

¹AGENDA
OCEANSIDE DEVELOPER'S CONFERENCE

Wednesday, January 27, 2021

Reviewers- Please complete the Developer's Conference comment sheet template and attach to the TRAKiT record by end of day Tues, 1/26/2021.

1. 9:30 - 10:30 am SKYPE teleconference

Proposed Tenant Improvements to existing building for a CVS Pharmacy, located at 501 Mission Avenue. [ADM21-00003]

Zoning: D-1

Land Use: DT

Neighborhood Area: Townsite

Assessor Parcel Number(s): 147-284-07 & 147-284-12

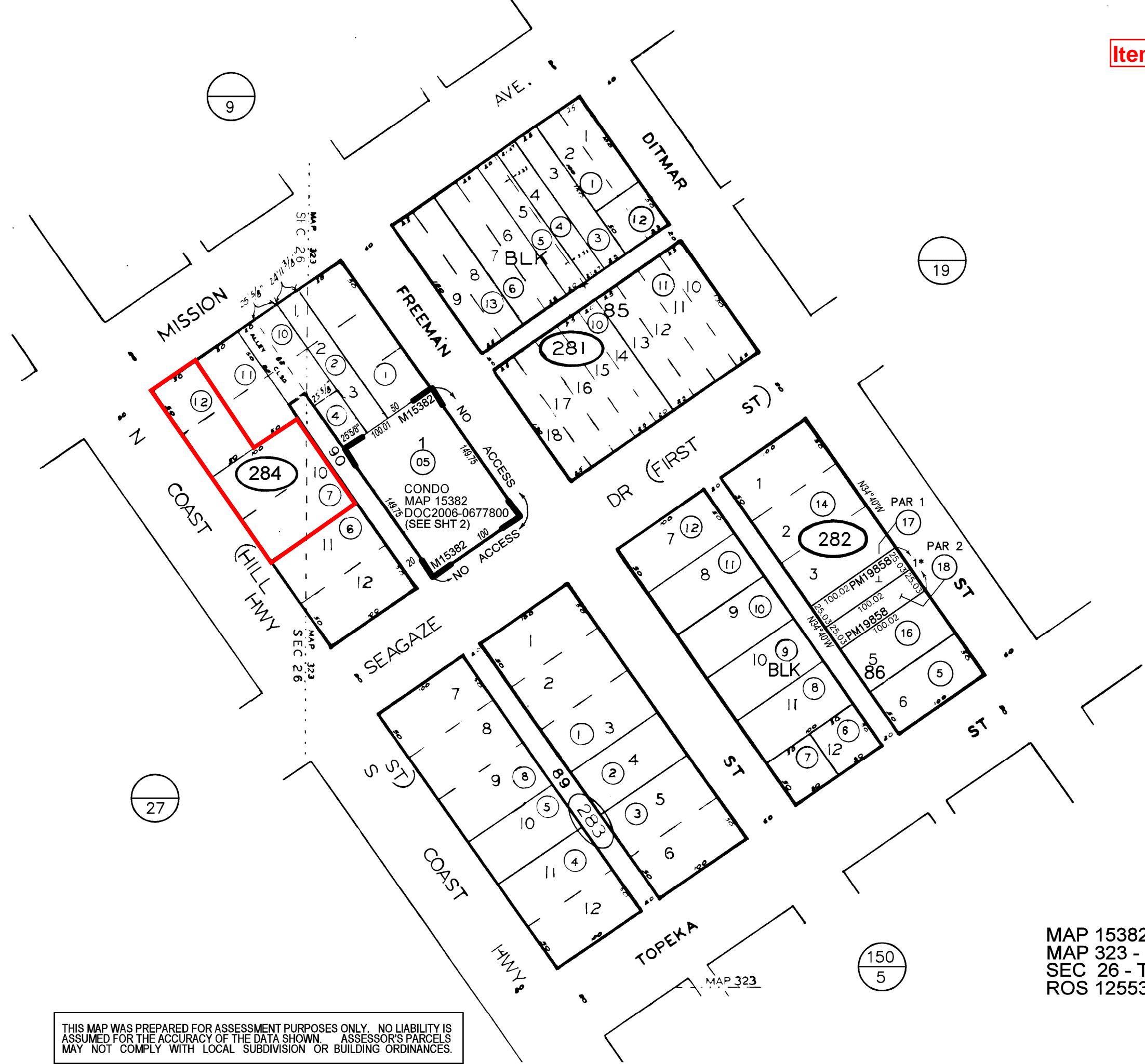
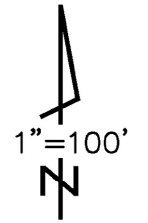
Contact Person: Tom Hespeler

Email: thespeler@rickengineering.com

¹ *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*

Item #1

147-28
SHT 1 OF 2



08/27/07 JAM

BLK	OLD	NEW	YR	CUT	
283	6&7	8	64	4903	
281	8&9	11	65	2576	
284	3	COMB SUBD 10	71	4056	
281	2		12	71	7308
282	1-4	13	72	1838	
284	8-9	11-12	74	974	
281	7	SUB ID'S	77	294	
281	7	SUB ID'S	13	81	2186
281	12	RED TO BLACK	82	5920	
282	13	14-16	00	1583	
282	15	17&18	06	1942	
284	5	CONDO	08	642 CC	

1* NO ACCESS

MAP 15382 - OCEAN LOFTS
MAP 323 - HORNES ADD
SEC 26 - T11S R5W POR
ROS 12553

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

WM
7-11-69



Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

General Information

Project/Property Address: 501 Mission Avenue, Oceanside, CA

Assessor's Parcel Number: 147-284-07, 147-284-12 Lot Area (acres or SF): 13,500 sf

Existing Use: Commercial

Brief Description of Proposal:

To do Tenant Improvements to the existing structure for a CVS Pharmacy

Property Owner & Applicant Information

Owner Name: Abdelmuti Dev LLC

Phone Number & E-Mail Address: 714-536-6567 ext. 204 jamal@jacksurf.com

Applicant Name: Rick Engineering Company/BOOS Development

Phone Number & E-Mail Address: 619-688-1429 thespeler@rickengineering.com

To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf:

Signature of Property Owner
(or attach a Letter of Authorization)

Requested Meeting Date/Time (please provide 2 options) - reference the Developer's Conference calendar for dates

1st choice date: 01/27/2021 Time preference: 9:30 am 10:30 am either

2nd choice date: _____ Time preference: 9:30 am 10:30 am either

Requested Divisions to Attend (Planning attends all meetings)

Building Fire Water Engineering Transportation Solid Waste Other _____

Email the following documents in PDF to Tiffany Chen, tchen@oceansideca.org

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

To be completed by City staff:

Assigned meeting date: 1/27/2021

Time: 9:30 AM

Assigned Project Planner: _____



January 15, 2021

City of Oceanside
Planning Department
300 North Coast Highway
Oceanside, CA 92054

Sent via email.

SUBJECT: DEVELOPMENT SUMMARY FOR PROPOSED CVS PHARMACY
CVS 131380 MISSION AVENUE, OCEANSIDE, CALIFORNIA
PROPOSED TENANT IMPROVEMENTS
(RICK ENGINEERING COMPANY JOB NUMBER 18477-A)

To Whom it May Concern:

The purpose of this letter is to provide a development summary for the proposed tenant improvement for the existing structure located at 512 Mission Avenue (APN Numbers 147-284-12, 147-284-07

CVS will be leasing the space from the current owner of the property. The project would entail the following elements below:

- Placement of CVS signage on the outside of the building and painting the exterior walls. (See attached).
- Modification to the entry doors along Mission Avenue to provide a separate door and entrance for access to 2nd floor of the building.
- Combining of the old Century 21 and Kingsman Cleaners to create one business. This will require the removal of the interior wall that currently separates the two spaces. The entrance doors to the cleaners will become an emergency exit door for the new layout.
- We are looking for guidelines regarding window signage and window coverage percentage.
- Combining of the two existing fire sprinkler systems and electrical into one system.
- New HVAC units are proposed to be installed on the roof. Are there additional screening rules that apply?
- Restriping of the existing parking lot to include angled parking and loading area. The construction of an enclosed trash enclosure and proposed monument sign within the parking lot. (See attached site plan.)

City of Oceanside

January 15, 2021

Page 2 of 2

- The project is proposing to sell alcohol. We would like to specifically discuss the Oceanside Police department request that the issuance of a PCN would include some type of discretionary approval through Planning, even though the zoning allows the sale of alcohol by-right.
- Per the zoning guidelines 24-hour operation and Minute Clinics are allowed. Can this please be verified.
- The building is on the Historical list for the City. Are any of the proposed changes/modifications impacted with this designation?

We look forward to meeting with you to go over the project. If you have any questions or concerns that you wish to get answers for prior to our meeting please do not hesitate to contact me directly.

Sincerely,

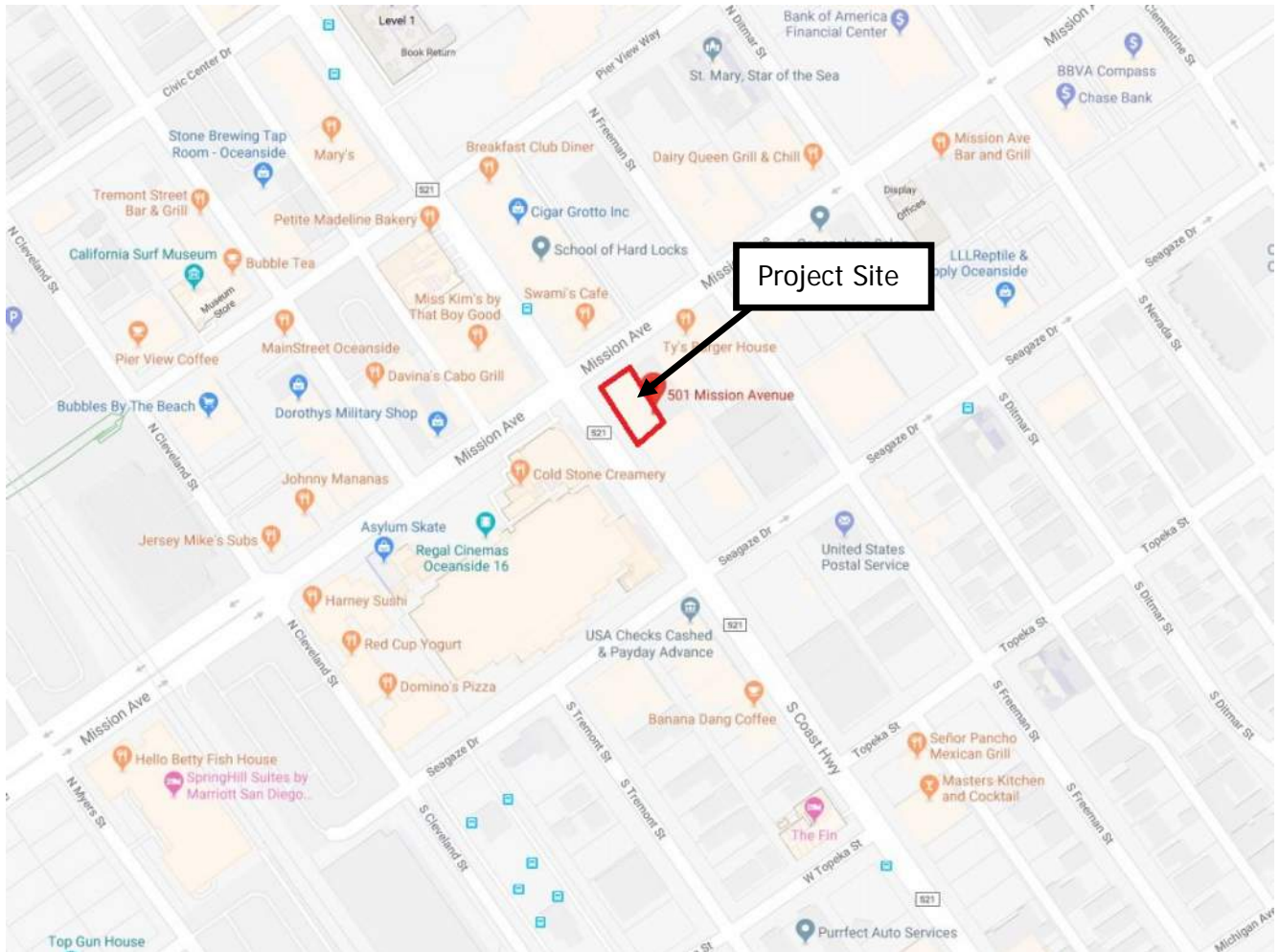
RICK ENGINEERING COMPANY



Wm. Thomas Hespeler
Project Engineer

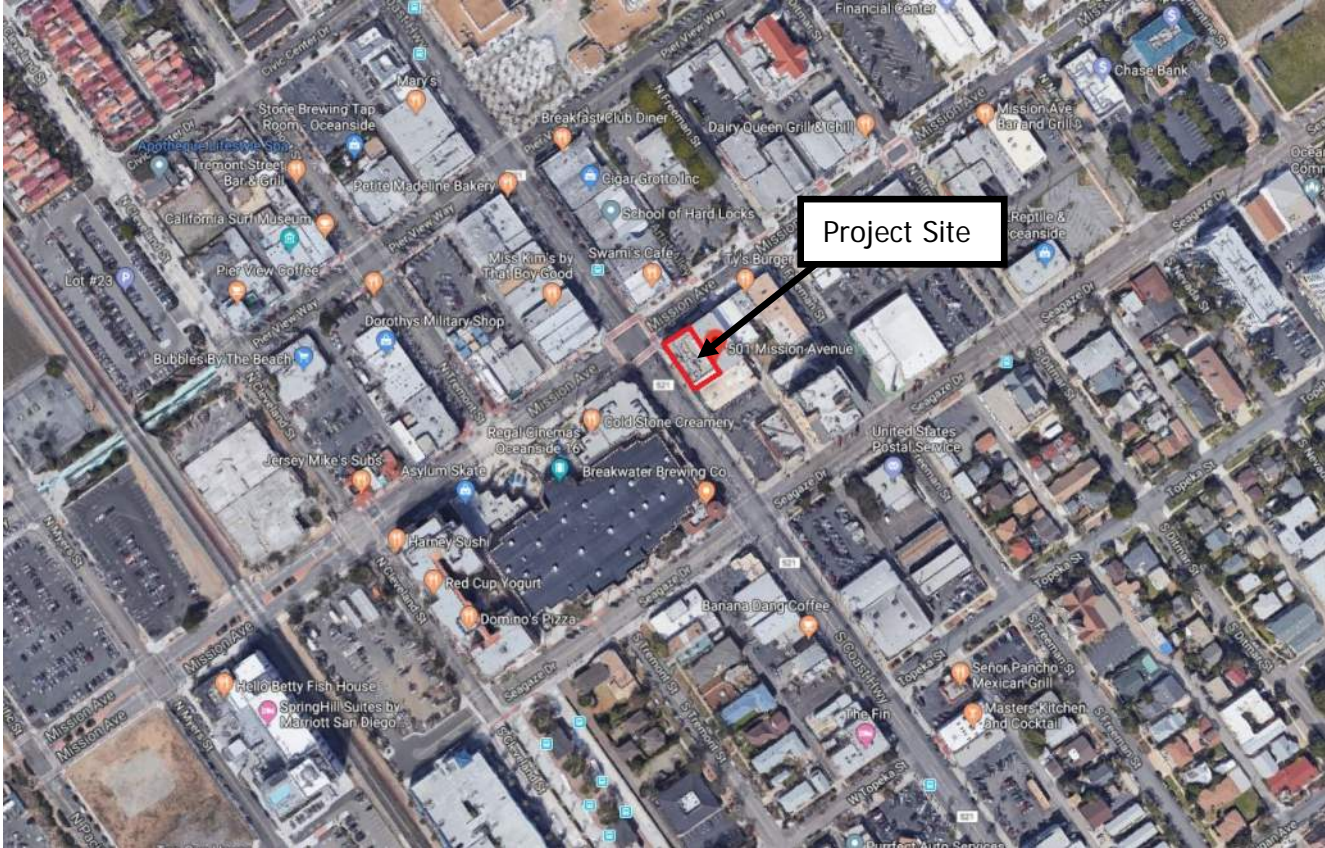
Attachments

Location Map

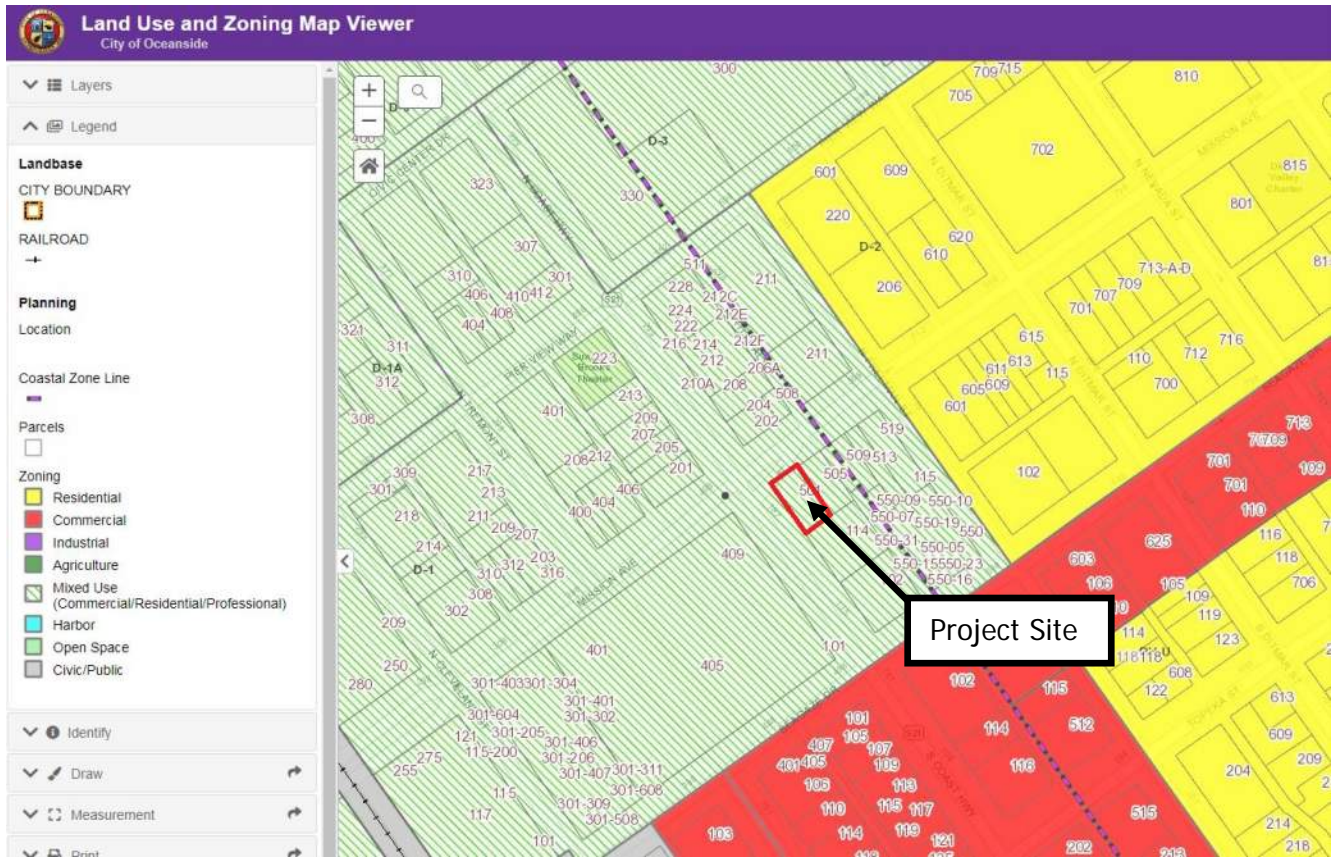


City of Oceanside, San Diego County, California

Aerial Map



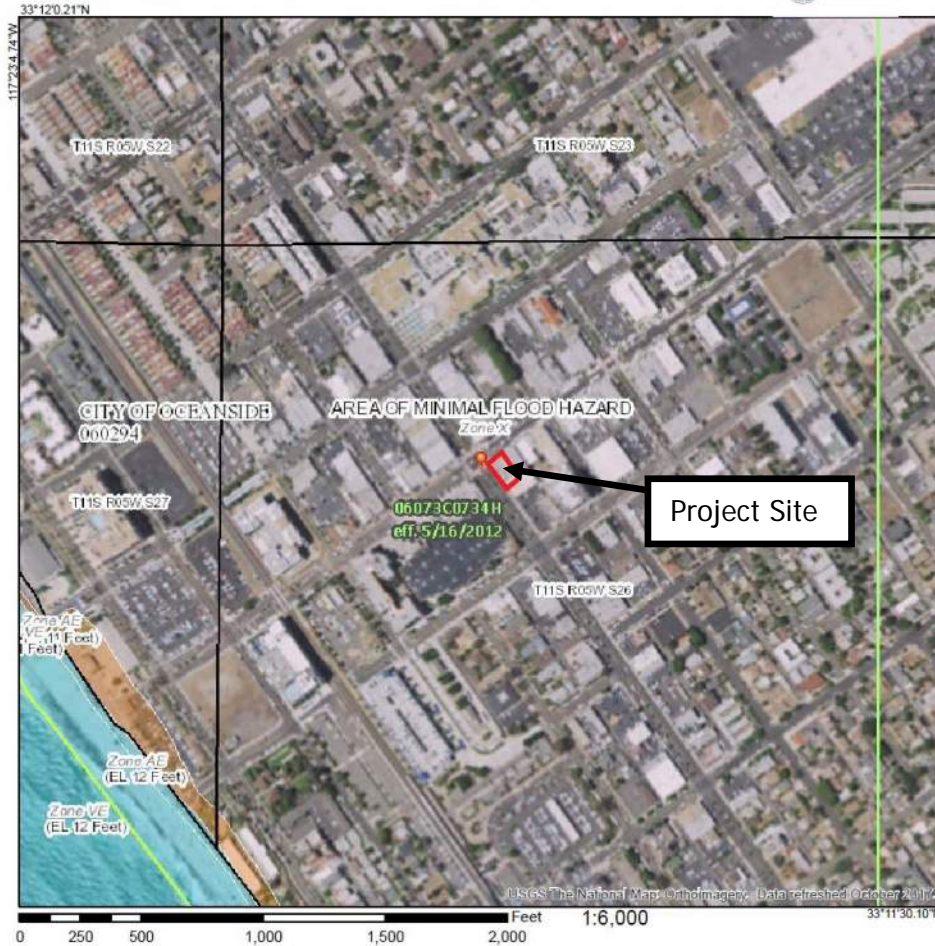
Zoning Map



D-1 (CZ) = Commercial Retail and Office/ Residential possible (Redevelopment), Downtown (DT) Landuse, Coastal Zone

FEMA Map

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone A, V, A99
- With BFE or Depth Zone AE, AO, AH, VE, AH
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- NO SCREEN Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 12/10/2018 at 7:25:24 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

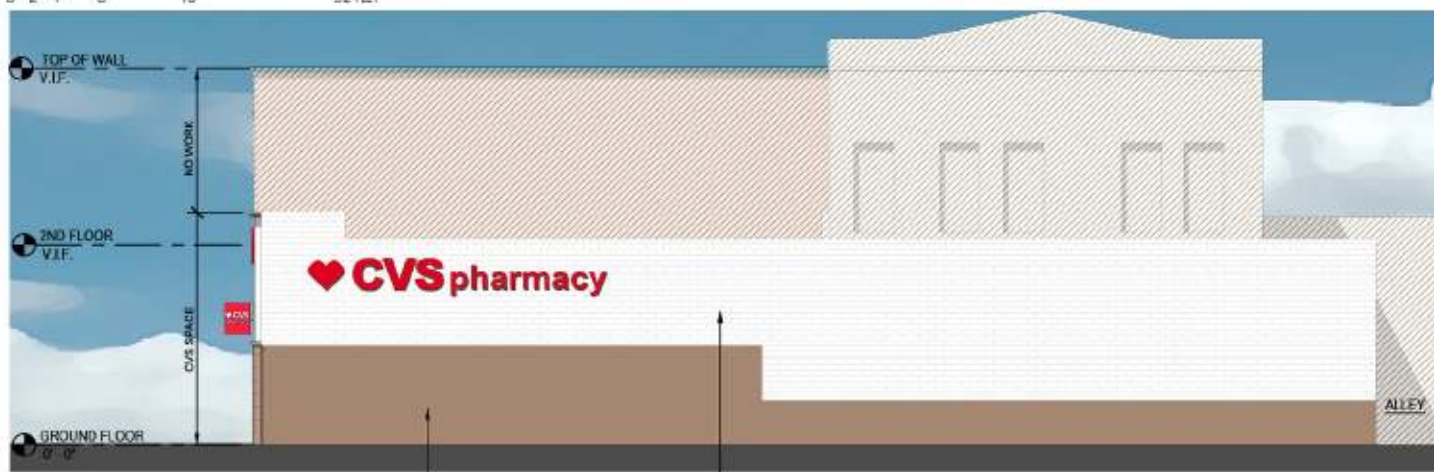
NOTE: Site resides in Flood Zone X, areas determined to be outside the 0.2% annual chance floodplain.



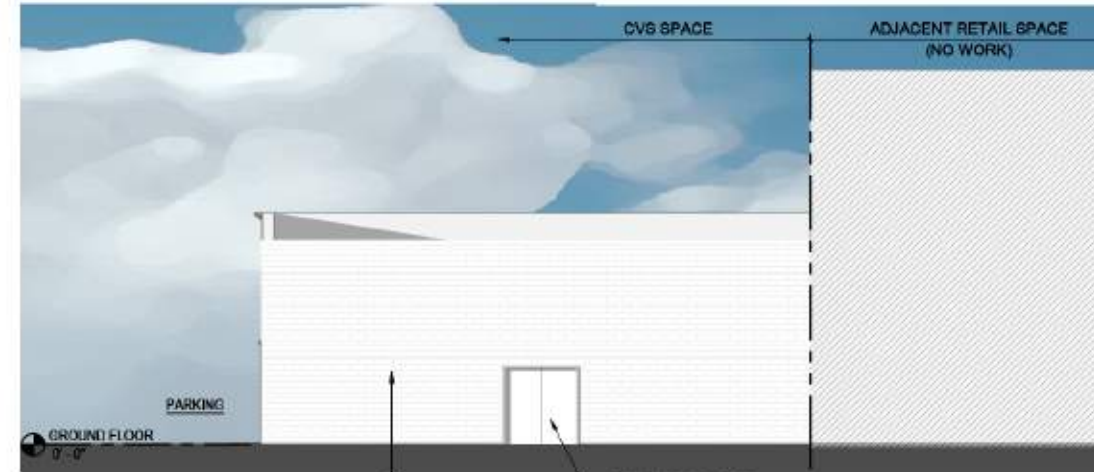
North Elevation (Mission Ave.)



West Elevation (S. Coast Hwy.)



South Elevation



East Elevation

EXTERIOR MATERIAL SCHEDULE		
Material Mark	Material: Manufacturer	Material: Description
EX1		STONE TILE
EX2	PAINT	EXISTING STOREFRONT SYSTEM
EX3	PAINT	PAINT TO MATCH NICHIIHA: VINTAGEWOOD COLOR CEDAR
EX4	PAINT	PAINT TO MATCH, STO LOTUSAN SYSTEM, COLOR 943380 STO WHITE

NOTE : COLOR ELEVATIONS

1. DUE TO LIMITATIONS OF THE PRINTING PROCESS, SURFACE TEXTURE OF MATERIALS, ETC., THE COLOR SHOWN ON THIS DRAWING WILL VARY. COLOR AND MATERIALS SHOWN ARE APPROXIMATE AND ARE TAKEN FROM SITE PHOTOS OF EXISTING CONDITIONS.
2. BUILDING HEIGHTS ARE SHOWN APPROXIMATE AND ARE TAKEN FROM GOOGLE EARTH STREET VIEWS. EXISTING BUILDING HEIGHTS WILL NEED TO BE VERIFIED IN FIELD.



Store #131380_00000
OCEANSIDE, CA



LYONS WARREN | engineers + architects

9560 Candida Street - San Diego, CA 92126
phone 858.573.8999 - fax 858.573.8998

09.18.2019

Release Date: 01/03/2019

Survey Date: 01/14/2019

SCRUB BOOK

Site Info	
Master Sign Plan or ARB Required:	N/A
Chance of Variance	N/A
Minute Clinic	N/A
Hours of Operation	Regular
Site Summary	WALL SIGN SIGN AREA: 100 SF ALLOWED ON THE SHORT ELEVATION AND 200 SF ON THE LONG ELEVATION. LETTERING / LOGOS ON AWNINGS ARE INCLUDED IN THE WALL SIGN AREA.



September 26, 2019

File Path: Active\ACCOUNTS\C\CVS pharmacy\Locations 2019\749_New Builds\749_131380_Oceanside_CA_R7

Prepared by:

ICON

Ground Signs

Parking Regulatory (Qty. 5)



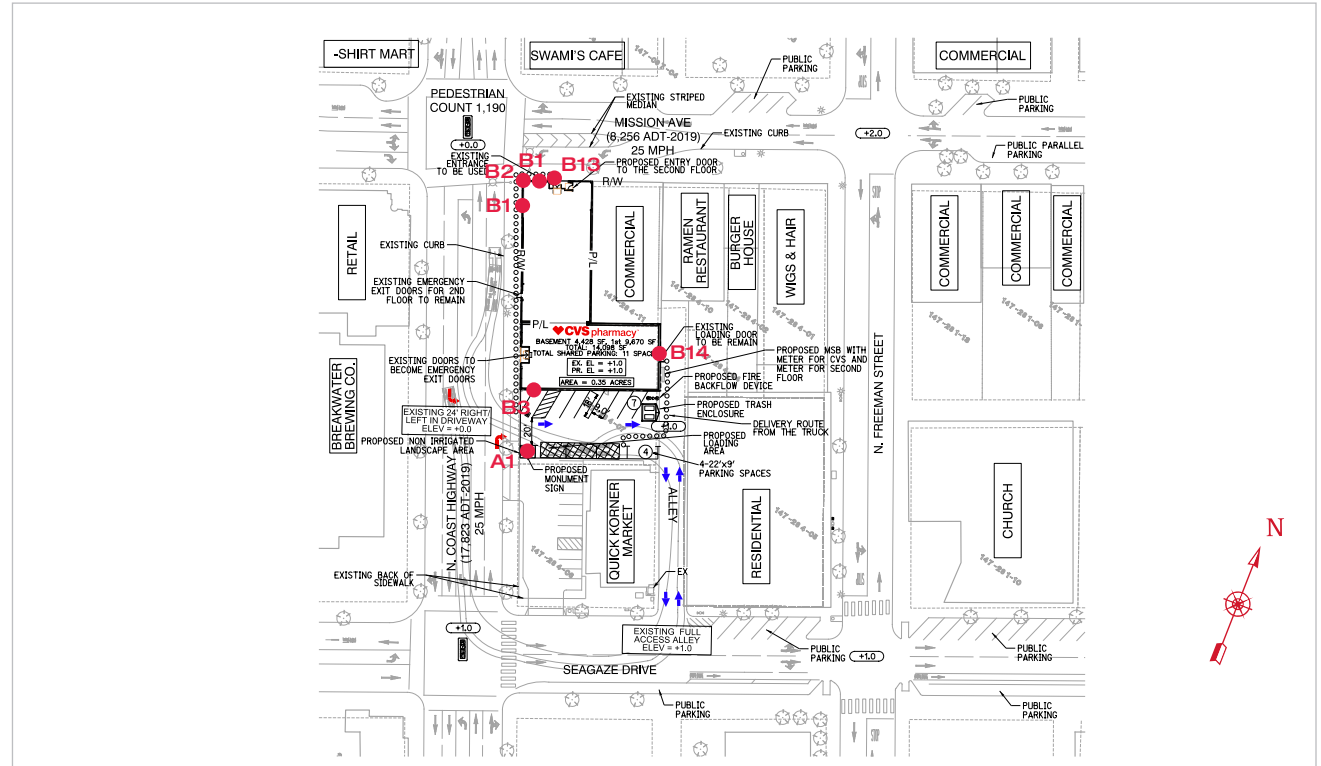
Total Proposed = 1.5 Sq Ft

Monument Sign (A1)



Total Proposed = 24.33 Sq Ft

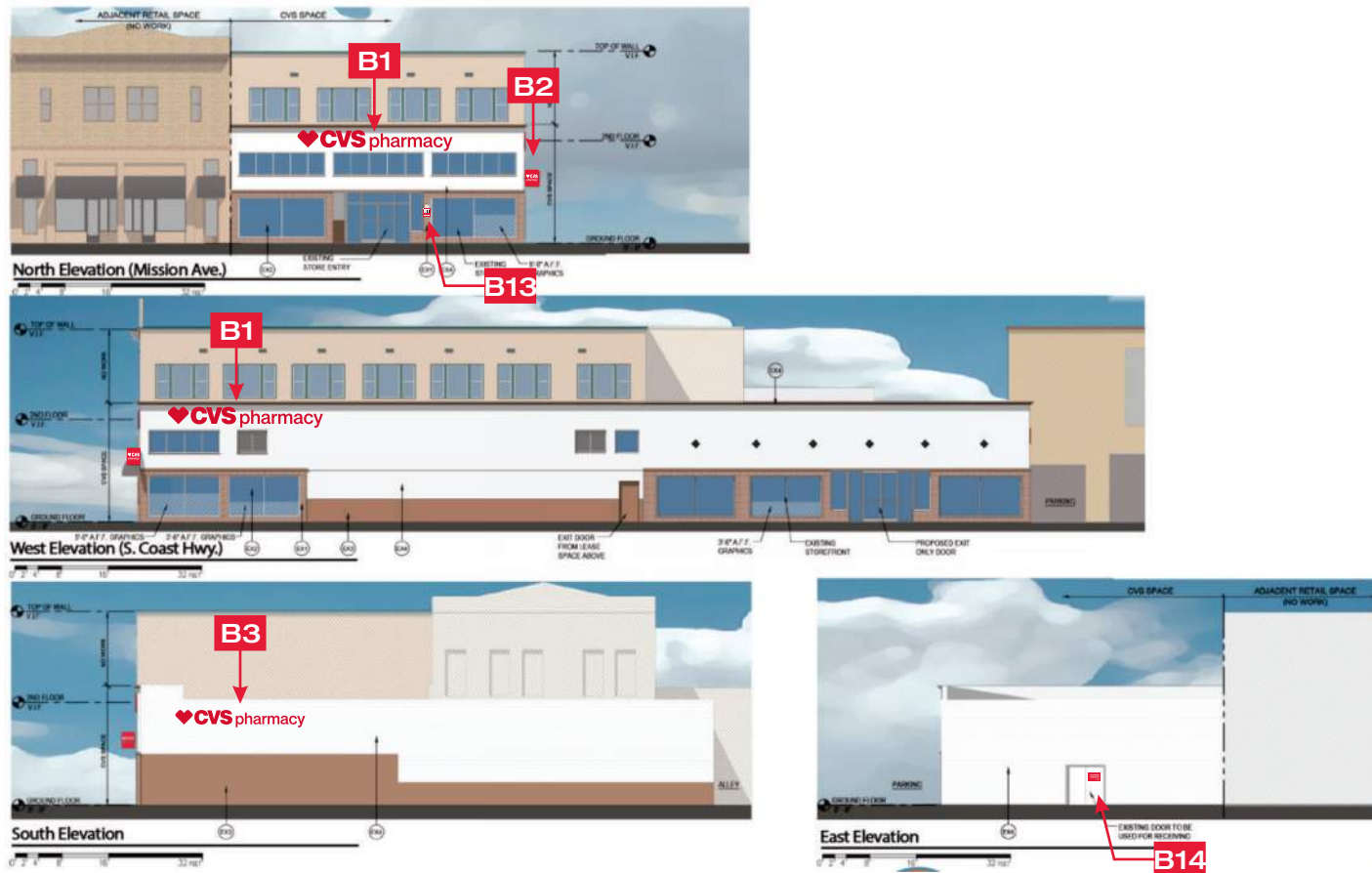
Sign Placement - Site Plan



Sign Placement - Sign Key

West Elevation			
B1		33 3/4"H x 317 9/16"W	74.43 SqFt
		Total Proposed	74.43 SqFt
South Elevation			
B3		28 1/4"H x 265 13/16"W	52.15 SqFt
		Total Proposed	52.15 SqFt
East Elevation			
B14		18"H x 24"W	3.0 SqFt
		Total Proposed	3.0 SqFt

North Elevation			
B1		33 3/4"H x 317 9/16"W	74.43 SqFt
B13		18 9/16"H x 14 1/2"W	1.87 SqFt
B2		34"H x 34"W	9.0 SqFt
		Total Proposed	85.3 SqFt



Sign Survey

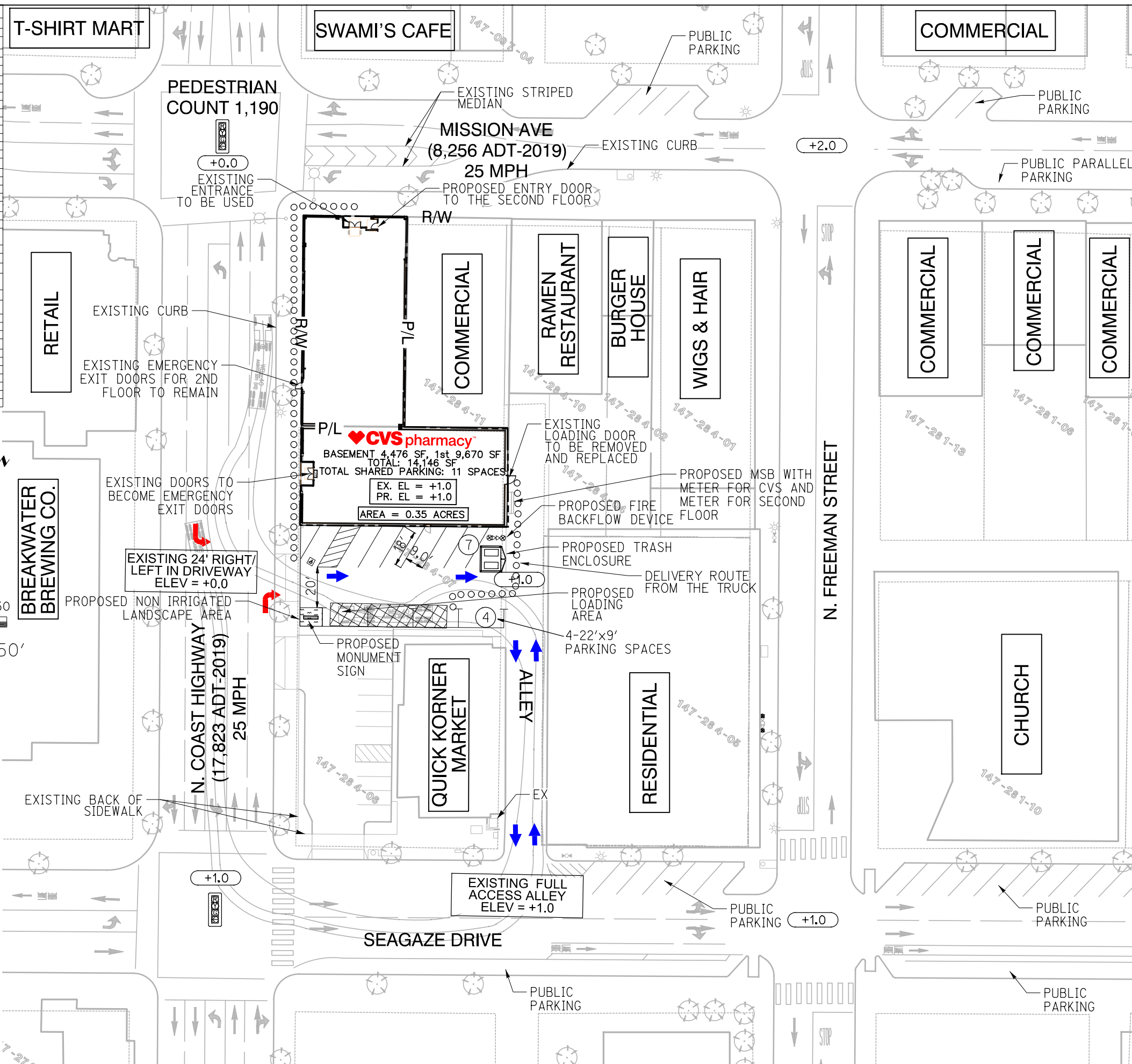
		Release Date	1/3/2019	Survey Date:	1/14/2019	Hours of Operation: Regular	
Store Number:	cs #	City: Oceanside		Jurisdiction: City of Oceanside		Minute Clinic: N/A	
00000	131380					Permit Required For Site Sign: Yes	
Bldg Style: Non-prot		State: CA	Per Plan	City Contact: Jeff Hunt (760) 435-4373		Number of Street Fronts: 2	
						Master Sign Plan or ARB Required: N/A	
Store Location: 501 Mission Blvd.		Zoned: D / Mixed Use Downtown		Developer: Boos Development		Chance of Variance on proposed package: N/A	
		Total	0			Total	0
Standard Signage		Total Signs Allowed By Code		Proposed (Variance or DRB Negotiations)		Signs Actually Installed	
BUILDING SIGNS		Sq.Ft.	BUILDING SIGNS		Sq.Ft.	BUILDING SIGNS	
		PRIMARY LONG ELEVATION		PRIMARY LONG ELEVATION		PRIMARY LONG ELEVATION	
B1- 45" CVS pharmacy (int-illum)	133.06	33" CVS pharmacy (int-illum)		74.43			
B1.A-39" CVS pharmacy (int-illum)	101.96	34" Square Blade Sign		9			
B1.B- 33" CVS pharmacy (int-illum)	74.43	Operating Hour sign		2			
B1.C- 28" CVS pharmacy (int-illum)	52.15						
B1.D- 22" CVS pharmacy (int-illum)	33.08	PRIMARY SHORT ELEVATION		PRIMARY SHORT ELEVATION		PRIMARY SHORT ELEVATION	
B1.E- 18" CVS pharmacy (int-illum)	22.97	33" CVS pharmacy (int-illum)		74.43			
B2- 18" Drive-Thru Pharmacy (int-illum)	31.07						
B3-Double- Canopy OR Bump out (SHORT)-Drive Thru w/Clearance-	18	SECONDARY LONG ELEVATION		SECONDARY LONG ELEVATION		SECONDARY LONG ELEVATION	
B3-Double Canopy or Bump out (LONG)- Drive-Thru Pharmacy	17.65						
B3.A-Single Canopy (SHORT)-Drive Thru w/Clearance- (illum)	6						
B3.A-Single Canopy (LONG)- Drive-Thru Pharmacy (illum)	10						
B4- 18" Minute Clinic (int-illum)	26.1						
B13- Operating Hour sign	2						
B14- Receiving Door sign	3	SECONDARY SHORT ELEVATION		SECONDARY SHORT ELEVATION		SECONDARY SHORT ELEVATION	
B15- Heart Logo in vestibule counted as a sign?	28	CVS pharmacy (int-illum)		52.15			
FREESTANDING SIGNS		Sq.Ft.	FREESTANDING SIGNS		Sq.Ft.	FREESTANDING SIGNS	
A1- Standard Prototype Pylon @ 24' (int-illum)	60.69	N/A					
MONUMENT SIGNS		Sq.Ft.	MONUMENT SIGNS		Sq.Ft.	MONUMENT SIGNS	
A2- Standard Prototype Monument @ 6' (internally illuminated)	17.11	Standard Prototype Monument @ 6' (internally illuminated)					
Special Note: The sign regulations and guidelines are provided by the local jurisdiction officials either by municipalities or land developments. Due to contradictions within codes and misinterpretation or false information given by officials the sign information is subject to change at the time of interpretation by the governing permitting staff.							
The sign recommendations are based on the municipalities sign code of ordinance and does not reflect any landowner or development restrictions or covenants that may be imposed on CVS signage by lease agreements made by the landowner/agents or CVS developer. These recommendations are based on a Prototypical building design and the specific site plan that was supplied to Poyant at the time the survey was produced. Any changes in building configuration or placement may negatively impact these findings.							
Sign Code Regulation Summary: WALL: The maximum size of a wall sign, including a logo, shall be two (2) square feet of sign area for each lineal foot of building frontage. Frontage is computed on an individual basis in multi-tenant buildings. Building frontage shall be measured along that side of the building for which the sign is proposed. Sign Length: Front Wall Signs - The length of the sign may be up to 70 percent of the building frontage, to a maximum of 50 feet. Side and Rear Wall Signs - The length of the sign may be up to 50% of the building frontage, to a maximum of 30 feet. Wall signs are allowed on all 4 sides of the building but may not project above the intersection of the wall and roof parapet line. WINDOW: If over 4 square feet signs are regulated. No more than 20 percent of the total window area for any one side of a building shall be used for permanent or temporary sign display. These signs do not require a permit unless they are illuminated. If illuminated an electrical permit is required. PROJECTING: Projecting signs shall not extend over the public right-of-way unless an encroachment permit is obtained from the City. A projecting sign shall not encroach more than six (6) feet into the City's right-of-way, 8' clearance required for signs that project up to 12" from the wall. 9'-10' clearance required for signs that project two feet. 11'-12' clearance required for signs that project 3 feet from wall. Projecting signs NTE 30 sf, no more than one per tenant. Wall and projecting signs are included in the wall sign area above. Vertical projecting signs must be at least 15 feet above grade, cannot project more than 5'-6" from wall. Awning: signage on awnings are included in wall sign area GROUND: Freestanding monument signs are limited to one monument sign per each 250 ft of street frontage. Street frontage where a monument sign is located must be at least 100ft. Sign area of a monument sign shall not exceed 40 SF for a building less than 10,000 sq.ft., 50 sq. ft for a building between 10,001-25,000 sq.ft., or 60sq. ft. max for buildings over 25,000 sq. ft. Overall height of a monument sign NTE 6'-0". A minimum distance of 100 ft must be maintained between monument signs. Monument signs shall be placed within a landscaped area and not placed within a corner clear zone or create a pedestrian or traffic hazard.							
Site Summary				Any Knowledge of Possible Future Sign Code Change?		Prepared by	
WALL SIGN SIGN AREA: 100 SF ALLOWED ON THE SHORT ELEVATION AND 300 SF ON THE LONG ELEVATION.				NO			

CRITERIA CHECKLIST	
PROJECT DATA	
PARKING PROVIDED	11
PARKING REQUIRED	NO PARKING REQUIREMENTS FOR EXISTING DOWNTOWN BUSINESSES
LOADING AREA PROVIDED	YES
LOADING AREA REQUIRED	YES
LAND INFORMATION	
LAND LOT / DISTRICT	CITY OF OCEANSIDE
PARCEL NUMBERS	147-284-1200, 147-284-0700
BOUNDARY SURVEY	TO BE COMPLETED
TOPOGRAPHICAL SURVEY	TO BE COMPLETED
ENVIRONMENTAL REPORT (PHASE 1)	TO BE COMPLETED
GEOTECHNICAL REPORT	TO BE COMPLETED
DETENTION EVALUATION	TO BE COMPLETED
CUT / FILL EVALUATION (APPROX.)	TO BE COMPLETED
OFF SITE IMPROVEMENTS	TO BE COMPLETED
EASEMENTS	TO BE COMPLETED
ZONING INFORMATION	
EXISTING ZONING	COMMERCIAL RETAIL AND OFFICE D-1
ADJACENT ZONING	N: D-1, E: D-1, S: D-1, W: D-1
CONDITIONS OF REZONING	NA
BUILDING HEIGHT LIMIT	45 FT
OPERATIONS INFORMATION	
DRIVE-THROUGH ALLOWED	NOT ALLOWED
24-HOUR SERVICE ALLOWED	TO BE DETERMINED
BEER / WINE SALES ALLOWED	TO BE DETERMINED
MINUTE CLINIC ALLOWED AND PERMITTED USE	NOT ALLOWED
SIGNAGE LOCATIONS AND REQUIREMENTS	TO BE DETERMINED
LANDSCAPE INFORMATION	
EXTERNAL REQUIREMENTS	N/A
INTERNAL REQUIREMENTS	
ACCESS INFORMATION	
CURB CUT EVALUATION	1 RIGHT/LEFT IN DRIVEWAY ALONG N COAST HIGHWAY
DECCELERATION LANES	NONE ANTICIPATED AT THIS TIME
LINE OF SIGHT	APPEARS TO MEET REQUIREMENTS
JURISDICTIONAL CONTROL	CITY OF OCEANSIDE
STORM & UTILITY INFORMATION	
STORM AVAILABILITY	YES - TO BE CONFIRMED
ELECTRIC AVAILABILITY	YES - TO BE CONFIRMED
TELEPHONE AVAILABILITY	YES - TO BE CONFIRMED
CABLE AVAILABILITY	YES - TO BE CONFIRMED
WATER AVAILABILITY	YES - TO BE CONFIRMED
SEWER AVAILABILITY	YES - TO BE CONFIRMED
GAS AVAILABILITY	YES - TO BE CONFIRMED

SITE DATA	
TOTAL SITE AREA	0.35 ACRES
PERVIOUS AREA	0.0 ACRES
IMPERVIOUS AREA	0.35 ACRES (100%)
CVS PARKING SPACES	11
TOTAL PARKING SPACES	11
CVS BUILDING AREA	9,670 SF
BASEMENT	4,476 SF
BUILDING DENSITY	14,146 SF (BLDG) / 15,190 SF (LOT) = 93%

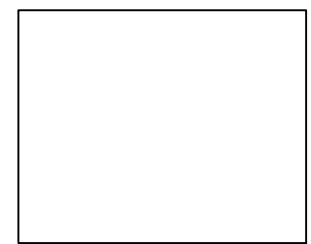
LEGEND		
	TRAFFIC SIGNAL	STANDARD DUTY CONCRETE PAVING
	NUMBER OF PARKING SPACES	HEAVY DUTY CONCRETE PAVING
	ACCESSIBLE PARKING SPACES	DOT CONCRETE PAVING
	VEHICLE STACKING POSITION	TRANSFORMER BOX ON PAD
	WB-40 DELIVERY TRUCK	

SITE RISK ASSESSMENT	
REFER TO THE DUE DILIGENCE FOR FURTHER EXPLANATION OF EACH ITEM BELOW	
PROPERTY:	1) THE LOCAL JURISDICTION RESERVES THE RIGHT TO MAKE CHANGES DEEMED NECESSARY UNTIL THE ISSUANCE OF THE CERTIFICATION OCCUPANCY.
ZONING:	1) UNDER CURRENT CITY OF OCEANSIDE ZONING CODE, THIS SITE FALLS UNDER COMMERCIAL RETAIL AND OFFICE D-1.
ACCESS:	1) THERE IS 1 RIGHT/LEFT IN DRIVEWAY ALONG N COAST HIGHWAY TO THE OFFLINE PARKING AREA.
STORMWATER:	1) THE EXISTING BUILDING ROOF DRAINS DIRECT WATER ONTO N COAST HIGHWAY THAT IS THEN PICKED UP IN THE EXISTING STORM DRAIN SYSTEM IN THE STREET.
LANDSCAPING:	1) THERE IS NO ON SITE LANDSCAPING FOR THIS BUILDING. THERE ARE 2 PALM TREES IN THE STREET RIGHT AWAY ADJACENT TO THE BUILDING.
UTILITIES:	1) EXISTING SITE IS FULLY DEVELOPED; A NEW FIRE BACK FLOW IS PROPOSED AT THE SOUTHEAST CORNER OF THE DRY CLEANER BUILDING. THE CITY OF OCEANSIDE IS REQUIRING A PRE APPLICATION MEETING BEFORE ANSWERING QUESTIONS REGARDING FIRE SPRINKLERS IN THE BUILDING.
OTHER VARIANCES FROM CVS STANDARDS:	1) THE BUILDING SHAPE IS NON PROTO. THE EXISTING ENTRY DOORS ON MISSION AVE WILL BE USED. THE EXISTING LOADING DOOR AT THE REAR OF THE DRY CLEANERS WILL BE REMOVED. THE PROPOSED TRASH ENCLOSURE IS LOCATED IN THE OFFLINE PARKING AREA. THE PROPOSED LOADING AREA IS IN THE OFFLINE PARKING AREA. PRODUCT WILL BE MOVED ALONG THE SIDEWALK AND BE BROUGHT INTO THE BUILDING.



CVS pharmacy™
 ATYPICAL CENTER ENTRY NO DRIVE-THRU
 STORE NUMBER: XXXXX
 501 MISSION AVENUE
 OCEANSIDE, CA 92054
 PROJECT TYPE: AS-IS
 DEAL TYPE: NEW STORE
 CS PROJECT NUMBER: 131380

RICK ENGINEERING COMPANY
 5620 FRIARS ROAD
 SAN DIEGO, CA 92110
 619-291-0707
 (FAX) 619-291-4165
 San Diego - Riverside - Orange - Sacramento
 San Luis Obispo - Phoenix - Tucson - Denver
 rickengineering.com

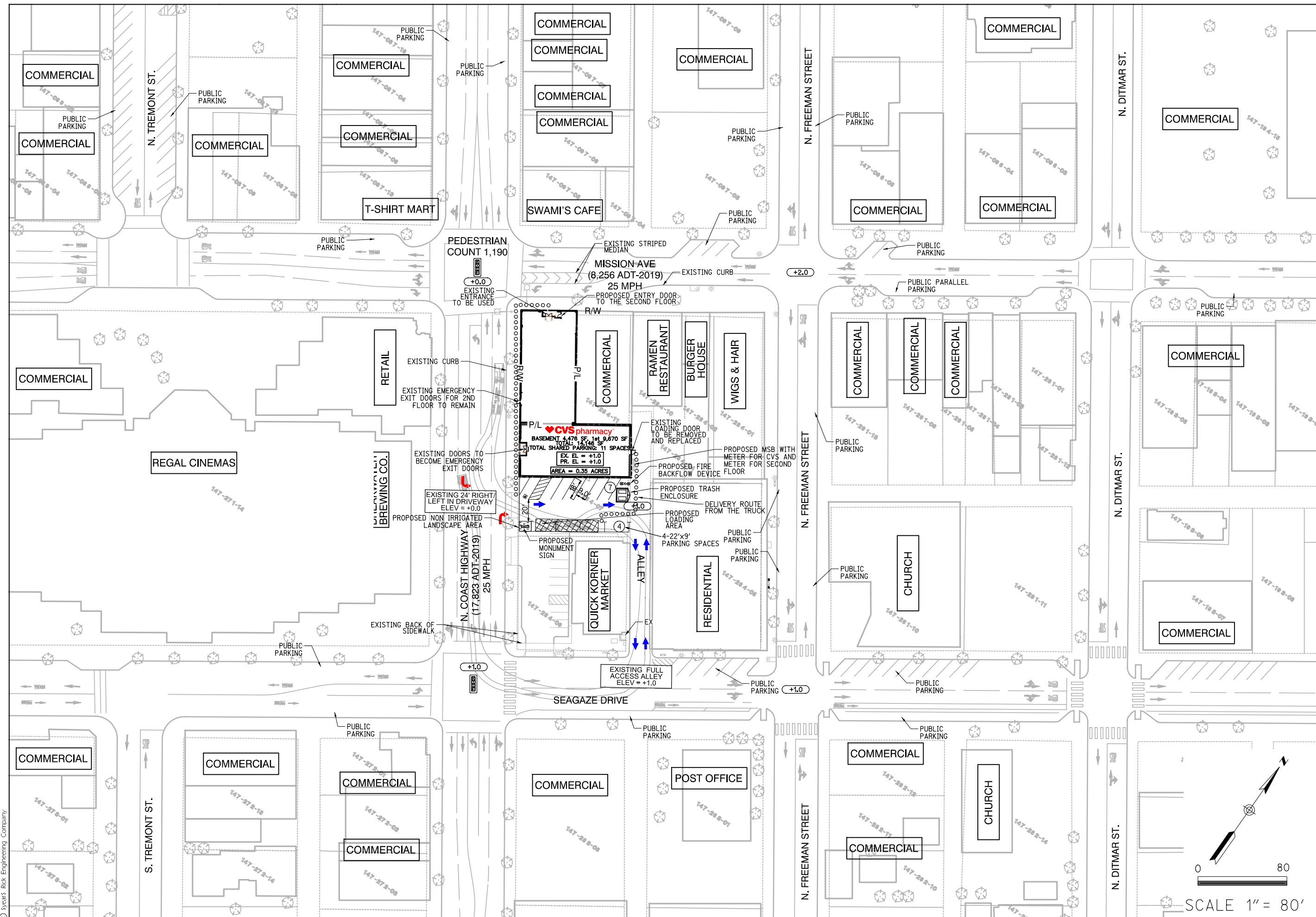


BOOS DEVELOPMENT WEST
 701 N. PARKCENTER DRIVE
 SUITE 200, SANTA ANA, CA 92705
 714/953-0004 714/953-0005-FAX

REVISIONS:	
BOOS REVISIONS:	02/15/19
BOOS REVISIONS:	02/21/19
BOOS REVISIONS:	05/02/19
BOOS REVISIONS:	05/15/19
RICK REVISIONS:	05/16/19
BOOS REVISIONS:	09/10/19
BOOS REVISIONS:	09/23/19
BOOS REVISIONS:	10/30/19

DRAWING BY:	REC
DATE:	02/01/19
JOB NUMBER:	18477
TITLE:	SK-1

SHEET NUMBER:	1 OF 2
COMMENTS:	NOT RELEASED FOR CONSTRUCTION



ATYPICAL
CENTER ENTRY
NO DRIVE-THRU
STORE NUMBER: XXXXX

501 MISSION AVENUE
OCEANSIDE, CA 92054

PROJECT TYPE: AS-IS
DEAL TYPE: NEW STORE
CS PROJECT NUMBER: 131380



5620 FRIARS ROAD
SAN DIEGO, CA 92110
619-291-0707
(FAX) 619-291-4165
San Diego - Riverside - Orange - Sacramento
San Luis Obispo - Phoenix - Tucson - Denver
rickengineering.com



701 N. PARKCENTER DRIVE
SUITE 200, SANTA ANA, CA 92705
714/953-0004 714/953-0005-FAX



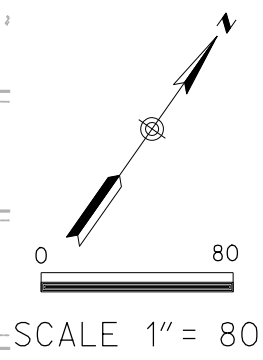
REVISIONS:

BOOS REVISIONS:	02/15/19
BOOS REVISIONS:	02/21/19
BOOS REVISIONS:	05/02/19
BOOS REVISIONS:	05/15/19
RICK REVISIONS:	05/16/19
BOOS REVISIONS:	09/10/19
BOOS REVISIONS:	09/23/19
BOOS REVISIONS:	10/30/19

DRAWING BY: REC
DATE: 02/01/19
JOB NUMBER: 18477
TITLE: SK-2

SHEET NUMBER: 2 OF 2

COMMENTS:
NOT RELEASED FOR CONSTRUCTION

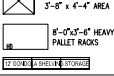


© 2019 Rick Engineering Company

MERCHANDISE FIXTURE LEGEND

- FIXTURE SUPPLIED BY OTHERS
- FIXTURE TO RECEIVE OUTLET IN HOOP/LATE
- 84"X36" W/D
- 65" OVERSTOCK SHELVING
- 84"X36" W/D
- 65" OVERSTOCK SHELVING

PALETT POSITION
3'-5" x 4'-4" AREA



STORAGE RACK



RETAIL STORAGE CART



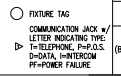
EMPLOYEE LOCKERS



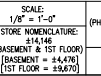
MANUAL PULL STATION



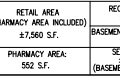
ASISLE MARKER



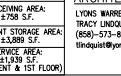
FIXTURE TAG



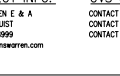
COMMUNICATION JACK



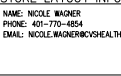
TELEPHONE PORTS



D=DATA, I=INTERCOM



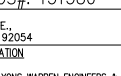
PH=POWER FAILURE



SHOPPING BASKET



WHEEL CHAIR ACCESSIBLE



PALETT JACK & EMPTY PAALLETS



FIRE EXTINGUISHER



NOTE: MAINTAIN DOOR CLEARANCES INDICATED ON THIS SHEET AS REQUIRED BY 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

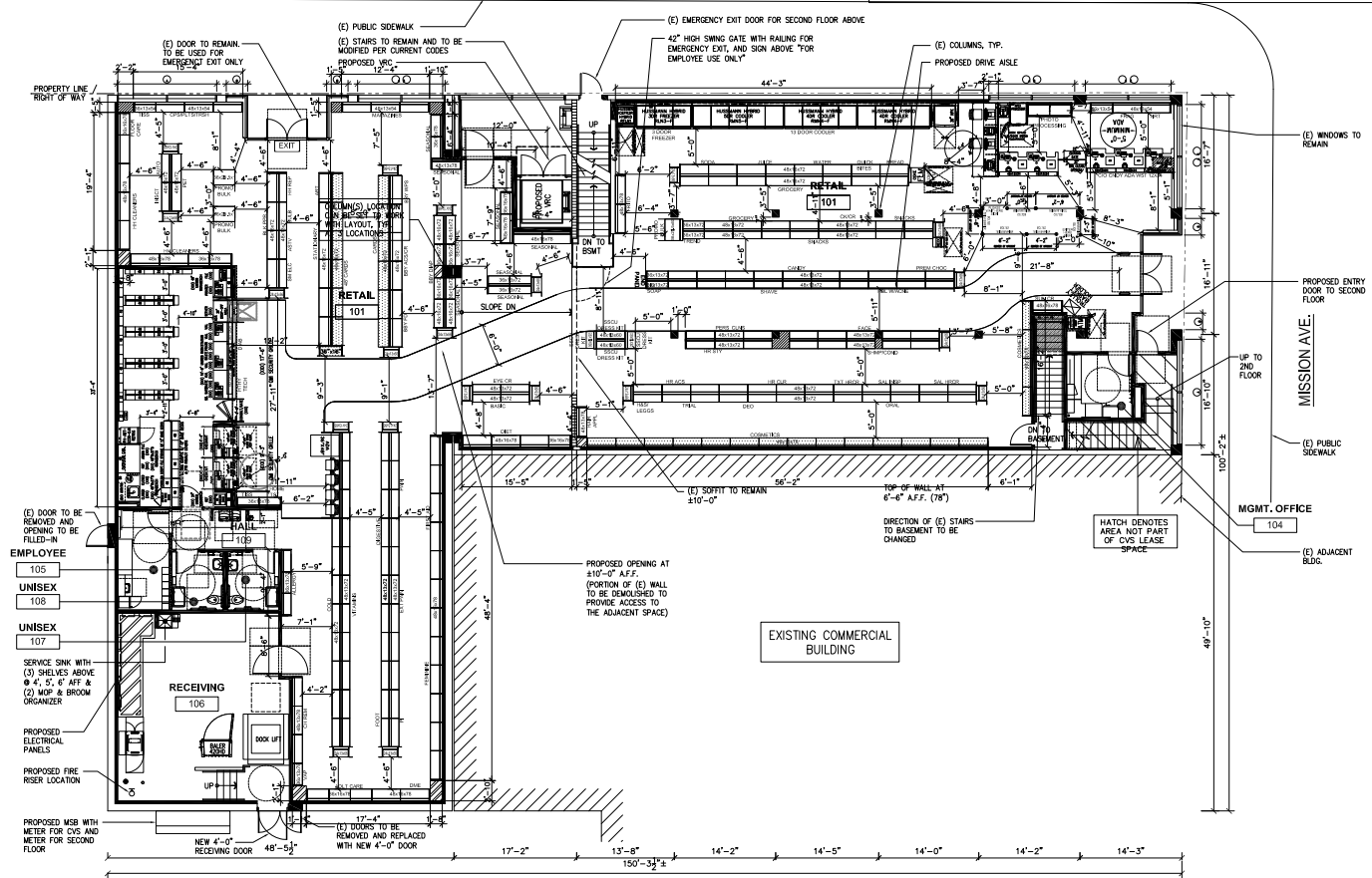
THIS SQUARE FOOTAGE IS FOR CVS MERCHANDISE PURPOSES ONLY AND IS NOT TO BE USED TO CALCULATE REQUIRED EGRESS OR CODE REQUIREMENTS

NOTE: THIS PROTOTYPICAL FIXTURE PLAN IS FOR PRICING PURPOSES ONLY. A SITE SPECIFIC FIXTURE PLAN (F-1) WILL BE PROVIDED FOR EACH PROJECT.

WINDOW LEGEND

- Ⓐ ± 12" TO BOTTOM OF CLEAR GLASS
- Ⓑ ± 24" TO BOTTOM OF CLEAR GLASS
- Ⓒ WINDOW GRAPHICS AT 5'-0" A.F.F.
- Ⓓ WINDOW GRAPHICS AT 3'-6" A.F.F.

N. COAST HIGHWAY



1ST FLOOR OUTLINE PLAN
SCALE: 1/8" = 1'-0"

LEGEND
EXISTING MASONRY WALL TO REMAIN

OUTLINE PLAN NOTES:

- STORE IS BASED ON IAK (14-979) PROTD. CENTER ENTRY, RIGHT SIDE DRIVE-THRU.
- PROJECT WILL BE LOCATED WITHIN A PORTION OF AN EXISTING BUILDING. SURVEY OF BUILDING WAS LIMITED TO VISUAL OBSERVATION.
- PLAN IS ATYPICAL BASED ON EXISTING BUILDING LAYOUT.
- EXTERIOR COMPACTOR WILL NOT BE PROVIDED AN INTERIOR BALKER WILL BE PROVIDED (PTR BALKER MODEL 420 HD).
- MINUTE CLINGING HAS NOT BEEN PROVIDED.
- EXISTING CEILING HEIGHTS ARE PROPOSED TO REMAIN:
BASEMENT: 8'-0"
1ST FLOOR: 8'-4", 10'-0" & 12'-0"

- CVS TO DETERMINE IF EXISTING CEILING FINISHES WILL REMAIN.
- EXISTING STAR LAYOUTS / DIMENSIONS TO BE FIELD VERIFIED.
- PORTION OF (C) STAIR AT THE NORTH SIDE OF THE BUILDING TO BE MODIFIED TO PROVIDE SEPARATE ACCESS TO SECOND FLOOR.
- (E) CEILING HEADROOM AT PROPOSED RECEIVING AREA TO BE VERIFIED FOR VRC AND BALKER CLEARANCE REQUIREMENTS.
- BASEMENT WILL NOT BE USED AS RECEIVING.
- PHARMACY DRIVE-THRU WINDOW NOT PROPOSED.

PREDEAL CS#: 131380

LOCATION:
501 MISSION AVE.,
OCEANSIDE, CA 92054

CONTACT INFORMATION

ARCHITECT INFO:
COMPANY NAME: LYONS WARREN ENGINEERS & ARCHITECTS
CONTACT NAME: TRACY LINDQUIST
CONTACT PHONE: (806)-573-8999
CONTACT EMAIL: tlindquist@lyonswarren.com



ATYPICAL CENTER ENTRY NO DRIVE-THRU

STORE NUMBER: XXXXX
501 MISSION AVE.,
OCEANSIDE, CA 92054
PROJECT TYPE: AB-B
DEAL TYPE: NEW STORE
CS PROJECT NUMBER: 131380

ARCHITECT OF RECORD



CONSULTANT:



SEAL:

REVISIONS:

PRESCRIB NOTES	02/15/19
PRESCRIB NOTES	02/19/19
PLAN UPDATES	05/01/19
PREDEAL POST	05/09/19
REV. PREDEAL POST	09/09/19
Rx COMMENTS	09/10/19
REC COMMENTS	09/18/19
STORE LAYOUT COMMENTS	10/01/19
ADDED VRC	10/14/19

CVS PROJECT MANAGER:

DRAWING BY: LWEA
DATE: 01-31-2019
JOB NUMBER: B00S1813
TITLE:

OUTLINE PLAN

SHEET NUMBER:

01
(1 OF 2)

COMMENTS:
NOT RELEASED FOR CONSTRUCTION

ATYPICAL
CENTER ENTRY
NO DRIVE-THRU

STORE NUMBER: XXXXX
501 MISSION AVE.,
OCEANSIDE, CA 92054
PROJECT TYPE: AB-B
DEAL TYPE: NEW STORE
CS PROJECT NUMBER: 131880

ARCHITECT OF RECORD

LYONS WARREN
engineers + architects
9580 CANANDA STREET
San Diego, CA 92126-6140
858.573.8999

CONSULTANT:

DEVELOPER:

BOOS
DEVELOPMENT WEST
701 N. PARKCENTER DRIVE, SUITE 200
SANTA ANA, CA 92705
TEL 714.953.0004

SEAL:

REVISIONS:

PRESCRUB NOTES	02/15/19
PRESCRUB NOTES	02/19/19
PLAN UPDATES	05/01/19
PREDEAL POST	05/09/19
REV. PREDEAL POST	09/09/19
Rx COMMENTS	09/10/19
REC COMMENTS	09/18/19
STORE LAYOUT COMMENTS	10/01/19
ADDED VRC	10/14/19

CVS PROJECT MANAGER:
DRAWING BY: LWEA
DATE: 01-31-2019
JOB NUMBER: BOOS1813
TITLE:

OUTLINE PLAN

SHEET NUMBER:

02
(2 OF 2)

COMMENTS:
NOT RELEASED FOR CONSTRUCTION

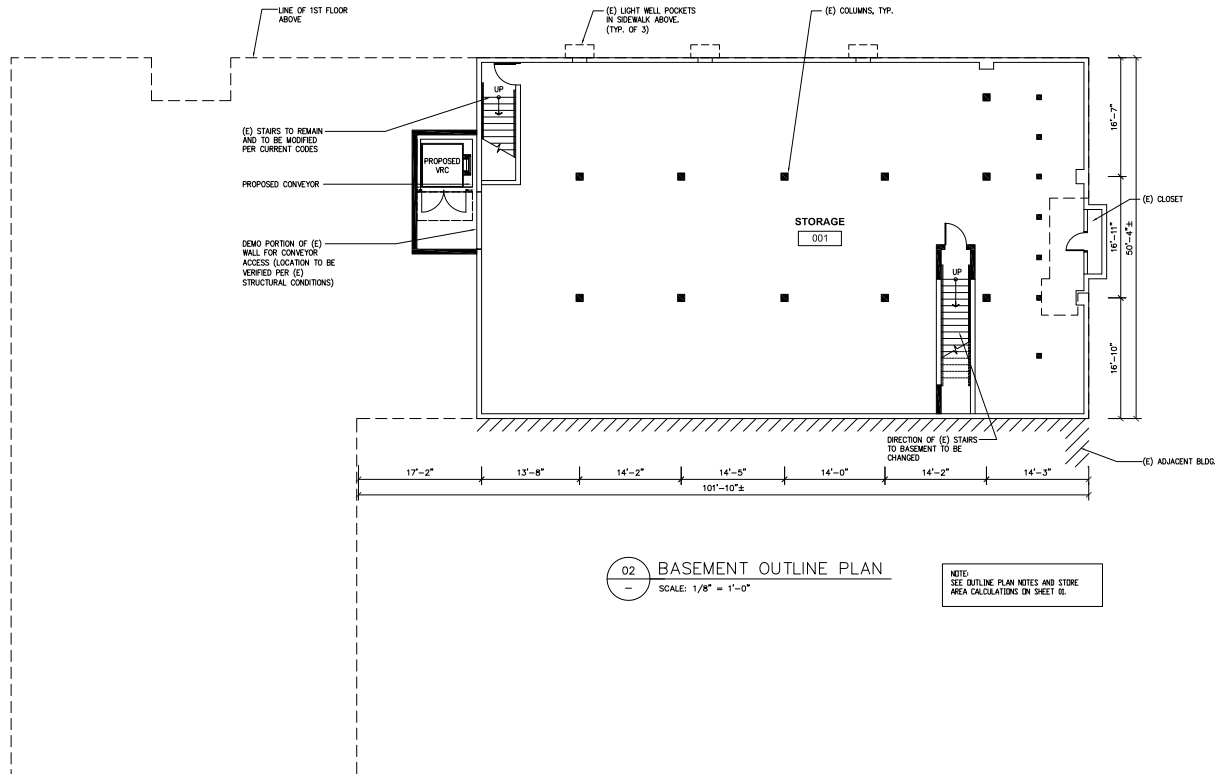




Photo 1: View of the intersection of Mission Avenue and N. Coast Highway, facing East



Photo 2: View of Mission Avenue, facing Northeast



Photo 3: View of N. Coast Highway, facing Southeast



Photo 4: View of Mission Avenue with future CVS Pharmacy building to the left, facing Southwest



Photo 5: View of existing parking lot