along any of the frontage streets, will the City have any issue with the placement of them on any of the streets?

4) Please review and confirm that the project is located 0.4 miles from the Coast Highway Sprinter Station and meets the definition of a Transit Priority Project and is consistent with the General Plan at the time of project application resulting in the determination that the project will be Screened Out from VMT analysis. Will a Local Transportation Analysis be required based on the estimated project ADT of 390 ADT (54 x 6 (multi-family 20 du/ac +) = 324 ADT) + (3,300 SF/1,000 SF (Standard Office) x 20 ADT= 66 ADT)?

#### **UTILITIES DEPARTMENT**

1) Will the City require a sewer upsized from manhole to manhole specifically on S. Coast Highway and S. Freeman Street as Morse Street has already been upsized to a 12" PVC main? The existing sewer mains in both S. Coast Highway and S. Freeman Street are 8" VCP. This is a costly endeavor so the project will

need to know at this time if it has to factor in the costs for this work. Can the in-lieu fee be paid instead of performing the actual work if required?

2) The project is proposing a sewer connection to the existing manhole on Morse Street as required by the Utilities Department. However, there is a previous comment from an earlier review that states the commercial must have its own lateral separate from the residential. Does that mean we need to have another connection in Morse Street just for the commercial or can we run laterals from the commercial space to the sewer in the parking garage that then connects to the manhole in Morse Street? Need clarification on these requirements and parameters for connection.

3) Do we need a separate fire service and DCDA for the residential and commercial or can they be combined into one for the entire project since both will be an NFPA 13 Commercial System?

4) Please confirm we will receive a 2" water connection credit and a 2" sewer connection credit for the project. As of now the current credit for the 2" Water would be \$73,769.00 and \$62,354.00 for the sewer.

#### **FIRE DEPARTMENT**

1) Please confirm that the two existing fire hydrants at the corners of S. Coast Highway/Morse Street and Morse Street/S. Freeman Street area adequate for the project and that no new fire hydrants will be required to be installed as part of the project.

#### **WASTE/RECYCLING**

1) Will the City support the use of two (2) enclosures to service the fifty-four (54) residential units and 3,300 SF commercial office space provided that the frequency of weekly pickups is increased? Will the City support the deletion of the green waste bin for the reasons described in the Trash/Recycling section of the Project Description and allow for the food waste/compost bin to take its place?

2) Will Waste Management be ok with accessing the bins and rolling them out to S. Freeman Street for pickup? Will they require a ramp to S. Freeman Street for the trash enclosure closest to the southern property line on S. Freeman Street?

#### **AFFORDABLE HOUSING**

1) Do the 5 very low income affordable units being built satisfy ALL of the inclusionary housing requirements of the City and thus no additional fee will be required on top of the 5 units being constructed?

2) Please provide some information on the Monitoring Fees if applicable that would be required annually for the project if it is a rental? Please provide an estimate of the for-sale amount and rental amount that could be charged for the five (5) very low income units based on the City's calculation under the Inclusionary Housing provisions.



1602 S. COAST HIGHWAY  
OCEANSIDE, CA

## SITE OVERLAY

**HALL LAND COMPANY, INC.**  
740 LOMAS SANTA FE DRIVE, SUITE 204  
SOLANA BEACH, CALIFORNIA 92075



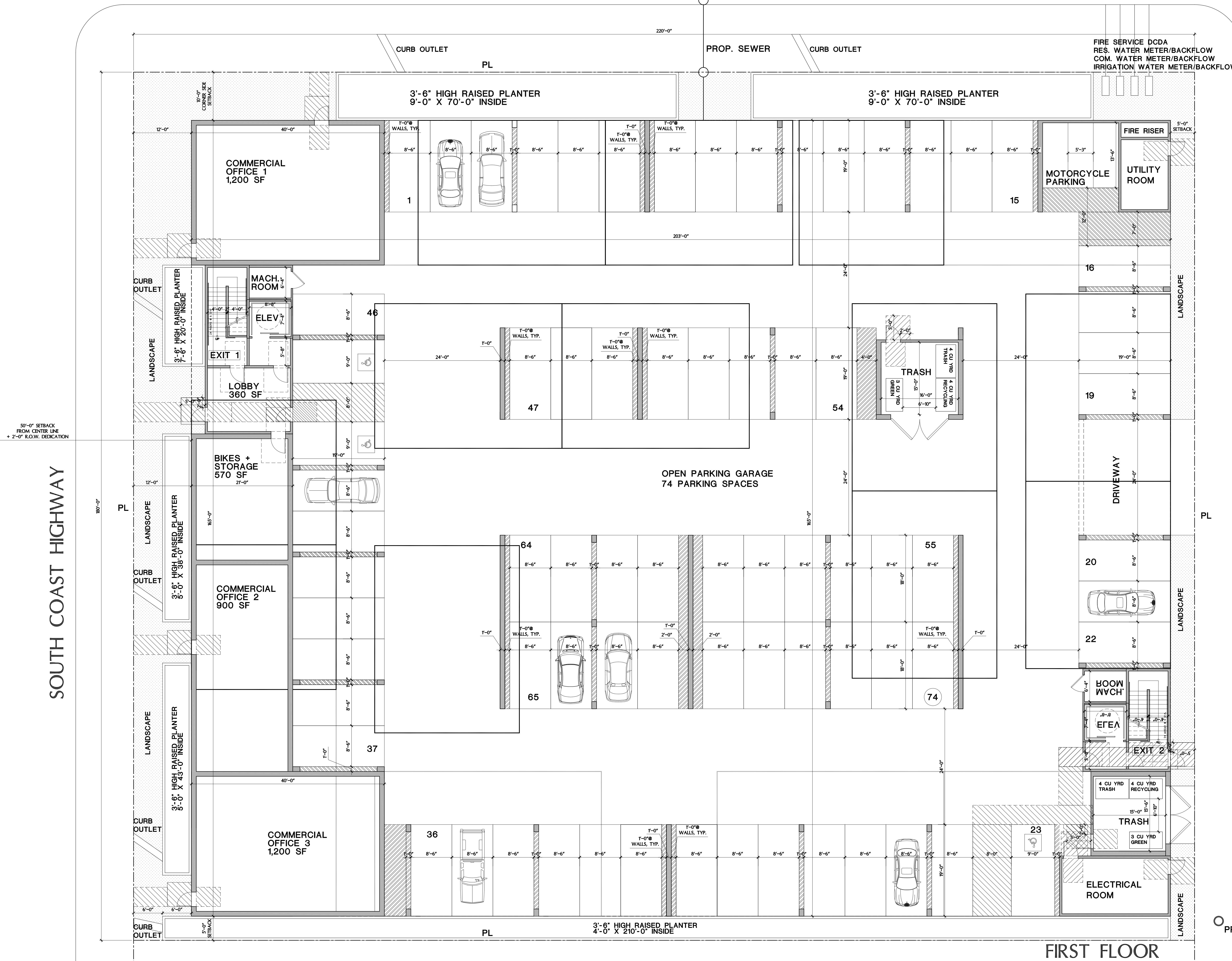
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07/01/20  
20012

**FLAIR**  
ARCHITECTS

FLAIR ARCHITECTS, INC.  
ARCHITECTURE • PLANNING • INTERIOR DESIGN  
470 WALD, IRVINE, CALIFORNIA 92618-4638  
(949) 789-7535 FAX (949) 789-7540

1.1

MORSE STREET



UNIT MIX			
NAME	TYPE	SIZE	# PER BLDG.
A	1 BED, 1 BATH	900 SF	9
B	2 BED, 2 BATH	1,165 SF	27
C	3 BED, 2 BATH	1,410 SF	18
			UNITS 54 TOTAL*
* 5 AFFORDABLE UNITS WILL BE PROVIDED			

PARKING REQUIREMENTS		
RESIDENTIAL UNITS	1 SPACE PER UNIT	
54 UNITS	54 UNITS	54
COMMERCIAL SPACE	1 SPACE PER 300 SF	
3300 SF	11	11
TOTAL REQUIRED		65
TOTAL PROVIDED		74

- WALLS/STRUCTURE
- ACCESSIBLE ROUTE
- 1 FOOT CLEAR SPACE

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 OCEANSIDE, CA  
**HALL LAND COMPANY, INC.**  
 740 LOMAS SANTA FE DRIVE, SUITE 204  
 SOLANA BEACH, CALIFORNIA 92075

PRELIMINARY BUILDING PLAN

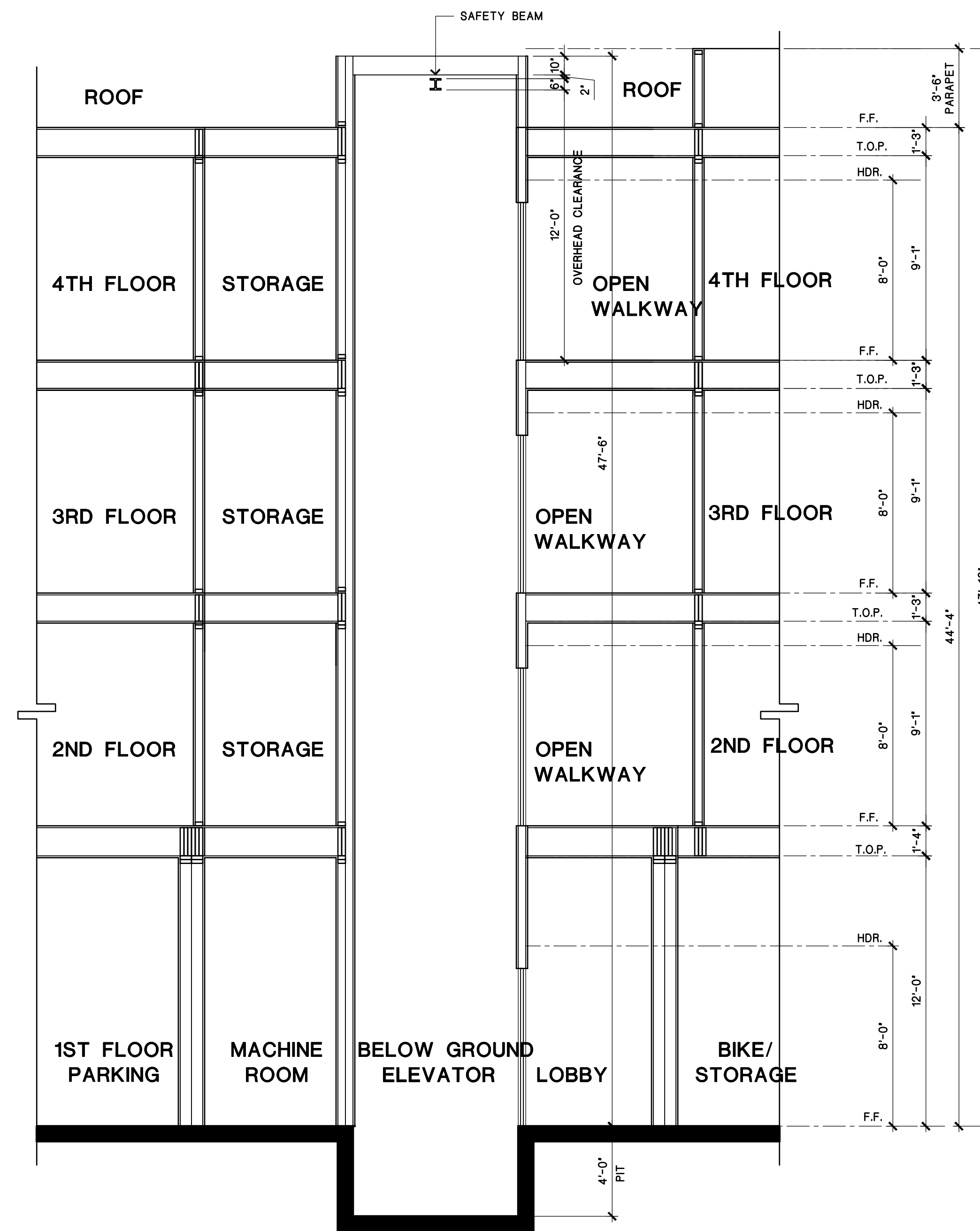


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 07/01/20  
 20012

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 ARCHITECTURE • PLANNING • INTERIOR DESIGN  
 470 WALD, IRVINE, CALIFORNIA 92618-4638  
 (949) 789-7535 FAX (949) 789-7540

1.2





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740 LOMAS SANTA FE DRIVE, SUITE 204  
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PARTIAL SECTION

SCALE : 1/4"=1'-0"  
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20012

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ARCHITECTURE • PLANNING • INTERIOR DESIGN  
470 WALD, IRVINE, CALIFORNIA 92618-4638  
(949) 789-7535 FAX (949) 789-7540

1.4