

¹AGENDA
OCEANSIDE DEVELOPER'S CONFERENCE

Wednesday, October 21, 2020

Reviewers- Please complete the Developer's Conference comment sheet template and attach to the TRAKiT record by end of day Tues, 10/20/20.

1. 9:30 - 10:30 am SKYPE teleconference

Proposed 3-story two-unit condominium development on a 0.08-acre lot located at 212 S Pacific Street. [ADM20-00064]

Zoning: D-5A (Downtown District Sub-district 5A)
Land Use: Downtown
Neighborhood Area: Townsite
Assessor Parcel Number(s): 150-074-24
Contact Person: Omar R. Aljazzar
Email: rjazzar1@gmail.com

2. 10:30 - 11:30 am SKYPE teleconference

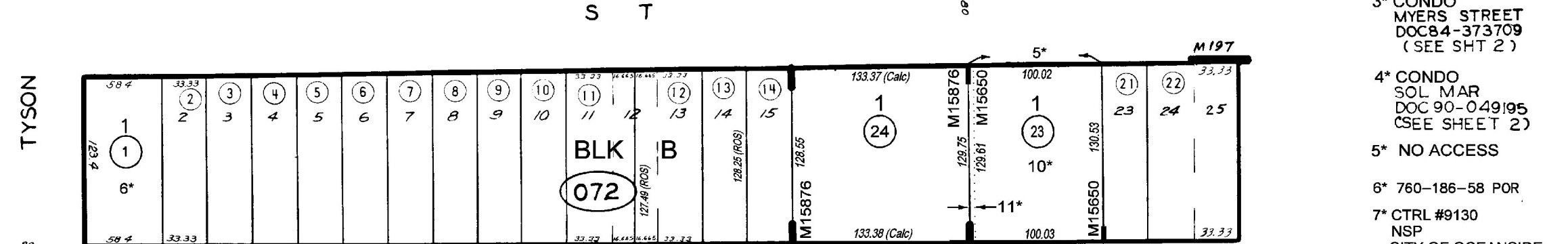
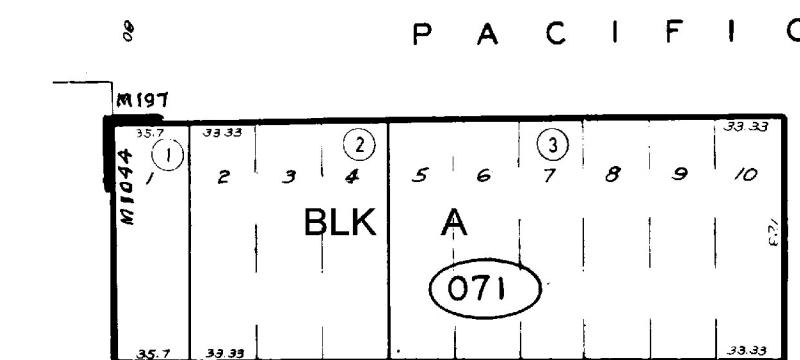
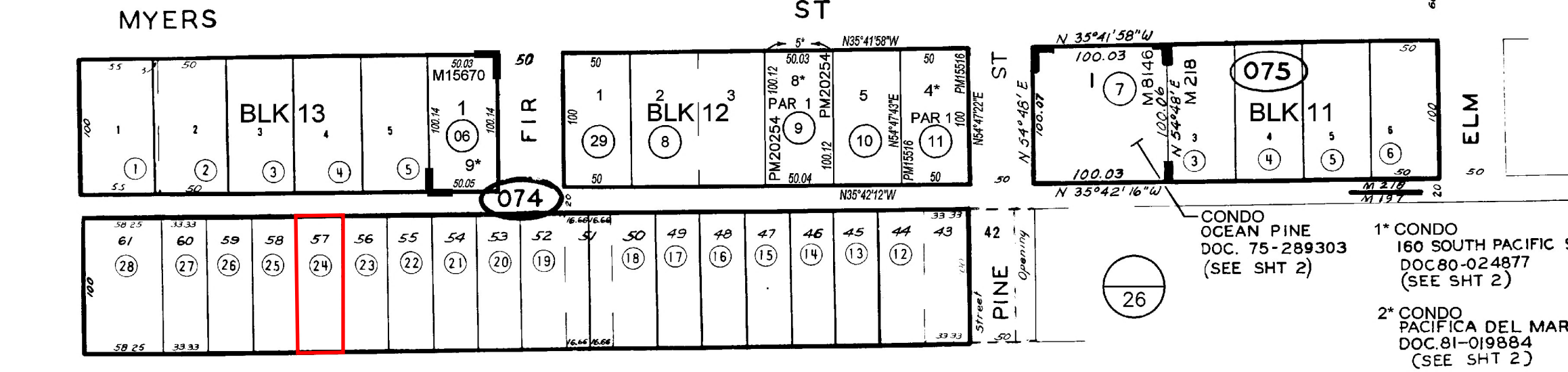
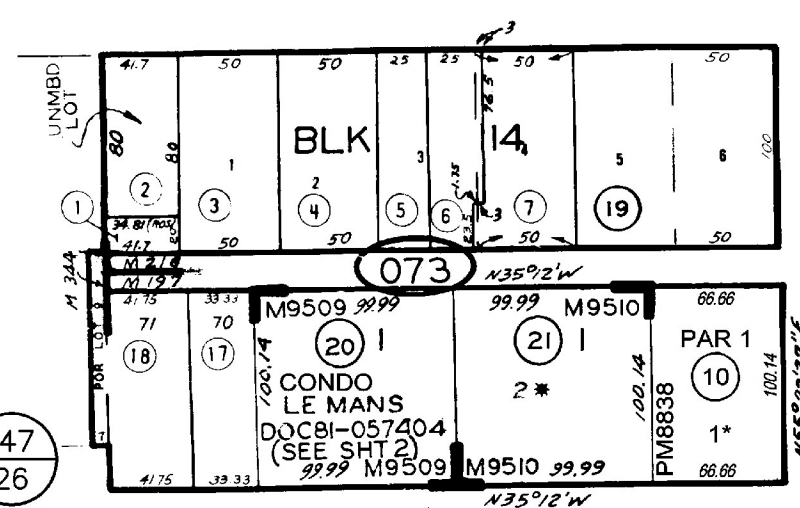
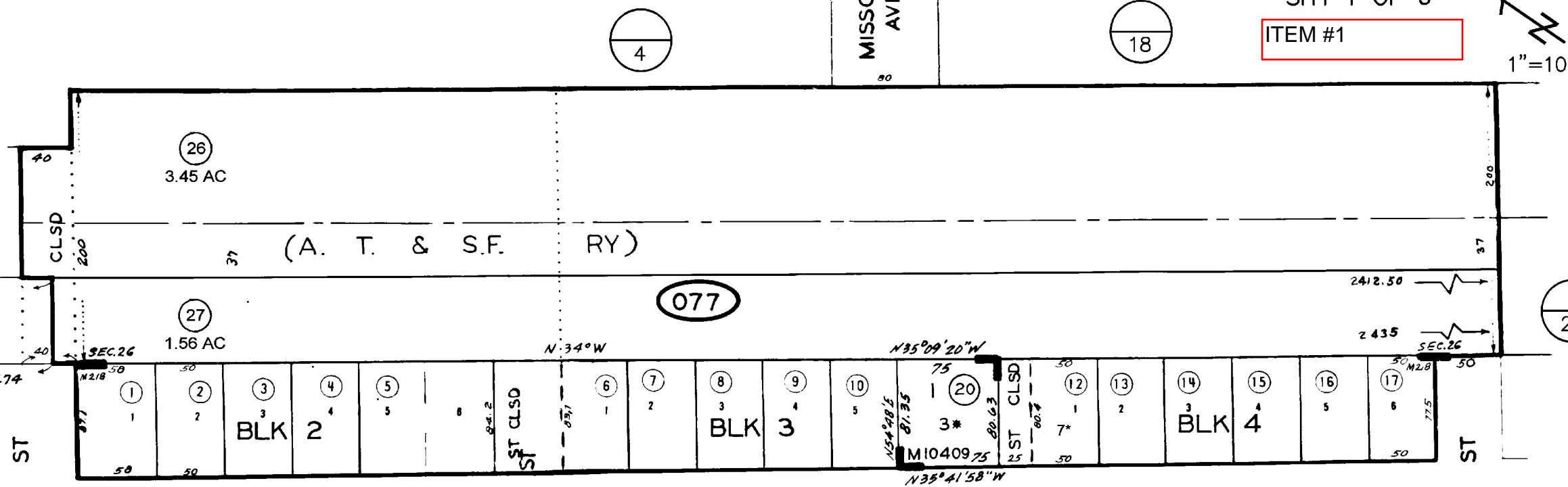
Proposed development of a 48-unit Senior Apartment project within a two-story 52,000 square foot building on a 1.99-acre vacant parcel. [ADM20-00065]

Zoning: OS (Open Space)
Land Use: Open Space
Neighborhood Area: Mira Costa
Assessor Parcel Number(s): 165-350-04
Contact Person: Nick Bowman
Email: nickbowman@sbcglobal.net

¹ *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*

BLK	OLD	NEW	YR	CUT
073	849	19	72	7180
075	162	7	76	65
075	7	APP ONLY	76	5862
075	7	CONDM	79	401
073	14-16	20	80	365
073	11-13	21	80	366
073	10	CONDM	81	692
073	21	CONDM	82	540
074	74 SUB 123	29	82	2100
073	20	CONDM	82	591
077	11	20	83	54
076	1-7	147-350	84	10064
077	20	CONDM	85	715
077	18 & 19	SAME	86	5593
077	18 & 19	21-24	90	2382
074	11	CONDM	90	646
077	24	253 POR 127-350-10	91	1467
074	9	SAME & ACC RTS	07	5517
072	18-20	23	08	150
074	6	CONDC	09	550

BLK	PRIOR APN	NEW APN	YR	CUT NO
072	05	05 & SIDS 01-06	09	1679
072	05 & SIDS 05 & 06	05 & SID 07	09	1692
072	23	CONDO	12	514 CC
077	21 & 22 & 23 & 25	26 & 27	12	1130
072	15-17	24	13	23



THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

- THE STRAND
- MAP 15876 - SOUTHSTRAND CONDOMINIUMS
 - MAP 15670 - MYERS STREET CONDOMINIUMS
 - MAP 15650 - 400 SOUTH THE STRAND
 - MAP 10409 - MYERS STREET CONDOMINIUMS
 - MAP 9510 - PACIFICA DEL MAR (CONDM)
 - MAP 9509 - LE MANS CONDOMINIUM
 - MAP 8146 - OCEAN - PINE CONDMS
 - MAP 1044 - TERRACE ANNEX
 - MAP 344 -- A. J. MYERS ADD
 - MAP 218 - TYSON'S ADD
 - MAP 197 - RIVERSIDE TERRACE
 - POR SEC 26 - T11S-R5W
 - ROS 3406, 19997
 - 10* CONDO 400 SOUTH THE STRAND DOC2008-0061688 (SEE SHT 3)
 - 11* 5' PUBLIC ACCESS
 - 1* CONDO 160 SOUTH PACIFIC ST. DOC80-024877 (SEE SHT 2)
 - 2* CONDO PACIFICA DEL MAR DOC.81-019884 (SEE SHT 2)
 - 3* CONDO MYERS STREET DOC84-373709 (SEE SHT 2)
 - 4* CONDO SOL MAR DOC 90-049195 (SEE SHEET 2)
 - 5* NO ACCESS
 - 6* 760-186-58 POR
 - 7* CTRL #9130 NSP CITY OF OCEANSIDE TCT TM NO T-202-04
 - 8* CONDO (PEND) SOMBRILLA DOC2007-0375113
 - 9* CONDO MYERS STREET DOC2008-0034003 (SEE SHT 3)

ES
7-29-69
SAN DIEGO COUNTY
ASSESSOR'S MAP
BOOK 150 PAGE 07 SHT 1 OF 2

PACIFIC OCEAN



Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

General Information

Project/Property Address: 212 S Pacific St. Oceanside CA 92504

Assessor's Parcel Number: 150-074-24-00 Lot Area (acres or SF): 3308 SF

Existing Use: existing single-family-residence to be demolished

Brief Description of Proposal:

CONSTRUCTION OF A NEW 3-STORY CUSTOM DUPLEX RESIDENCE

Property Owner & Applicant Information

Owner Name: Pacific Coast International Group, LLC.

Phone Number & E-Mail Address: (949) 877-6719

rjazzar1@gmail.com


Applicant Name: Omar R. Aljazzar

Phone Number & E-Mail Address: (949) 877-6719

rjazzar1@gmail.com

To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf:


Signature of Property Owner
(or attach a Letter of Authorization)

Requested Meeting Date/Time (please provide 2 options) - reference the Developer's Conference calendar for dates

1st choice date: WED, 10/21/20 Time preference: 9:30 am 10:30 am either

2nd choice date: _____ Time preference: 9:30 am 10:30 am either

Requested Divisions to Attend (Planning attends all meetings)

Building Fire Water Engineering Transportation Solid Waste Other _____

Email the following documents in PDF to Tiffany Chen, tchen@oceansideca.org

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

To be completed by City staff:

Assigned meeting date: _____

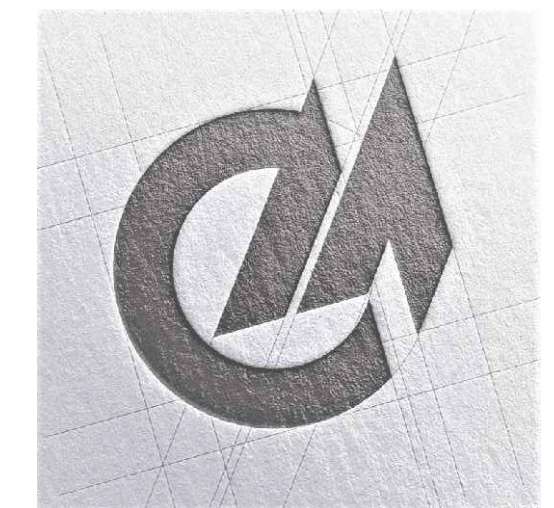
Time: _____

Assigned Project Planner: _____



**PROPOSED 3-STORY DUPLEX
DEVELOPMENT FOR :
AL-JAZZAR CONSTRUCTION
212 SOUTH PACIFIC STREET
OCEANSIDE, CA 92054**

PERSPECTIVES



EMAAR

ENGINEERING GROUP, INC.

18001 IRVINE BOULEVARD, STE.# 206,
TUSTIN, CA 92780
TEL. 714.606.3646



CONSULTANTS :

DESIGN CONCEPTS
SHIV TALWAR, ARCHITECT AIA
3340 RIVERSIDE DR. #M,
CHINO, CA 91710



DRAWING TITLE :
COVER SHEET /PERSPECTIVES

DATE	ISSUED
09/07/2020	1ST P.C. SUBMITTAL

JOB TITLE :	PROPOSED 3-STORY DUPLEX DEVELOPMENT
OWNER :	AL-JAZZAR CONTRUCTION GROUP
JOB ADDRESS :	212 S.PACIFIC ST. OCEANSIDE CA 92054

JOB NO. 2020-59

DWG. NO.	REVISION NO.
T100	0

PROPOSED 3-STORY DUPLEX DEVELOPMENT

AL-JAZZAR CONSTRUCTION

212 PACIFIC STREET OCEANSIDE, CA 92054

GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL HAVE WORKMAN'S COMPENSATION FOR ALL PERSONS WORKING ON THE JOB.
2. THE GENERAL CONTRACTOR SHALL PROVIDE LIEN RELEASES FOR ALL LABOR AND MATERIALS PAID FOR PRIOR TO RECEIVING THE NEXT INSTALLATION PAYMENT.
3. ALL WORK SHALL CONFORM TO THE CODES, REGULATION AND STANDARDS OF THE GOVERNING CITY, COUNTY AND STATE AGENCIES.
4. ALL MATERIALS SHALL BE PREMIUM GRADE QUALITY THROUGHOUT. NO SUBSTITUTION OF SPECIFIED MATERIALS ALLOWED WITHOUT CONSENT FROM THE ARCHITECT.
5. INSTALLATION OF ELECTRIC, TELEPHONE AND CABLE T.V. TO HOUSE SHALL BE BY CONTRACTOR.
6. THE GENERAL CONTRACTOR SHALL REPAIR OR REPLACE ANY ITEM DAMAGED DURING THE COURSE OF CONSTRUCTION BY HIS EMPLOYEES OR SUBCONTRACTORS.
7. BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER 15.05.125 AMENDMENT TO SECTION R319.1
8. GENERAL CONTRACTOR SHALL HAVE THE ENTIRE HOUSE PROFESSIONALLY CLEANED, INCLUDING WINDOWS INSIDE AND OUTSIDE, PRIOR TO OWNER MOVING IN.
9. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE SIMILAR TO THAT INDICATED OR NOTED FOR SIMILAR CONDITIONS. WHERE CONFLICTING MATERIALS AND CONDITIONS ARE CALLED OUT, ASSUME THE MORE EXPENSIVE CONDITION. NOTIFY THE OWNER AND ARCHITECT PRIOR TO WORK BEING STARTED.
10. ALL DOMESTIC HOT WATER SYSTEM PIPING MUST BE INSULATED, WHETHER BURIED OR UNBURIED.
11. HERS RATER VERIFICATION IS REQUIRED FOR THIS PROJECT. SEE FORM CR1R FOR FEATURES REQUIRING HERS VERIFICATION.
12. THE TOTAL LANDSCAPED AREA = 0 SQ.FT.

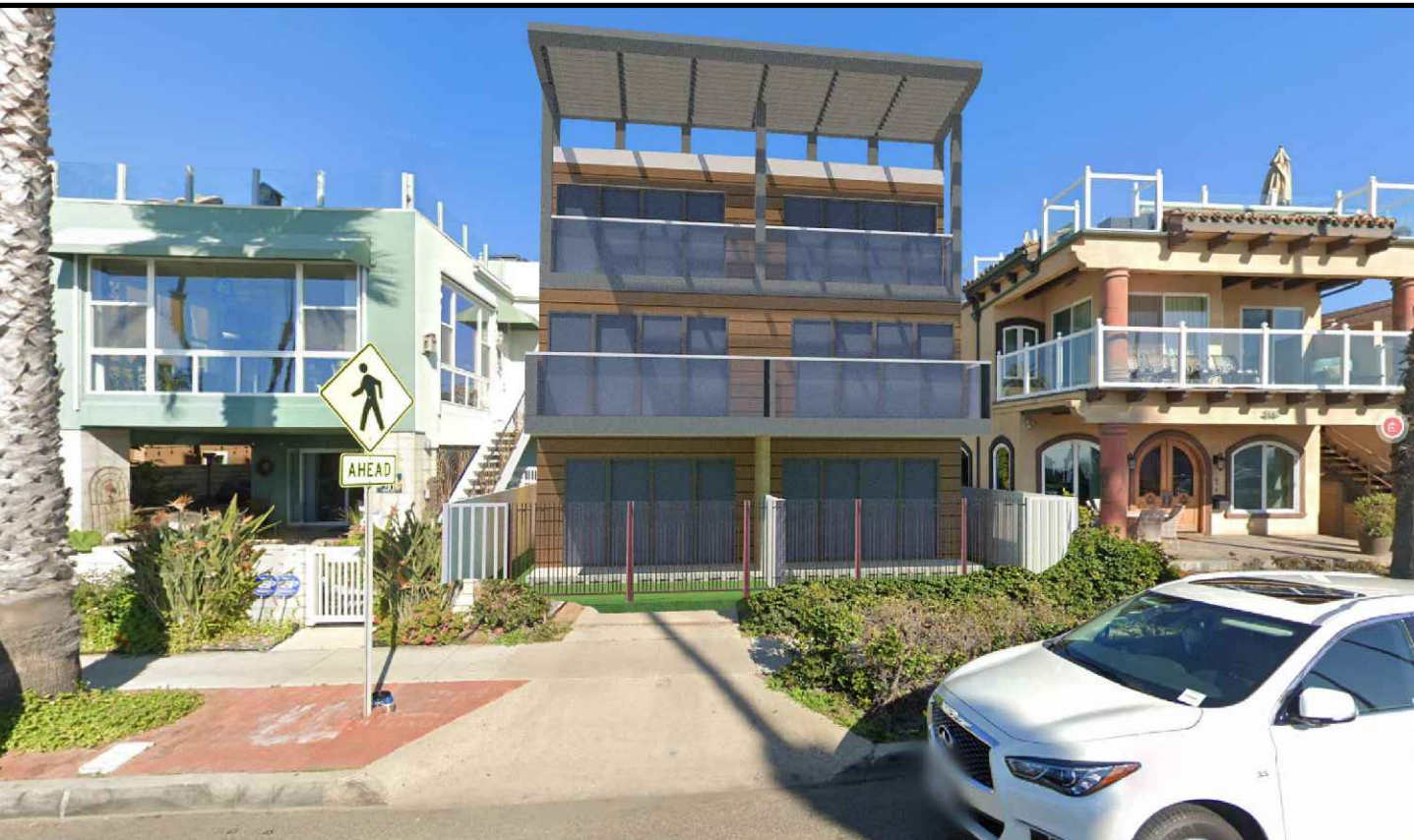
BIDDING INSTRUCTIONS

- THE CONTRACTOR SHALL CONTACT THE OWNER FOR VERIFICATION AND SPECIFICATIONS OF THE FOLLOWING ITEMS (PRIOR TO BIDDING THE PROJECT):
1. OWNER SUPPLIED CONTRACTOR INSTALLED ITEMS
 2. FLOORING, WALL FINISHES, APPLIANCES, CABINETS AND COUNTER TOPS
 3. DECORATIVE ELECTRICAL FIXTURES, DESIGN & TYPE OF GUARDRAILS
 4. SPECIFICATIONS OF DOORS, WINDOWS.
 5. HARDSCAPE AND LANDSCAPE AREAS.
 6. BBQ, COUNTER, EQUIPMENT, PLUMBING FIXTURES, ETC.
 7. SOLAR PANELS.
 8. FRAMELESS GLASS GUARDRAIL
 9. FIREPLACES

FIRE DEPARTMENT NOTES

1. BUILDING ADDRESS NUMBERS MUST BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL BE A MINIMUM 3 INCHES HIGH, 1 INCH WIDE WITH A 3/8" INCH STROKE. FOR BUILDINGS SET BACK MORE THAN 150 FEET FROM THE STREET, THE NUMBERS SHALL BE A MINIMUM 5 INCHES HIGH, 2 INCHES WIDE WITH A 1/2 INCH STROKE. FIRE CODE 901.4.4
2. ALL SMOKE DETECTORS TO BE HARDWIRED WITH A BATTERY BACKUP FOR THE NEW CONSTRUCTION. ALL BEDROOMS SHALL HAVE SMOKE DETECTOR AND CARBON MONOXIDE.
3. FIRE SPRINKLER PLANS SHALL BE PREPARED BY A LICENCE FIRE SPRINKLER CONTRACTOR AND SUBMITTED TO THE FIRE DEPARTMENT FOR APPROVAL.

PERSPECTIVES



SCOPE OF WORK

CONSTRUCTION OF A NEW THREE STORY CUSTOM DUPLEX RESIDENCE

PROJECT SUMMARY

CODE ANALYSIS

OCCUPANCY.....D-5A (PRIVATE GARAGE)
 CONSTRUCTION TYPE: VB-FULLY SPRINKERED
 BUILDING CODE: 2019 CBC
 2019 CRC
 2019CEC
 2019 CMC & 20169 CPC.
 2019 TITLE 24 ENERGY REGULATIONS
 2019 CALIFORNIA GREEN BUILDING STANDARD CODE (CALGREEN) & ALL APPLICABLE CITY OF CITY OF OCEANSIDE MUNICIPAL DEVELOPMENT CODES
 CALIFORNIA COASTAL COMMISSION REGULATION

LEGAL DESCRIPTION

LOT 57, TRACT # 197, CITY OF OCEANSIDE SUBD.: RIVERSIDE TERRACE TR#197 LOT 57

ZONING ANALYSIS

ZONING.....D-5A SUBDISTRICT
 LOT SIZE: 33,84' X 100' 3,384 SQ. FT.

BASE DENSITY : LOT SIZE/1500 SF = 2.2 UNITS ALLOWED
 POTENTIAL DENSITY : LOT SIZE/ 1000 SF = 3.3 UNITS
 PROPOSED NUMBER OF UNITS: 2
 (<2.2 ALLOWED PER BASE DENSITY OF 1500 SF. PER UNIT)

OPEN AREA (SITE LANDSCAPING):

REQUIRED: 25% MIN
 LOT AREA 3,308 SQ.FT. X 25% = 827 SQ.FT
 PROPOSED : 3308- 2363 SQ.FT. = 945 SQ.FT.
 945 SQ.FT.>827 SQ.FT.= 28% > 25% REQUIRED

PRIVATE OPEN AREA

REQUIRED: 48 SQ. FT. MIN
 MIN. WIDTH 6'-0"
 MAX: BLDG. HEIGHT: 7'

PARKING

REQUIRED:
 MULTI-FAMILY (2 BEDROOMS +) : 2 SPACES (1 COVERED , 1 OPEN)
 PROPOSED: 2 SPACES (1-ENCLOSED, 1-COVERED; TANDEM PKG.)

AREA CALCULATION

UNIT-1

HABITABLE AREA
 FIRST FLOOR 610.00 SQ. FT.
 THIRD FLOOR 1848.00 SQ. FT.
 TOTAL AREA (1ST + 2ND + 3DR FLOOR) 2458.00 SQ. FT.

OPEN AREA PROPOSED:
 COVERED PATIO @ FIRST FLOOR 111.00 SQ. FT.
 DECK AT MASTER & LIVING @ 3RDFLOOR 166.00 SQ. FT.
TOTAL PRIVATE OPEN AREA 277.00 SQ. FT.

UNIT-2

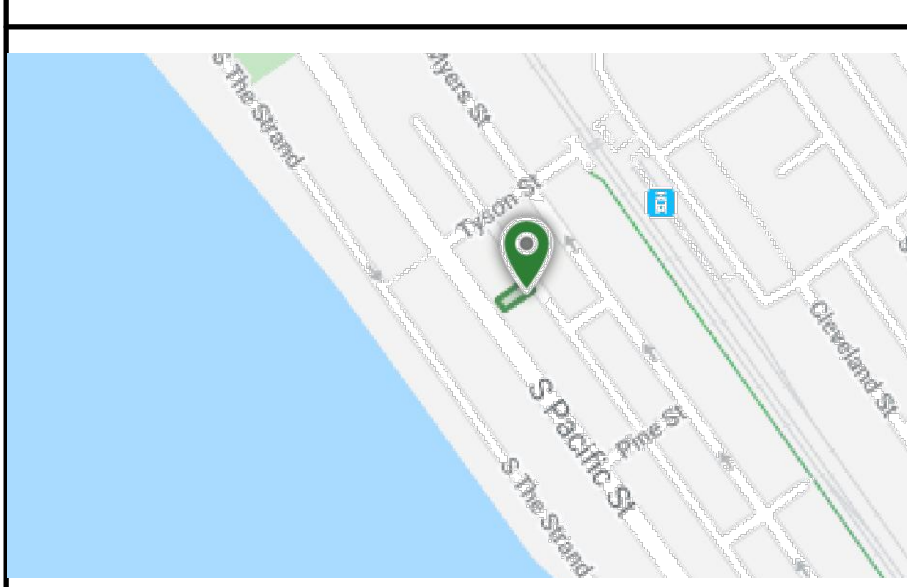
HABITABLE AREA
 FIRST FLOOR 610.00 SQ. FT.
 SECOND FLOOR 2015.00 SQ. FT.
 TOTAL AREA (1ST + 2ND + 3DR FLOOR) 2625.00 SQ. FT.

OPEN AREA PROPOSED
 PATIO AT FIRST FLOOR 111.00 SQ. FT.
 DECK AT MASTER BEDRM & LIVING @2ND FLR. 222.00 SQ. FT.
TOTAL PRIVATE OPEN AREA 333.00 SQ. FT

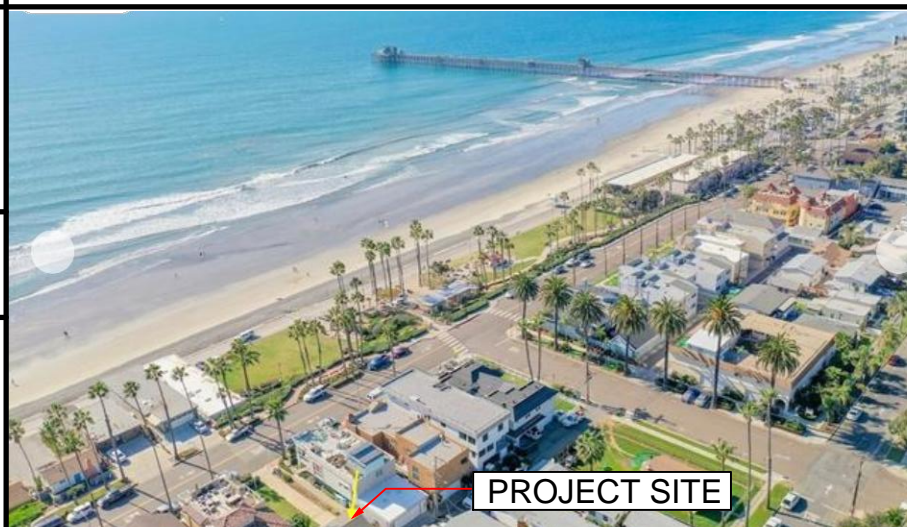
BUILDING SETBACK
 FRONT (PACIFIC STREET) 10'-0"
 SIDE 3'-0"
 REAR (ALLEY) 5'-0"

BUILDING HEIGHT
 MAX: 27'-0" OF FLAT ROOF
 35'-0" PEAK OF SLOPED ROOF

VICINITY MAP/ PHOTO



VICINITY MAP/ PHOTO



DRAWINGS INDEX

ARCHITECTURAL:

- T101 TITLE SHEET & SITE PLAN
- A101 FLOOR PLANS
- A201 EXTERIOR ELEVATIONS
- A301 SECTIONS
- A202 COLOR ELEVATIONS

CIVIL ENGINEERING:

- C-1 TOPOGRAPHY SURVEY

DESIGN TEAM

ARCHITECT:

DESIGN CONCEPTS
 SHIV TALWAR, AIA
 3340 RIVERSIDE DRIVE #M
 CHINO, CA 91710
 TEL. 909-591-3939
 dsignconcepts@yahoo.com

CIVIL ENGINEER:

DESIGN CONCEPTS
 SHIV TALWAR, AIA
 3340 RIVERSIDE DRIVE #M
 CHINO, CA 91710
 TEL. 909-591-3939
 dsignconcepts@yahoo.com

SOILS ENGINEER:

Geoboden, Inc.
 Cyrus Radvar,
 5 Hodgenville
 Irvine, CA 92620
 TEL. 949-872-9565
 FAX. 949-743-2935

OWNER:

AL-JAZZAR CONSTRUCTION

STRUCTURAL:

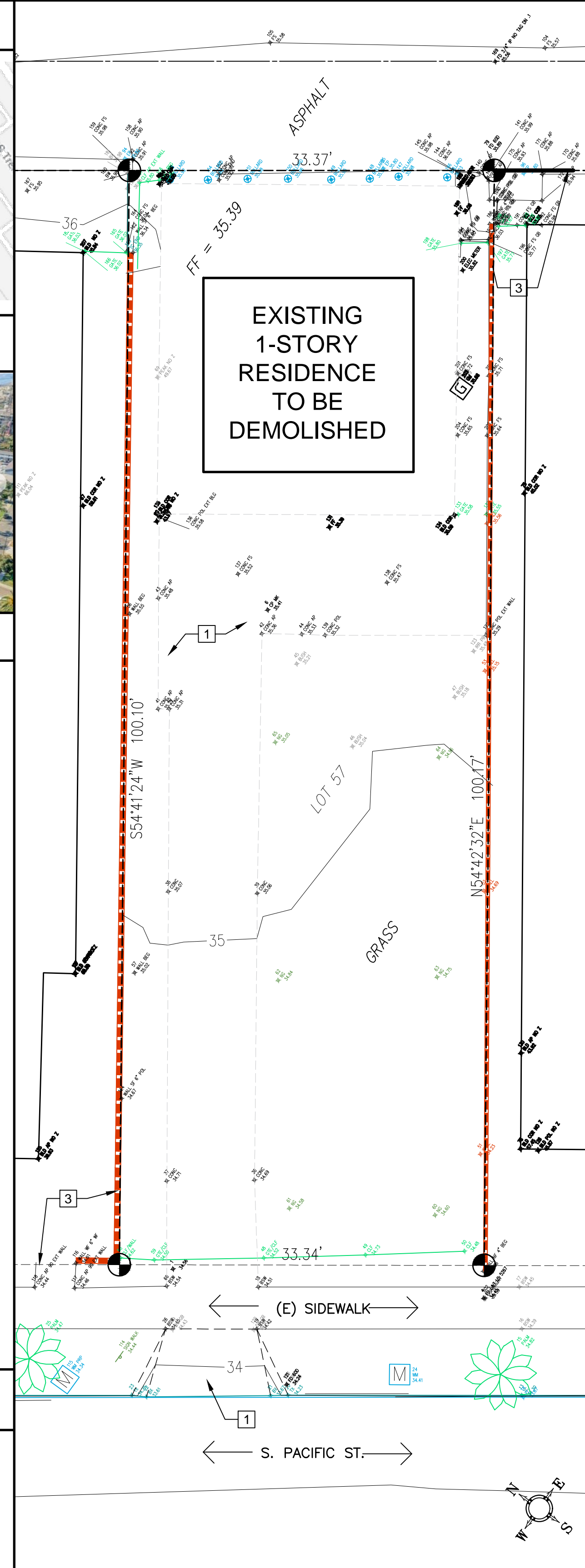
EMAAR ENGINEER GROUP
 18001 IRVINE BOULEVARD,
 STE. #206
 TUSTIN, CA 92780
 TEL. 714-606-3646
 elkayal.ahmed@gmail.com

TOPOGRAPHIC SURVEY:

SPIRO LAND SURVEYING
 26100 Newport Rd #415
 Menifee, CA 92584
 TEL. 951-334-3174
 matt@spirolandsurveying.com

LEGEND

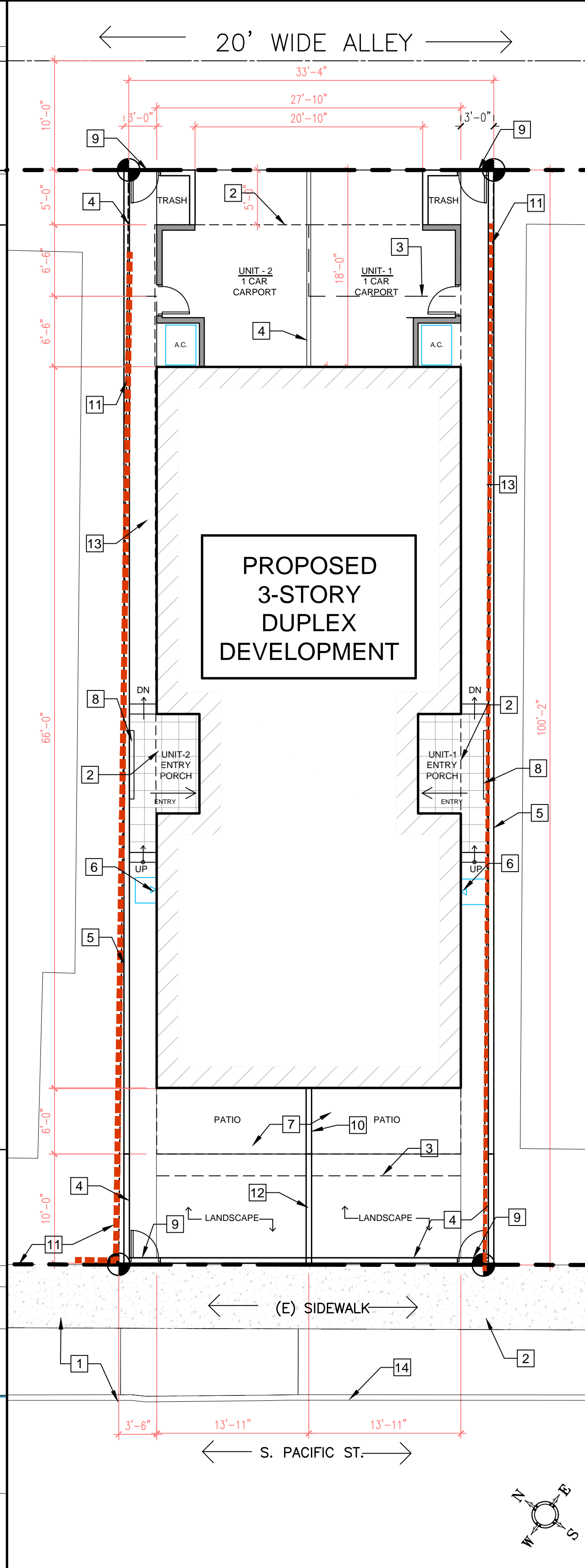
- PROPOSED ADDITION
- CONCRETE



EXISTING & DEMOLISHED SITE PLAN SCALE 1"=100"

SITE PLAN KEYNOTES

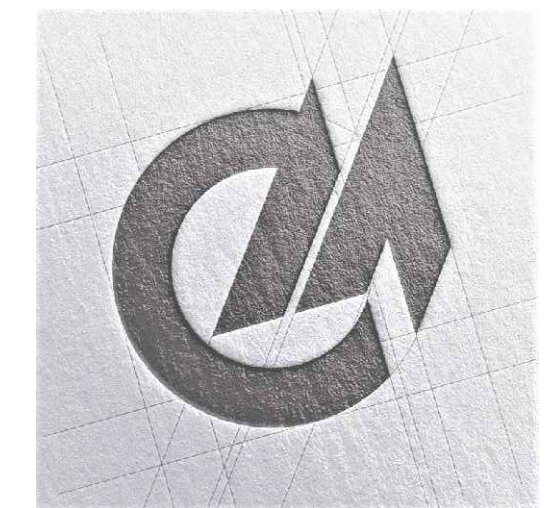
1. REMOVE (E) CONC. PAVING
2. REMOVE (E) DRIVEWAY AND DRIVEWAY APPROACH
3. PROPERTY LINE



PROPOSED SITE PLAN SCALE 1"=100"

SITE PLAN NOTES

1. NEW SIDEWALK AND DRIVEWAY MATCH WITH EXISTING PER CITY STANDARDS
2. LINE OF SECOND FLOOR
3. LINE OF SECOND FLOOR BALCONY
4. 36" HIGH CMU FENCE W/STUCCO FINISH
5. 6" CMU FENCE
6. EXTERIOR SHOWER: OUTSIDE SHOWER SHALL BE COLD WATER ONLY MANUFACTURE: DEX-O-TEX (WEATHERWEAR) ICCB-ESR - 1757
7. CUSTOM DECORATIVE WATER FEATURE
8. 3'-0" GATE WITH LATCH AND LOCK FULL-HEIGHT FENCE WALL BETWEEN UNITS
9. PROPERTY LINE
10. 3'-6" HIGH FENCE BETWEEN UNITS
11. CONC. WALKWAY
12. (E) 6" CURB TO REMAIN



EMAAR

ENGINEERING GROUP, INC.

18001 IRVINE BOULEVARD, STE.# 206,
 TUSTIN, CA 92780
 TEL. 714.606.3646



CONSULTANTS :

DESIGN CONCEPTS
 SHIV TALWAR, ARCHITECT AIA
 3340 RIVERSIDE DR. #M,
 CHINO, CA 91710



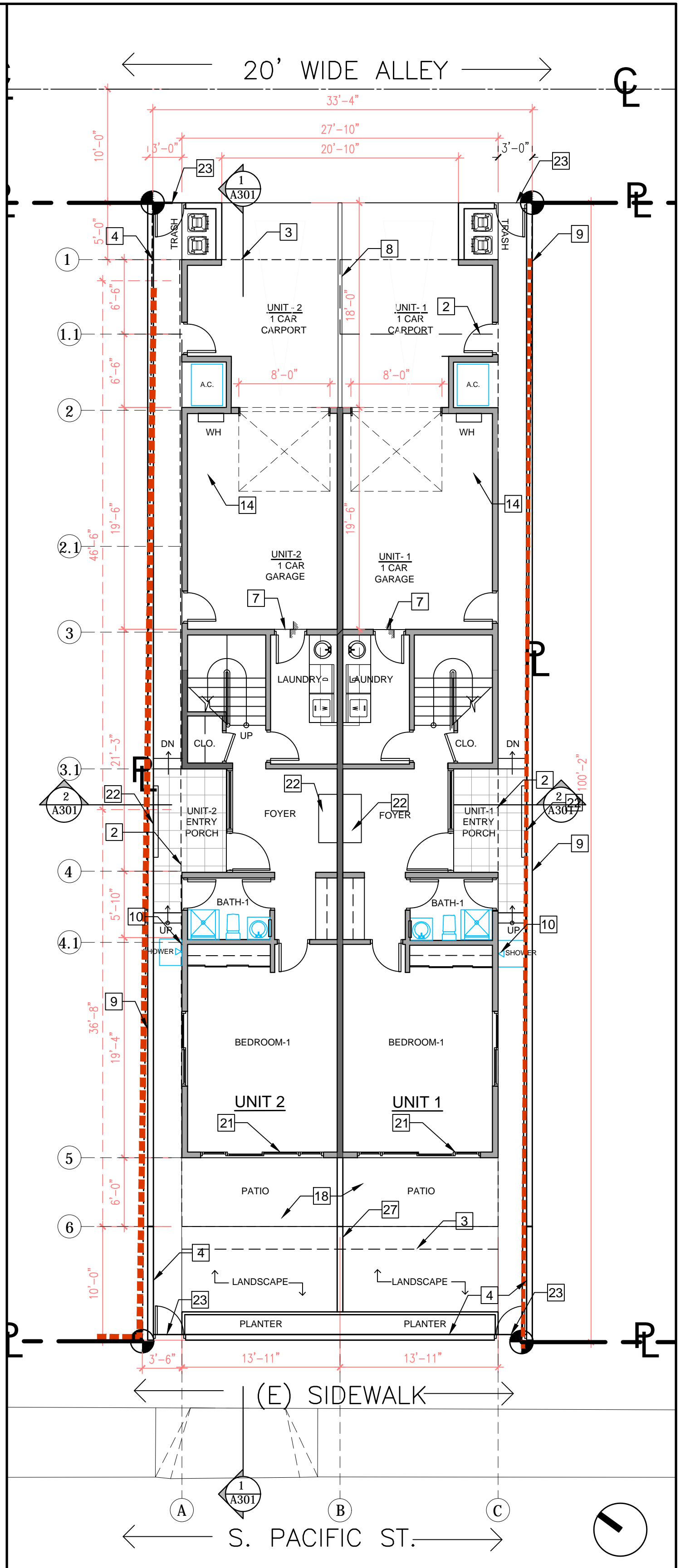
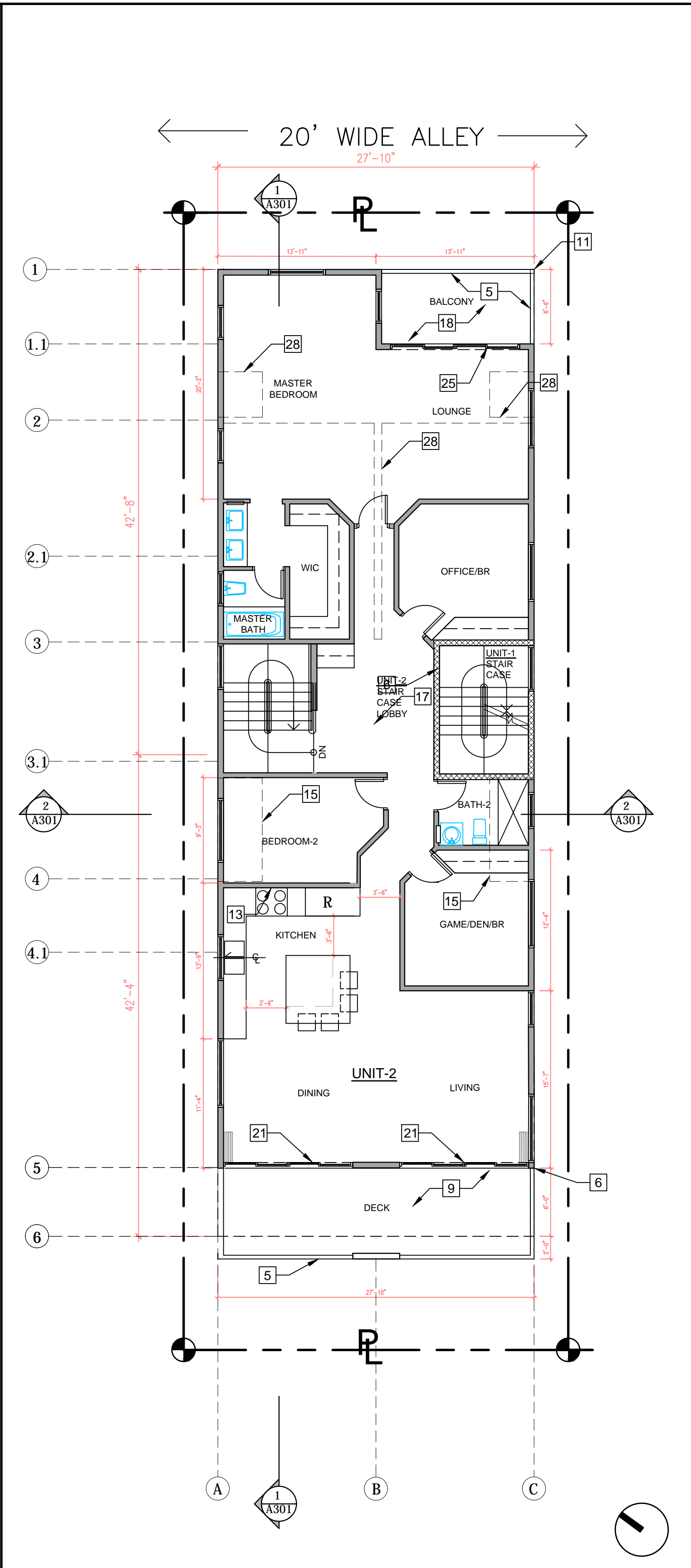
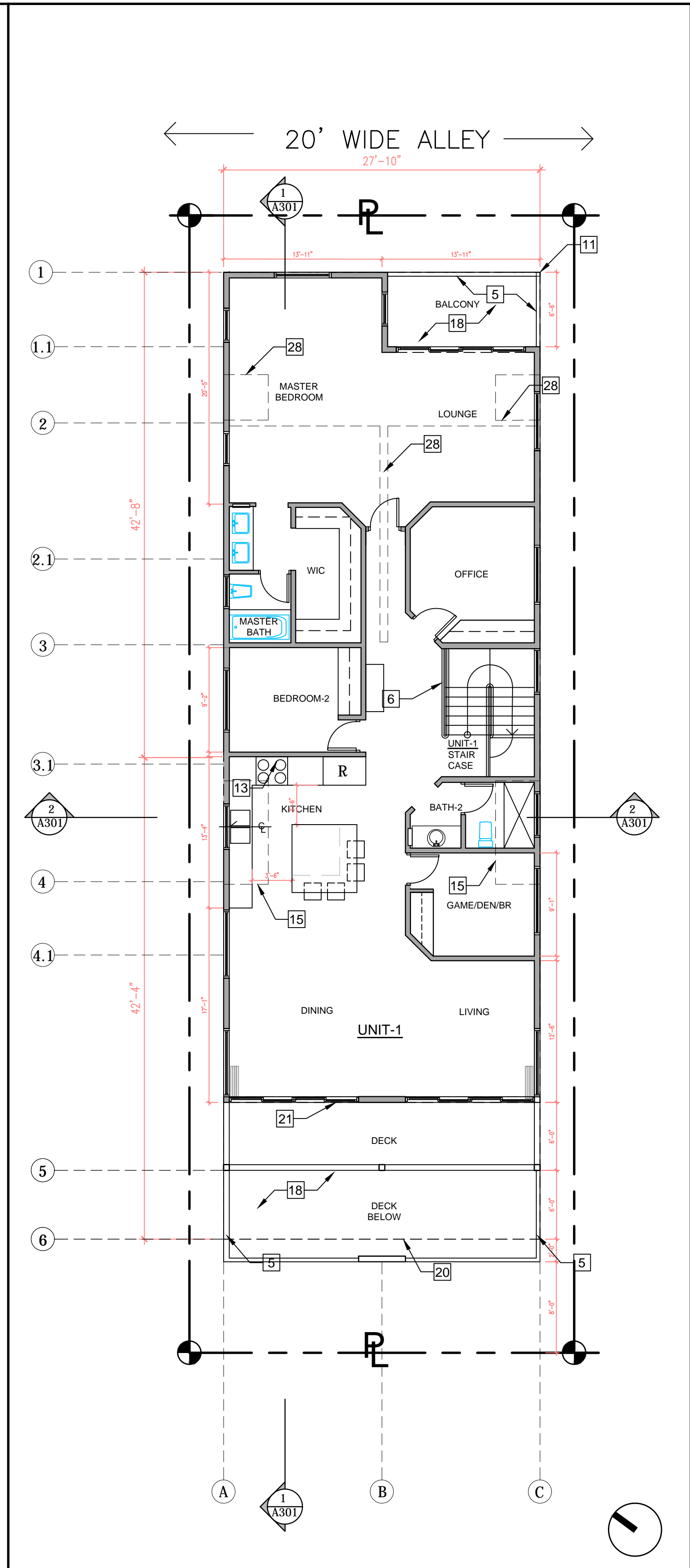
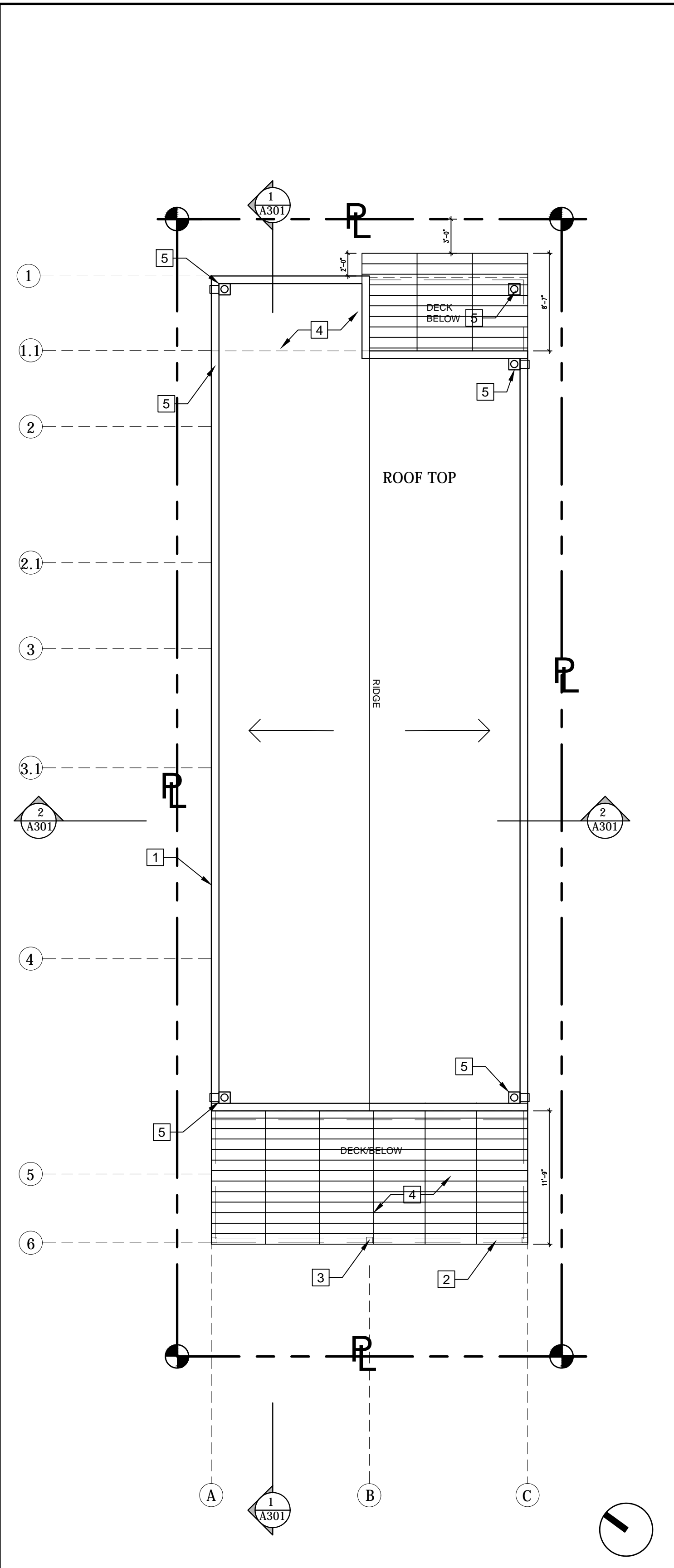
DRAWING TITLE :
 TITLE SHEET & SITE PLAN

DATE	ISSUED
09/07/2020	1ST P.C. SUBMITTAL

JOB TITLE :
 PROPOSED 3-STORY DUPLEX DEVELOPMENT
 OWNER :
 AL-JAZZAR CONSTRUCTION GROUP
 JOB ADDRESS :
 212 S PACIFIC ST.
 OCEANSIDE CA 92054

JOB NO. 2020-59

DWG. NO. T101 REVISION NO. 0



ROOF PLAN SCALE 1/8"=1'-0" **4**

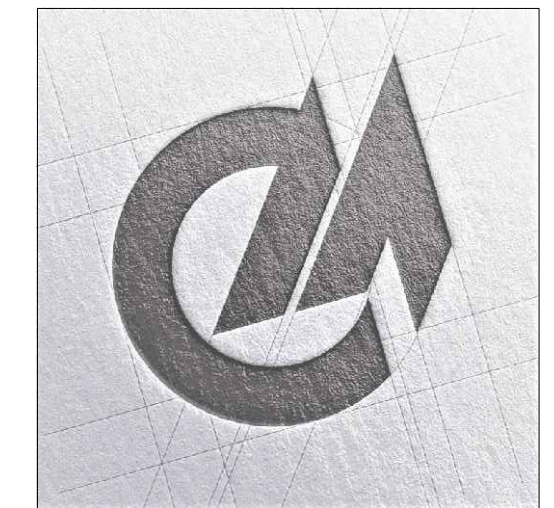
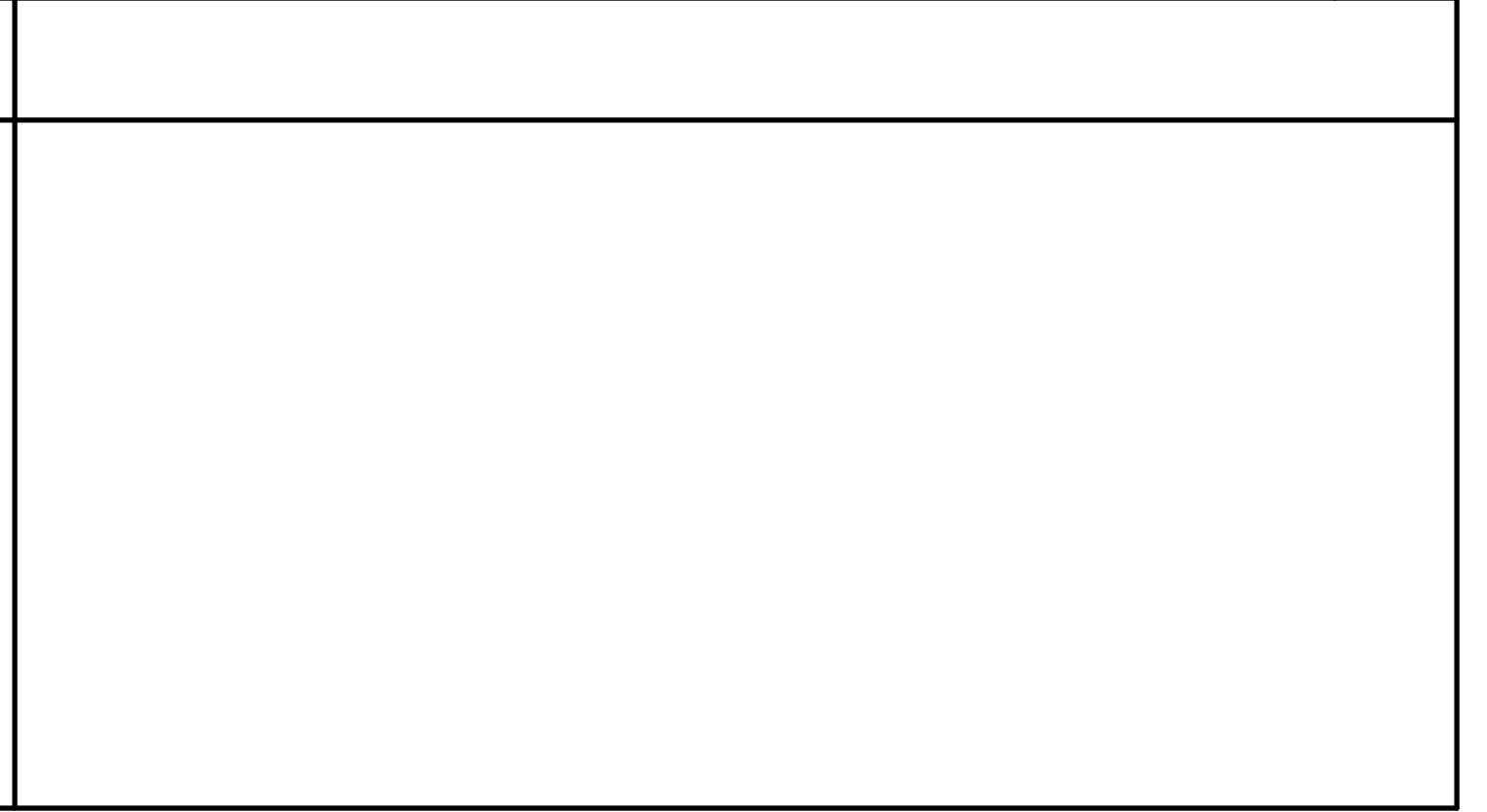
THIRD FLOOR PLAN (UNIT 1 ONLY) SCALE 1/8"=1'-0" **3**

SECOND FLOOR PLAN (UNIT 2 ONLY) SCALE 1/8"=1'-0" **2**

FIRST FLOOR PLAN (UNIT 1&2) SCALE 1/8"=1'-0" **1**

- ROOF PLAN KEYNOTES**
1. PARAPET WALL
 2. GUARDRAILS BELOW
 3. STRUCTURAL COLUMNS BELOW
 4. ARCHITECTURAL CANOPY
 5. ROOF DRAINS DOWNSPOUT TO GROUND FLOOR WITH SPLASH GUARD @ SIDE YARD

- FLOOR PLAN KEYNOTES**
1. 3'-6" CMU FENCE.
 2. LINE OF SECOND FLOOR
 3. LINE OF SECOND FLOOR BALCONY
 4. 36" HIGH CMU FENCE WITH UCCO FINISH
 5. MIN. 42" HIGH FRAMELESS TEMPERED GLASS GUARDRAIL TYP.
 6. 1-HR PARTY WALL
 7. SOLID-CORE SELF CLOSING DOOR
 8. 6'-0" HEIGHT WROUGHT IRON DECORATIVE GATE, VERIFY W/ OWNER
 9. 6" CMU FENCE
 10. EXTERIOR SHOWERHEAD; OUTSIDE SHOWER SHALL BE COLD WATER ONLY
 11. STRUCTURAL POST - SEE STRUCTURAL DWGS
 12. RECESSED GAS BURNED HEATER PROVIDE ROUGH-IN FOR 3/4" GAS LINE
 13. RANGE /COOKTOP EXHAUST SYSTEM VENTED TO OUTDOOR, THE SYSTEM SHALL HAVE A MINIMUM EXHAUST RATE PF 100 CFM.BEES 150(o)
 14. *NORITZ* TANKLESS GAS WATER HEATER, MODEL # NRC38DV (GQ-C2857WS-FF US)
 15. LINE OF FIRST FLOOR EXISTING WALL
 16. 24"x36" ATTIC ACCESS, LOCATION OF FAU
 17. WALL CABINET
 18. MANUFACTURE: DEX-O-TEX (WEATHERWEAR) ICC# :ESR - 1757
 19. PROVIDE 3"D DECK DRAIN TO EXTERIOR WALL TO DOWNSPOUT @ SIDE YARD
 20. LINE OF ROOF ABOVE
 21. FULL LENGTH FOLDING PATIO DOOR
 22. CUSTOM DECORATIVE WATER FEATURE
 23. 3'-0" GATE TO LATCH AND LOCK
 24. FIRE PLACE, SEE AD-5 FOR SPECS
 25. FIREPLACE VENT
 26. BARBEQUE GRILL
 27. FULL-HEIGHT PARTITION WALL
 28. LINE OF GARAGE FIRST FLOOR



EMAAR

ENGINEERING GROUP, INC.
18001 IRVINE BOULEVARD, STE. # 206,
TUSTIN, CA 92780
TEL. 714.606.3646



CONSULTANTS :
DESIGN CONCEPTS
SHIV TALWAR, ARCHITECT AIA
3340 RIVERSIDE DR. #M,
CHINO, CA 91710



DRAWING TITLE :
PROPOSED FLOOR PLANS

DATE	ISSUED
09/07/2020	1ST P.C. SUBMITTAL

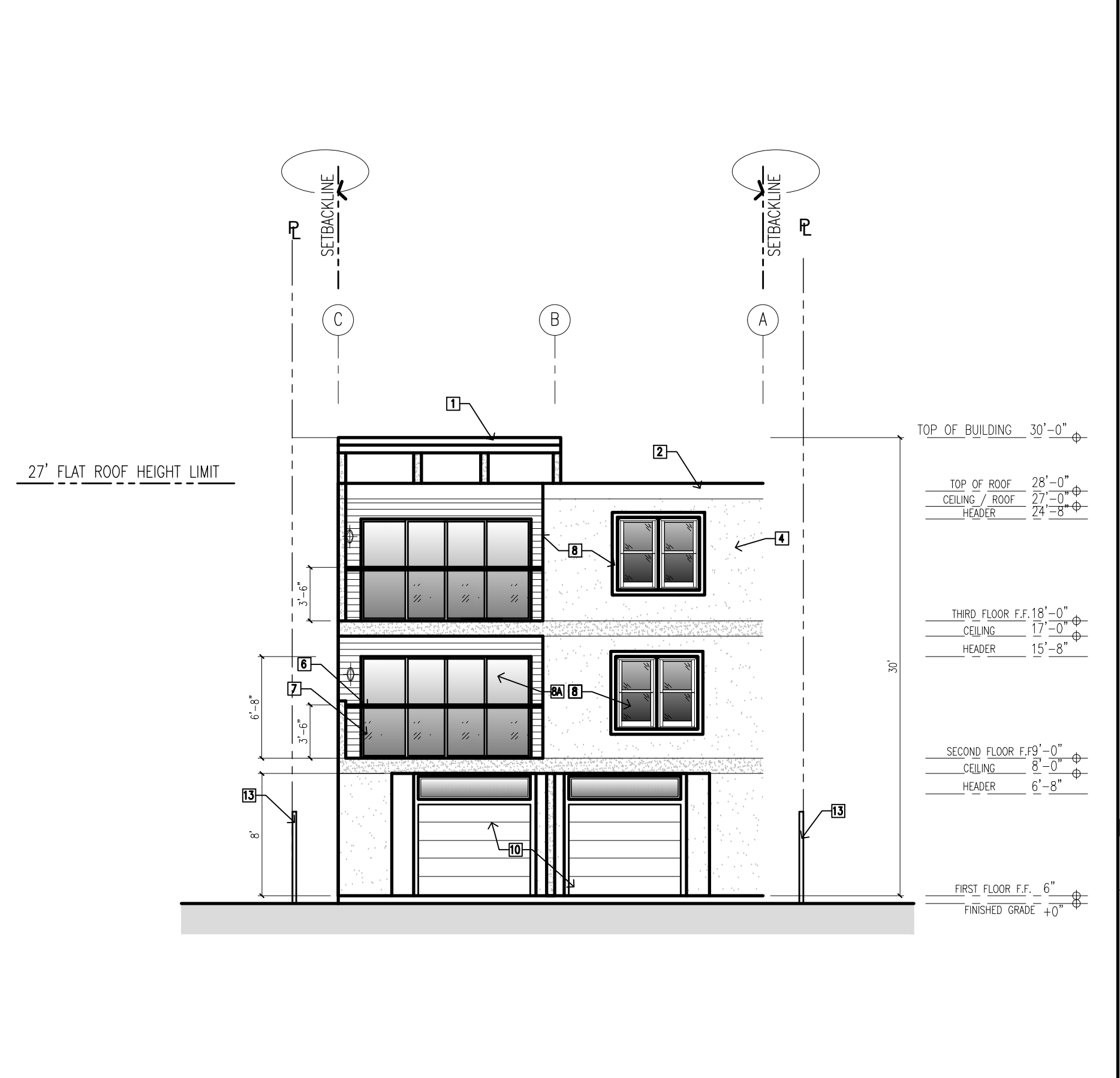
JOB TITLE :
PROPOSED 5-STORY DUPLEX
DEVELOPMENT

OWNER :
AL-JAZZAR CONSTRUCTION GROUP

JOB ADDRESS :
212 S. PACIFIC ST.,
OCEANSIDE CA 92054

JOB NO. **2020-59**

DWG. NO. **A101** REVISION NO.



NORTH ELEVATION (REAR)

SCALE 1/8"=1'-0"

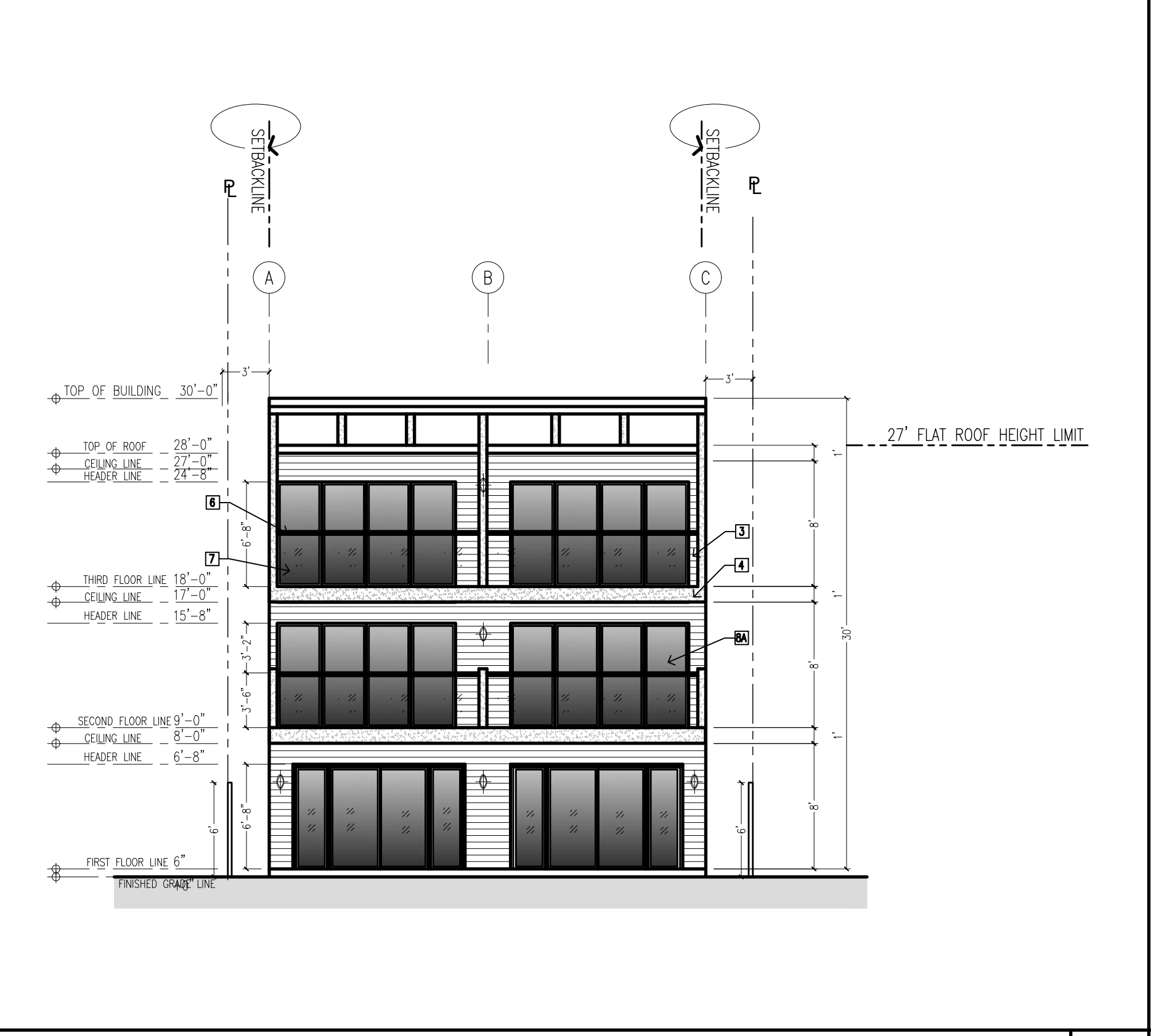
3



EAST ELEVATION

SCALE 1/8"=1'-0"

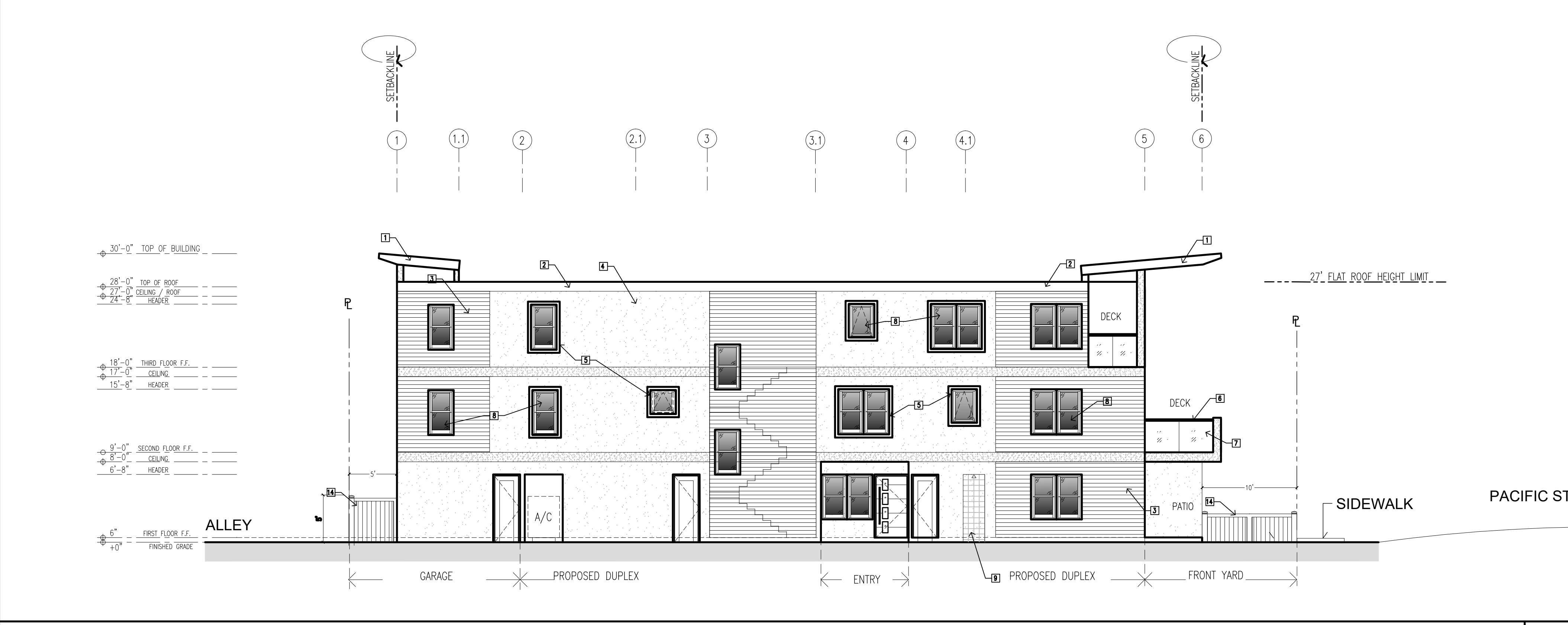
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SOUTH ELEVATION (FRONT)

SCALE 1/8"=1'-0"

4



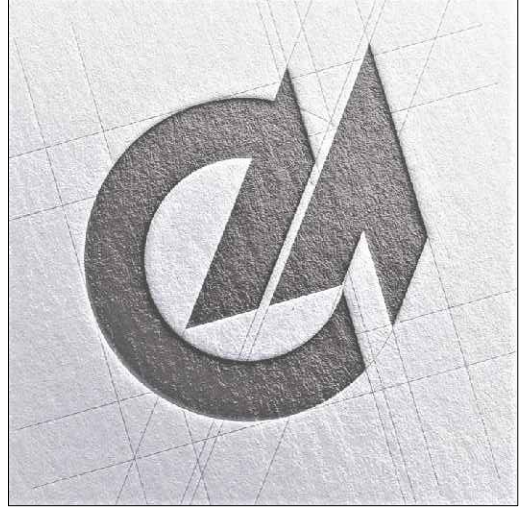
WEST ELEVATION

SCALE 1/8"=1'-0"

1

ELEVATION KEYNOTES

1. LIGHT GAUGE METAL DECORATIVE CANOPY TRELLIS
2. FLAT ROOF CAPPING
3. SIMULATED WOOD SIDING IN STUCCO FIN.
4. STUCCO FINISHED EXTERIOR WALL
5. 6" PROJECTED ARCHITRAVE
6. WOOD HANDRAIL
7. CLEAR TEMPERED GLASS RAILING
8. DOUBLE GLAZED TEMPERED GLASS WINDOWS
- 8A. DOUBLE GLAZED TEMPERED SLIDING/ FOLDING DOORS
9. OUTDOOR SHOWERED HEAD WITH WALL TILING
10. 1-CAR GARAGE DOOR
11. ARCHITECTURAL INSPIRATIONAL ROOF TOP CANOPY FEATURE
12. SEPARATION WALL BETWEEN UNIT 1&2
13. 6" VINYL FENCE
14. PREFABRICATED DECORATION VINYL FENCE



EMAAR

ENGINEERING GROUP, INC.

18001 IRVINE BOULEVARD, STE.# 206,
TUSTIN, CA 92780
TEL. 714.606.3646



CONSULTANTS :

DESIGN CONCEPTS
SHIV TALWAR, ARCHITECT AIA
3340 RIVERSIDE DR. #M,
CHINO, CA 91710



DRAWING TITLE :
PROPOSED ELEVATIONS

DATE	ISSUED
09/07/2020	1ST P.C. SUBMITTAL

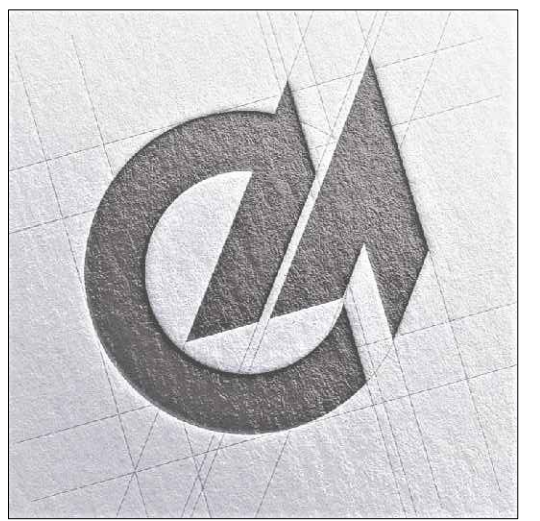
JOB TITLE :
PROPOSED 3-STORY DUPLEX
DEVELOPMENT

OWNER :
AL-JAZZAR CONSTRUCTION GROUP

JOB ADDRESS :
212 S.PACIFIC ST.
OCEANSIDE CA 92054

JOB NO. 2020-59

DWG. NO. A201 REVISION NO.



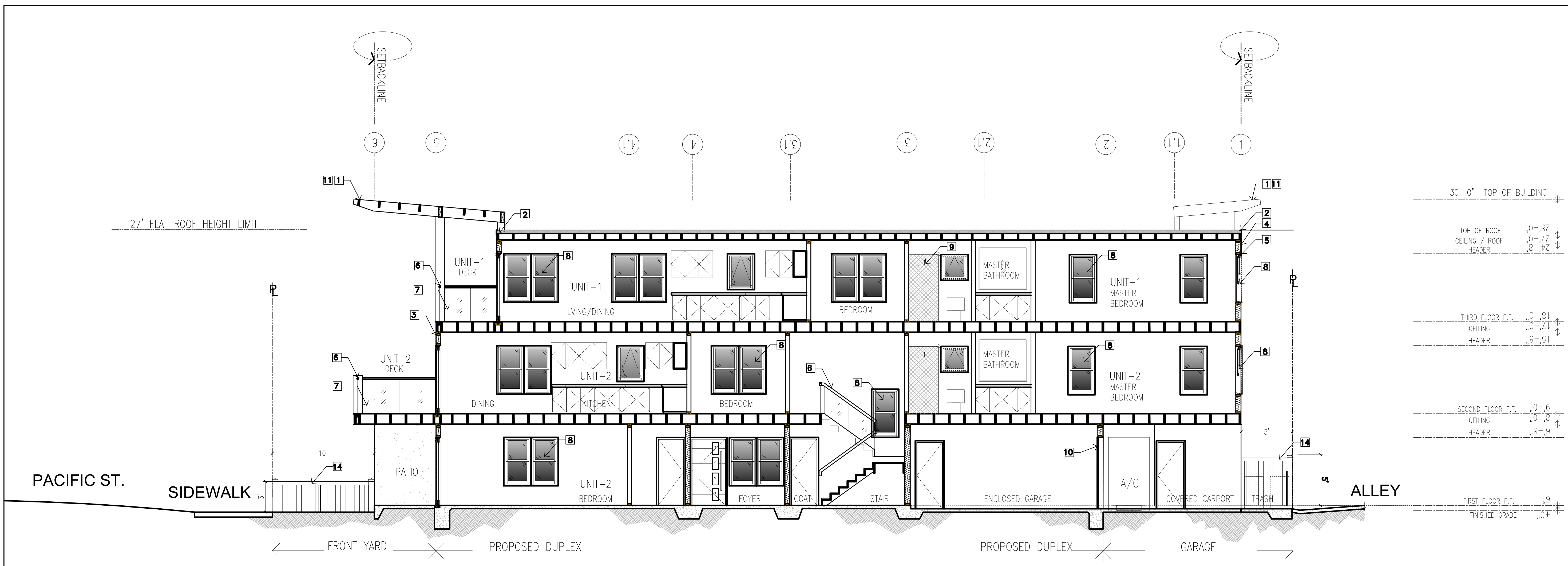
EMAAR

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CONSULTANTS :

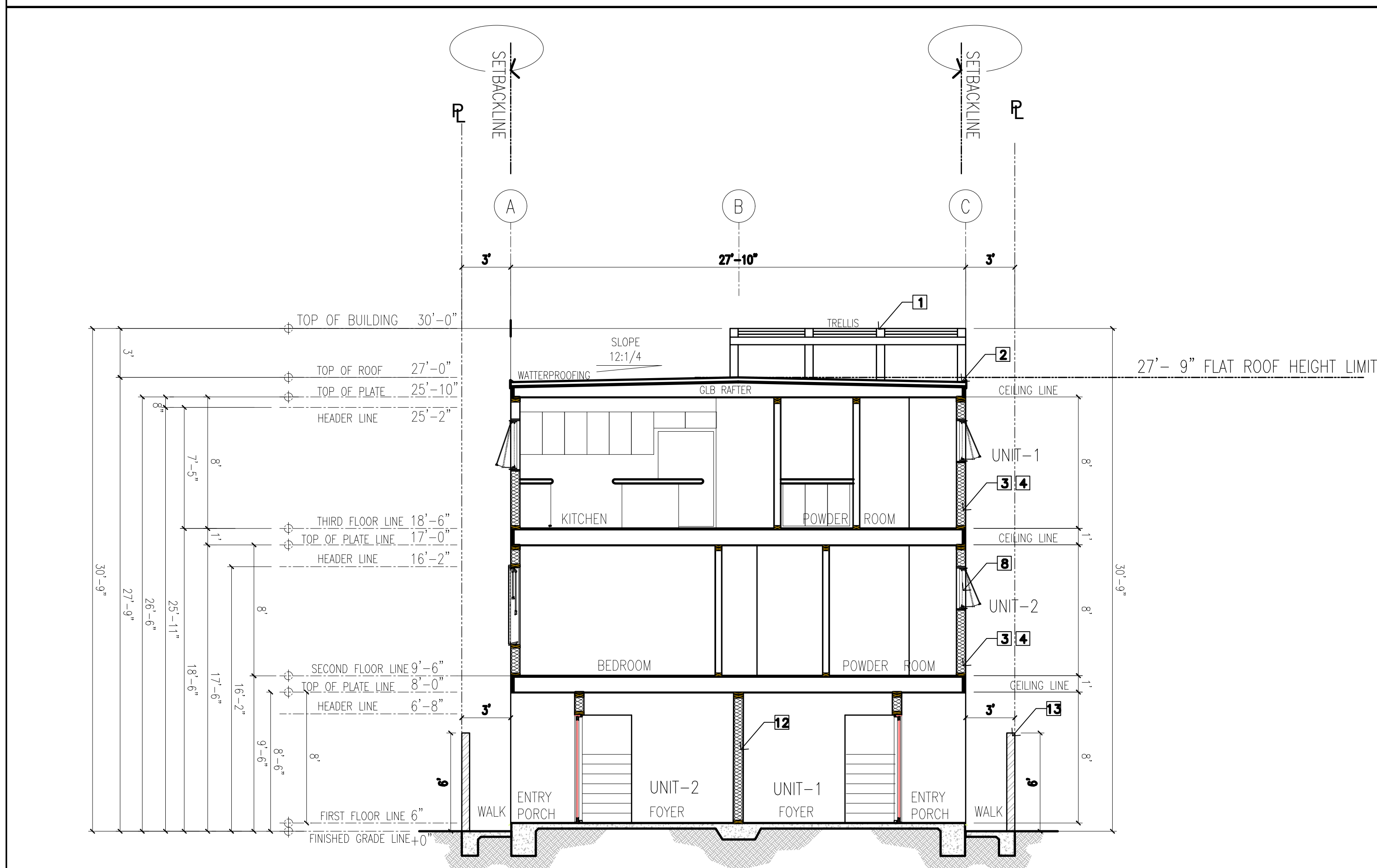
DESIGN CONCEPTS
SHIV TALWAR, ARCHITECT AIA
3340 RIVERSIDE DR. #M,
CHINO, CA 91710



SECTION '#1'

SCALE 3/16"=1'-0"

1



SECTION '#2'

SCALE 3/16"=1'-0"

2

SECTION GENERAL NOTES

SECTION KEYNOTES

- 1. LIGHT GAUGE METAL DECORATIVE CANOPY TRELLIS
- 2. FLAT ROOF CAPPING
- 3. SIMULATED WOOD SIDING IN STUCCO FIN.
- 4. STUCCO FINISHED EXTERIOR WALL
- 5. 6" PROJECTED ARCHITRAVE
- 6. WOOD HANDRAIL
- 7. CLEAR TEMPERED GLASS RAILING
- 8. DOUBLE GLAZED TEMPERED GLASS WINDOWS
- 8A. DOUBLE GLAZED TEMPERED SLIDING/ FOLDING DOORS
- 9. SHOWERED HEAD WITH WALL TILING
- 10. 1-CAR GARAGE DOOR
- 11. ARCHITECTURAL INSPIRATIONAL ROOF TOP CANOPY FEATURE
- 12. SEPARATION WALL BETWEEN UNIT 1&2
- 13. 6" VINYL FENCE
- 14. PREFABRICATED DECORATION VINYL FENCE

DRAWING TITLE :
PROPOSED SECTIONS

DATE	ISSUED
09/07/2020	1ST P.C. SUBMITTAL

JOB TITLE :
PROPOSED 3-STORY DUPLEX DEVELOPMENT

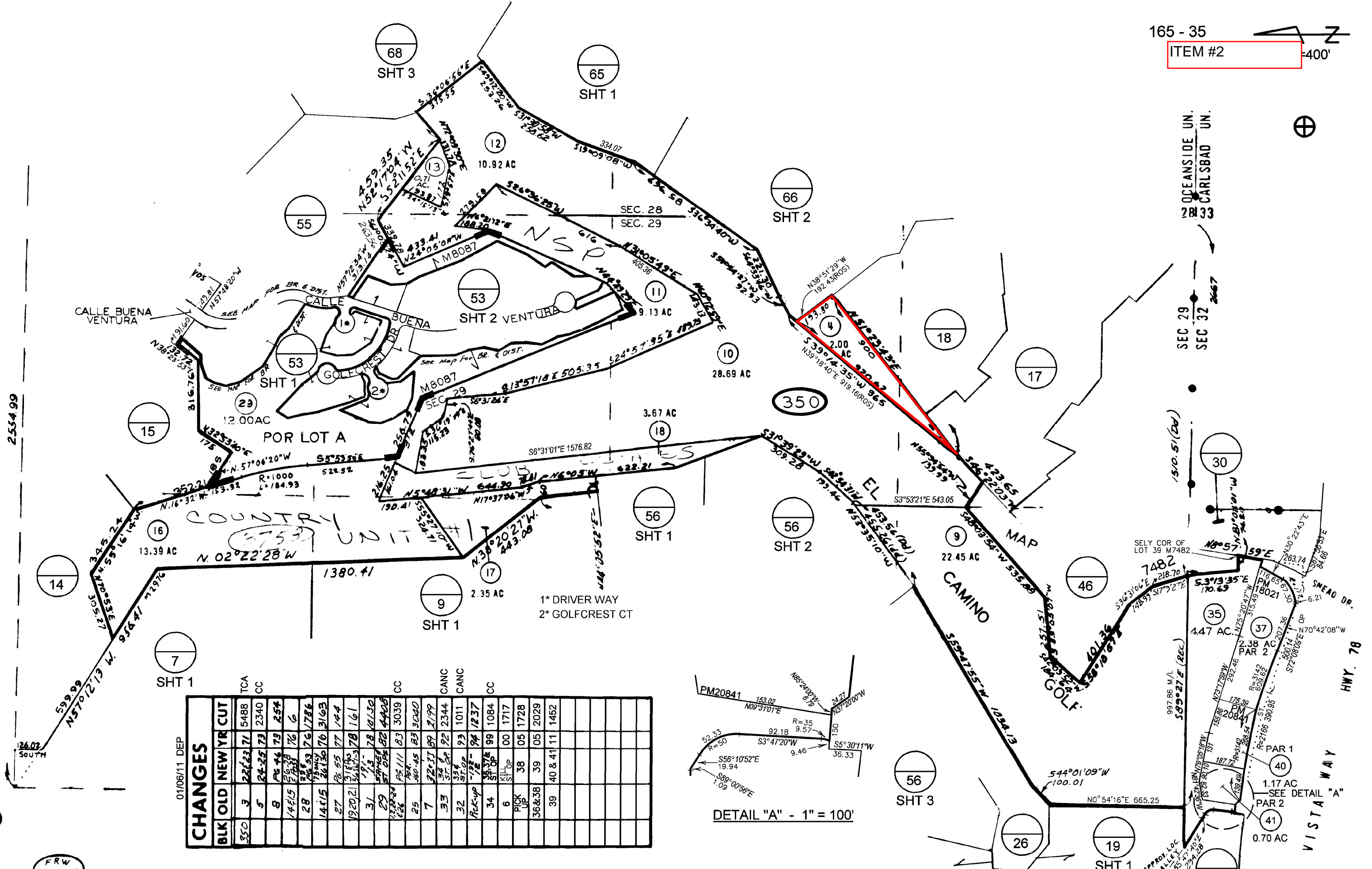
OWNER :
AL-JAZZAR CONTRUCTION GROUP

JOB ADDRESS :
212 S PACIFIC ST.
OCEANSIDE CA 92054

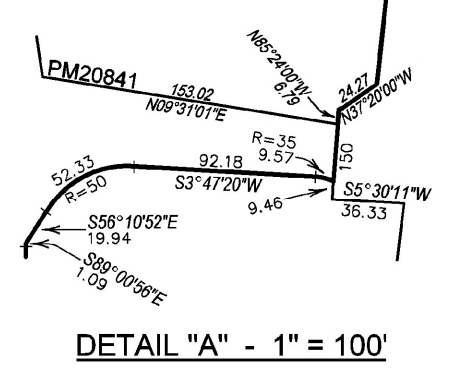
JOB NO. 2020-59

DWG. NO. A301 **REVISION NO.**

165-190



CHANGES	BLK	OLD	NEW	YR	CUT	TCA		CC	CANC	CANC	CC
550	3	22622	71	5488							
	5	2425	73	2340							
	8	76	73	254							
	14	15	76	76							
	28	28	76	786							
	14	15	76	3163							
	27	28	77	144							
	19	20	78	161							
	31	15	78	1130							
	29	29	82	4405							
	25	25	83	3039							
	25	26	83	3040							
	7	7	89	2199							
	33	33	92	2344							
	32	32	93	1011							
	32	32	94	1237							
	34	35	99	1084							
	6	KILL	00	1717							
	PICK	UP	38	05	1728						
	36	38	39	05	2029						
	39	40	41	11	1452						



FRW
11.25.69
SAN DIEGO COUNTY
ASSESSOR'S MAP
BOOK 165 PG 35

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

MAP 8087 - CAMINO REAL UNIT NO 1
POR SECS 28, 29 & 32 - T11S-R4W
ROS 1938, 2878, 3505, 3623, 4435, 5588, 11461, 13896, 14480, 16869



Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

General Information

Project/Property Address: APN: 165-350-0400

Assessor's Parcel Number: 165-350-0400

Lot Area (acres or SF): 1.989 AC/ 86,640 S.F.

Existing Use: Vacant

Brief Description of Proposal:

To develop and build two story 52,000 sqft building which will have a 26,000 sqft foot print.

Property Owner & Applicant Information

Owner Name: Ted Vallas

Phone Number & E-Mail Address: (760)814-7137 vallas1@cox.

Applicant Name: Nick Bowman

Phone Number & E-Mail Address: (619)723-6700

nickbowman@sbcglobal.net

To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf: _____

Signature of Property Owner
(or attach a Letter of Authorization)

Requested Meeting Date/Time (please provide 2 options) - reference the Developer's Conference calendar for dates

1st choice date: 10/21/2020 Time preference: 9:30 am 10:30 am either

2nd choice date: _____ Time preference: 9:30 am 10:30 am either

Requested Divisions to Attend (Planning attends all meetings)

Building Fire Water Engineering Transportation Solid Waste Other _____

Email the following documents in PDF to Tiffany Chen, tchen@oceansideca.org

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

To be completed by City staff:

Assigned meeting date: _____ Time: _____

Assigned Project Planner: _____

Active Seniors Country Club Living

10-1-2020

Project Description:

We are proposing to develop existing property and build a class "A" – 48 unit luxury Senior Apartment project that will be located on the Eastside of the 17th fairway of the beautiful El Camino Country Club which is located in Oceanside CA. The building will be a two-story wood framed with semi subterranean parking beneath 26,000 sqft footprint. The building in total will be approximately 52,000 sqft. We are proposing to enter the property from Birdie Drive and Back Nine Street via private 30' wide street with a min of 75'x10' pull out for fire at front of building along with a 100' turnaround at the end.

Project Data:

General Plan Existing & Proposed: CUP 60-47P Mixed Use
Zoning Existing & Proposed: CUP 60-47P Mixed Use

Land Use:

Existing: Vacant
Proposed: CUP 60-47P Mixed Use
Total Site Area: 1.989 AC., or 86,640 S.F.
Number of Lots Proposed: 1 Parcel
Total Parking Spaces: 85 Structured Parking Spaces
Density: 1.77
Proposed Building Coverage: 24 D.U./ ACRE
Percentage of Open Space: 25,000 S.F., 0.491 A.C. 25%
Percentage of Streets: 9,257 S.F., 0.212 A.C. 11%

Site Address:

ASCCL
0 Birdie Drive
Oceanside Ca, 92056

APN:

165-350-0400

Contacts:

Nick Bowman (619)723-6700 email: nickbowman@sbcglobal.net
Ted Vallas (760)814-7137 email: vallas1@cox.net



Active Seniors Country Club Living

Oceanside California



Investment Opportunity
Class A (48) Senior luxury Apartments

SITE AERIAL EXHIBIT
3/20/14




PROJECT SITE
APN
165-350-04


ALLIANCE
LAND PLANNING & ENGINEERING INC
3225 FOUNTAIN AVE.
FREMONT, CA 94538
TEL: (510) 431-0100
FAX: (510) 431-0100
27143 TUESDAY ROAD
SUITE 200
DUBLIN, CA 94568
TEL: (925) 253-3700

CONCEPTUAL - LAND PLANNING - PRELIMINARY DESIGN - EXHIBIT 11117

L:\CAD\1117\AERIAL\1117_AERIAL_EXHIBIT_11117.dwg


Court's Ex. 124
Case# 2015-00043956
Reel#
Date: 02/27/14

