

**¹AGENDA
OCEANSIDE DEVELOPER'S CONFERENCE**

Wednesday, May 26, 2021

Reviewers- Please complete the Developer's Conference comment sheet template and attach to the TRAKiT record by end of day Tues, 5/25/2021.

1. 9:30 - 10:30 am SKYPE teleconference

Proposed single-family residence with ADU on 1.86 acre remainder lot of Parcel Map 21676 Avocado Highlands. [ADM21-00028]

**Zoning: RE-B
Land Use: EB-R
Neighborhood Area: Fire Mountain
Assessor Parcel Number(s): 165-211-39
Contact Person: Tom Vorkoper
Email: tvorkoper@DTV-designs.com**

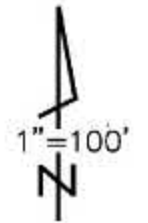
2. 10:30 - 11:30 am SKYPE teleconference

Proposed six (6) lot subdivision on a vacant approximately 1.15 acre site located on the north side of California Street west of Hunsaker Street [ADM21-00029]

**Zoning: RE-B
Land Use: EB-R
Neighborhood Area: Fire Mountain
Assessor Parcel Number(s): 151-160-55, 151-160-56, & 151-160-57
Contact Person: Phil Johnson
Email: johnsonre@roadrunner.com**

¹ *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.



10/27/2020 JGD

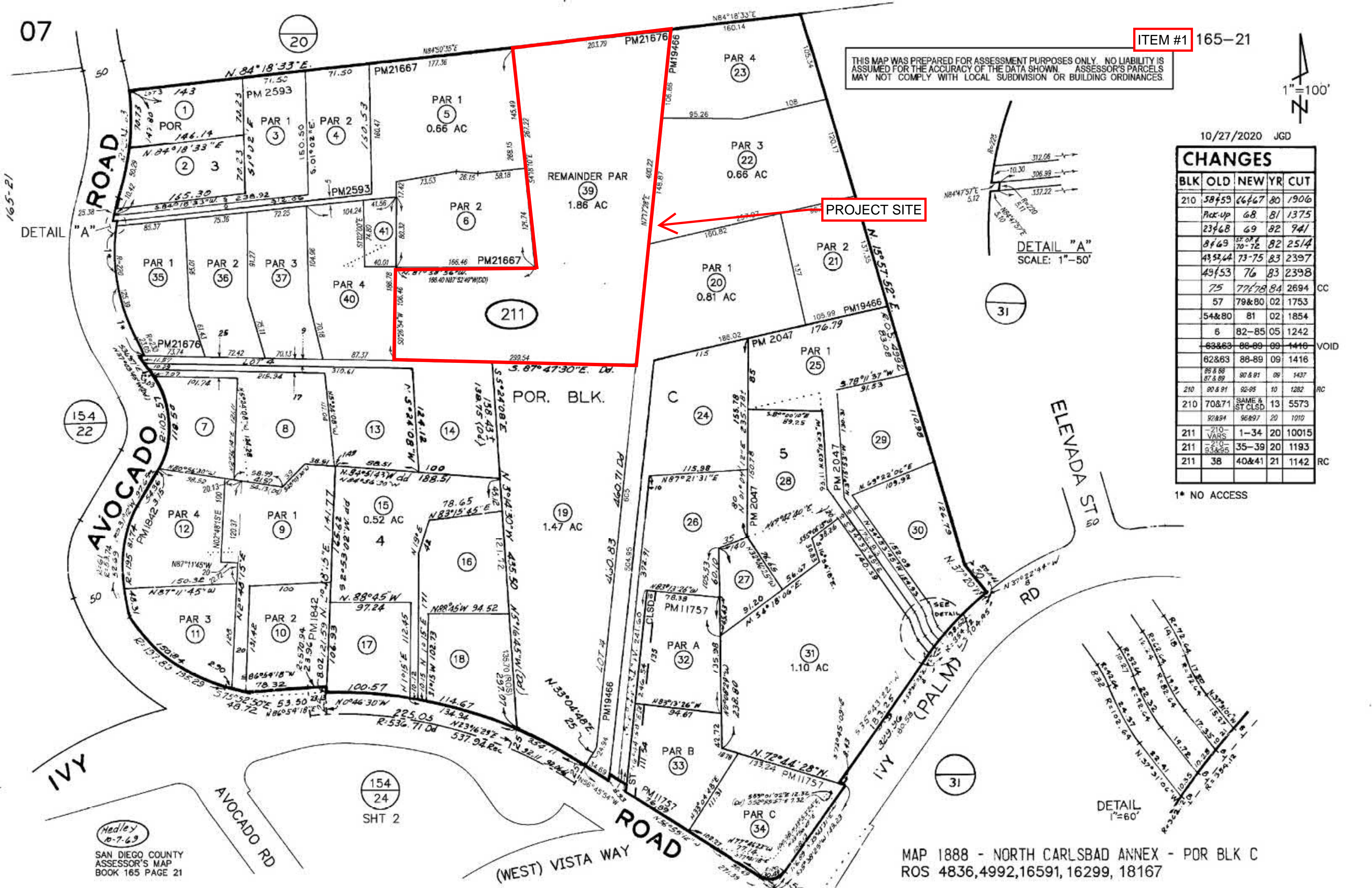
CHANGES				
BLK	OLD	NEW	YR	CUT
210	58&59	66&67	80	1906
	Pick-up	68	81	1375
	23&68	69	82	941
	8&69	ST OF 70-72	82	2514
	43&64	73-75	83	2397
	49&53	76	83	2398
	75	77&78	84	2694
	57	79&80	02	1753
	54&80	81	02	1854
	6	82-85	05	1242
	63&63	86-89	09	1416
	62&63	88-89	09	1416
	85 & 88	90 & 81	09	1437
	87 & 89	90 & 81	09	1437
210	90 & 91	92-95	10	1282
210	70&71	SAME & ST CLSD	13	5573
	92&94	96&97	20	1010
211	-210-	1-34	20	10015
211	-210-	35-39	20	1193
211	38	40&41	21	1142

1* NO ACCESS

DETAIL "A" SCALE: 1"=50'

DETAIL "B" SCALE: 1"=60'

PROJECT SITE



Medley 10-7-69
SAN DIEGO COUNTY
ASSESSOR'S MAP
BOOK 165 PAGE 21

MAP 1888 - NORTH CARLSBAD ANNEX - POR BLK C
ROS 4836,4992,16591,16299,18167



Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

General Information

Project/Property Address: Remainder parcel of Parcel Map 21676

Assessor's Parcel Number: ~~165-210-93~~ **165-211-39** Lot Area (acres or SF): 132,422 SF

Existing Use: Vacant

Brief Description of Proposal:

Remainder parcel proposed for single family residential development

Property Owner & Applicant Information

Owner Name: Joseph Siegel

Phone Number & E-Mail Address: 843-364-5746 siegelj1@hotmail.com

Applicant Name: Tom Vorkoper

Phone Number & E-Mail Address: 858.775.3465 tvorkoper@DTV-designs.com

To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf:


Signature of Property Owner
(or attach a Letter of Authorization)

Requested Meeting Date/Time (please provide 2 options) - reference the Developer's Conference calendar for dates

1st choice date: May 26, 2021 Time preference: 9:30 am 10:30 am either

2nd choice date: June 9, 2021 Time preference: 9:30 am 10:30 am either

Requested Divisions to Attend (Planning attends all meetings)

Building Fire Water Engineering Transportation Solid Waste Other

Email the following documents in PDF to Sergio Madera, smadera@oceansideca.org

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

To be completed by City staff:

Assigned meeting date: **May 26, 2021** Time: **9:30**

Assigned Project Planner: _____



May 4, 2021
City of Oceanside

Project Description Letter – Developer’s Conference

Siegel Residence
Vacant lot near Ivy Road and Avocado Road
APN: 165-210-93
Remainder parcel of Parcel Map 21676

This project proposes a new single-family residence of approximately 3,400 sq. ft. with an attached accessory dwelling unit of approximately 1,100 sq. ft. The top two stories are dedicated to the single-family residence while the A.D.U. is located on the 3rd (lowest) story.

The proposed location of the structure is on the south - western half of the 132,422 sq. ft. lot and vertically located at the mid elevation of the hill. Grading is proposed to allow for the building cut into the hill and for the fire access road and driveway. Initial rough grading quantities are between 5,000 – 6,000 cubic yards.

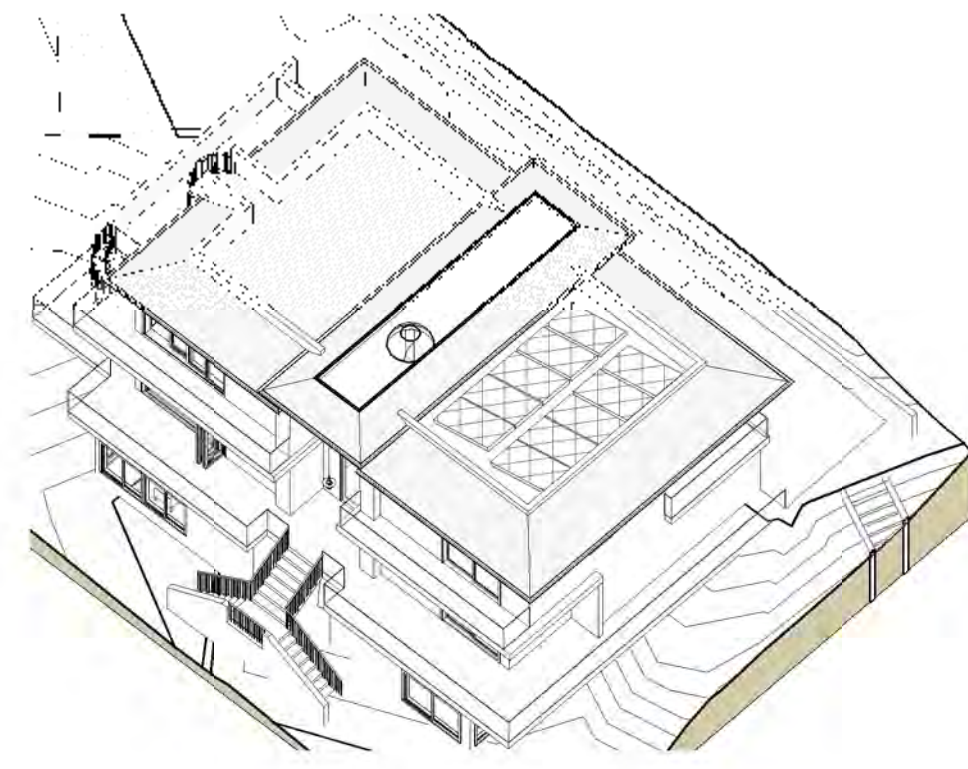
Items of specific concern:

- Hillside development requirements
- Proposed setbacks
- Proposed grading for the structure and rest of the site
- Fire access

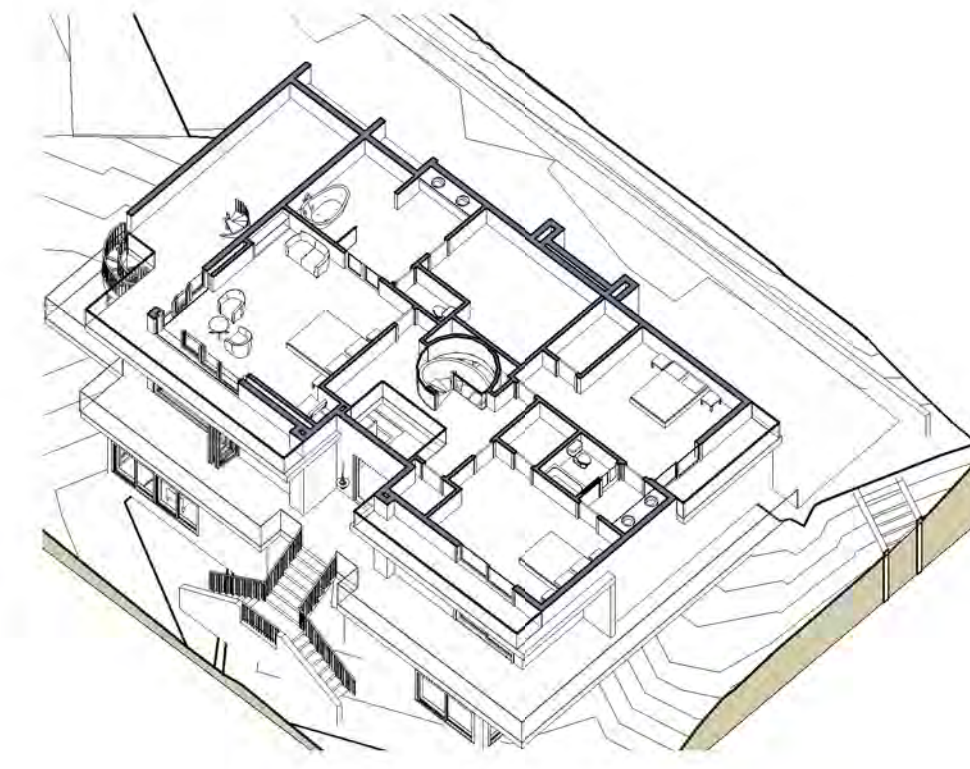
Sincerely,

A handwritten signature in blue ink, appearing to read 'Tom Vorkoper', is written over a horizontal line.

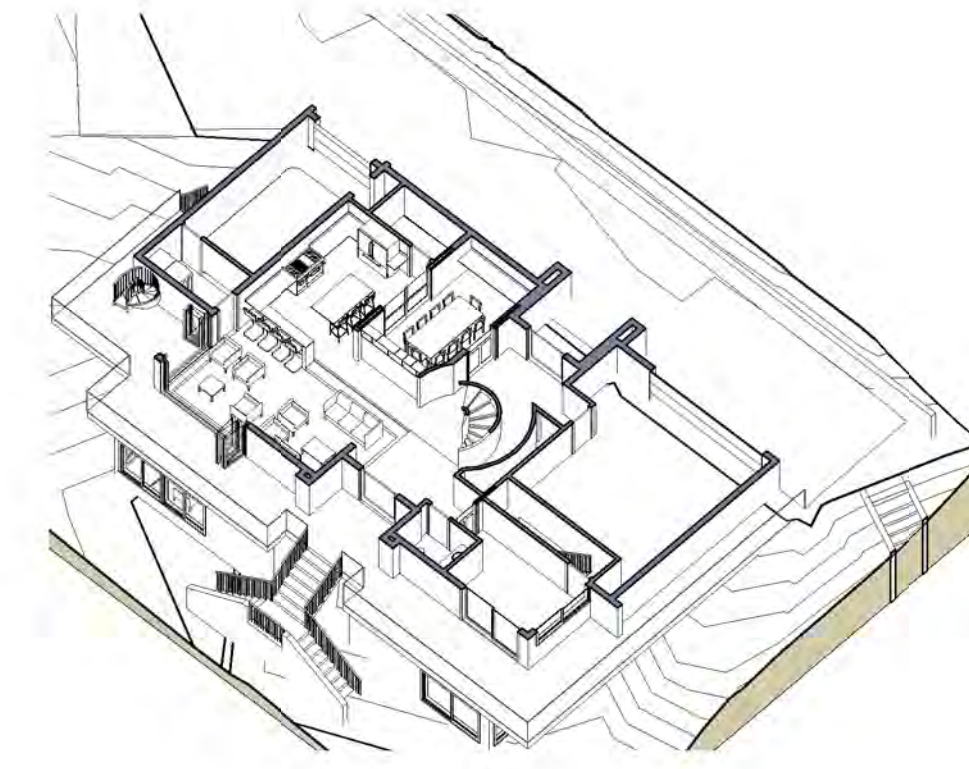
Tom Vorkoper



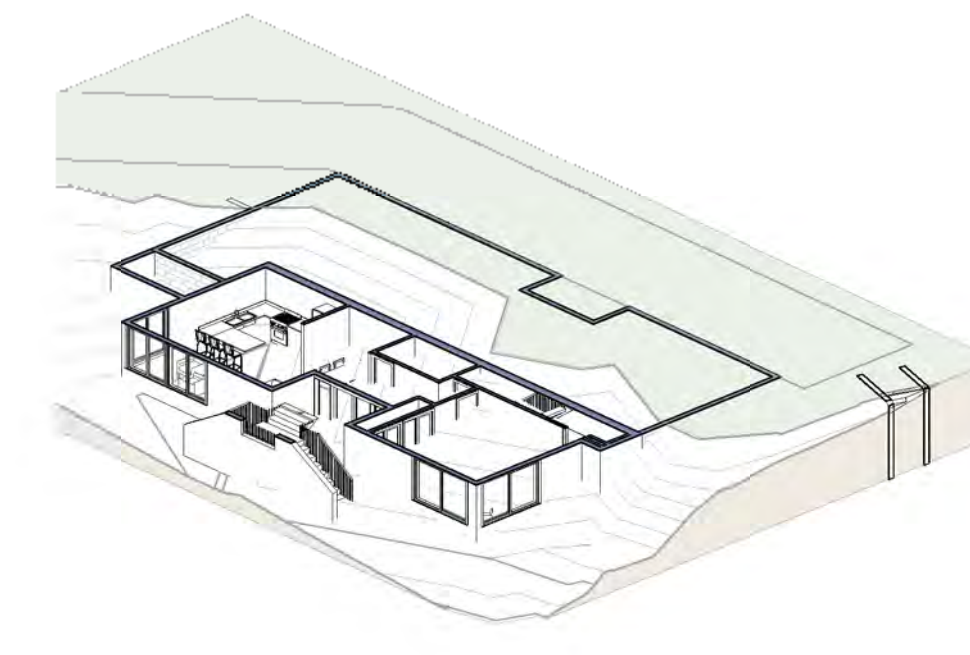
4 3d - Roof



3 3d - 2nd Floor



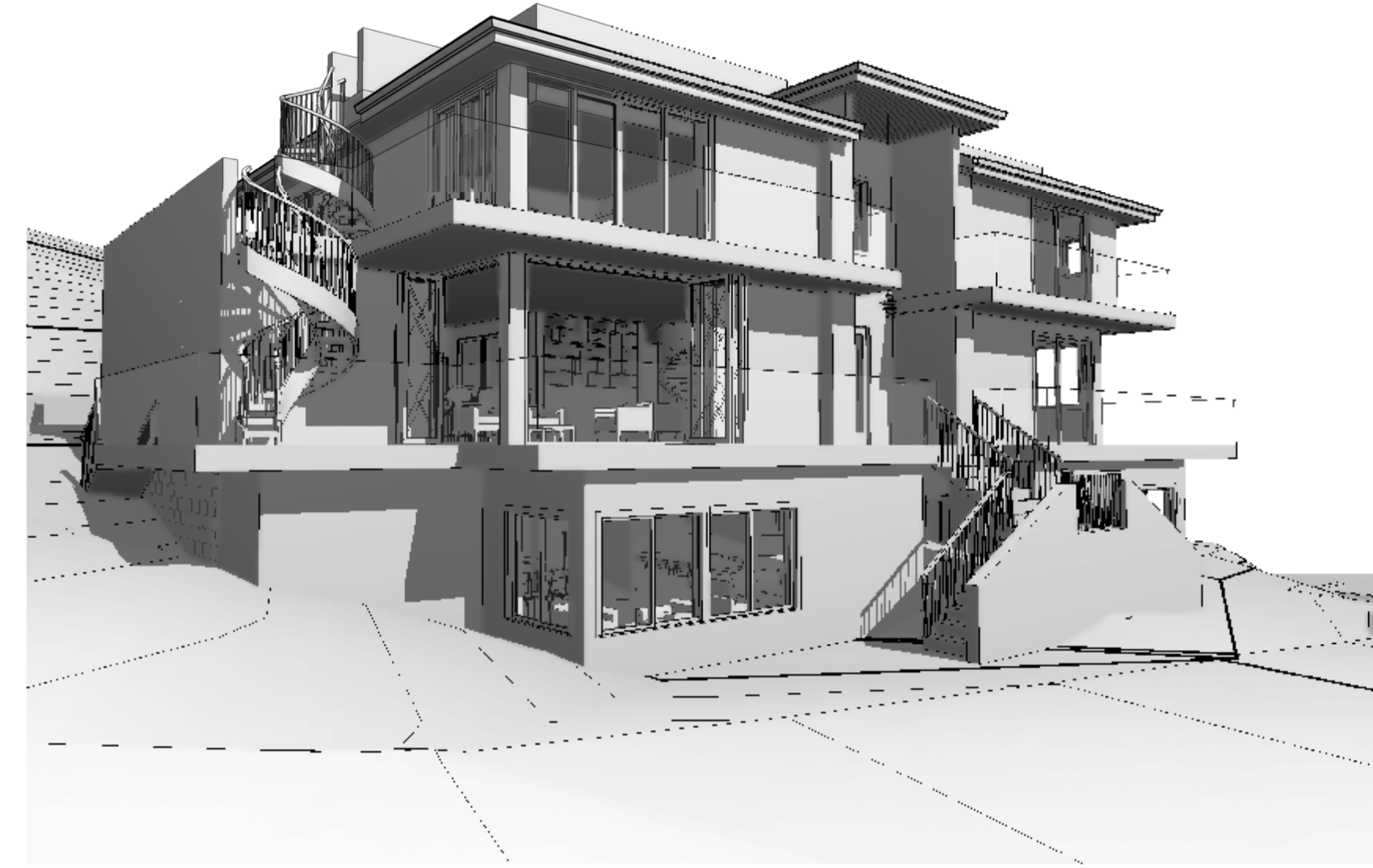
2 3d - 1st Floor



1 3d - ADU



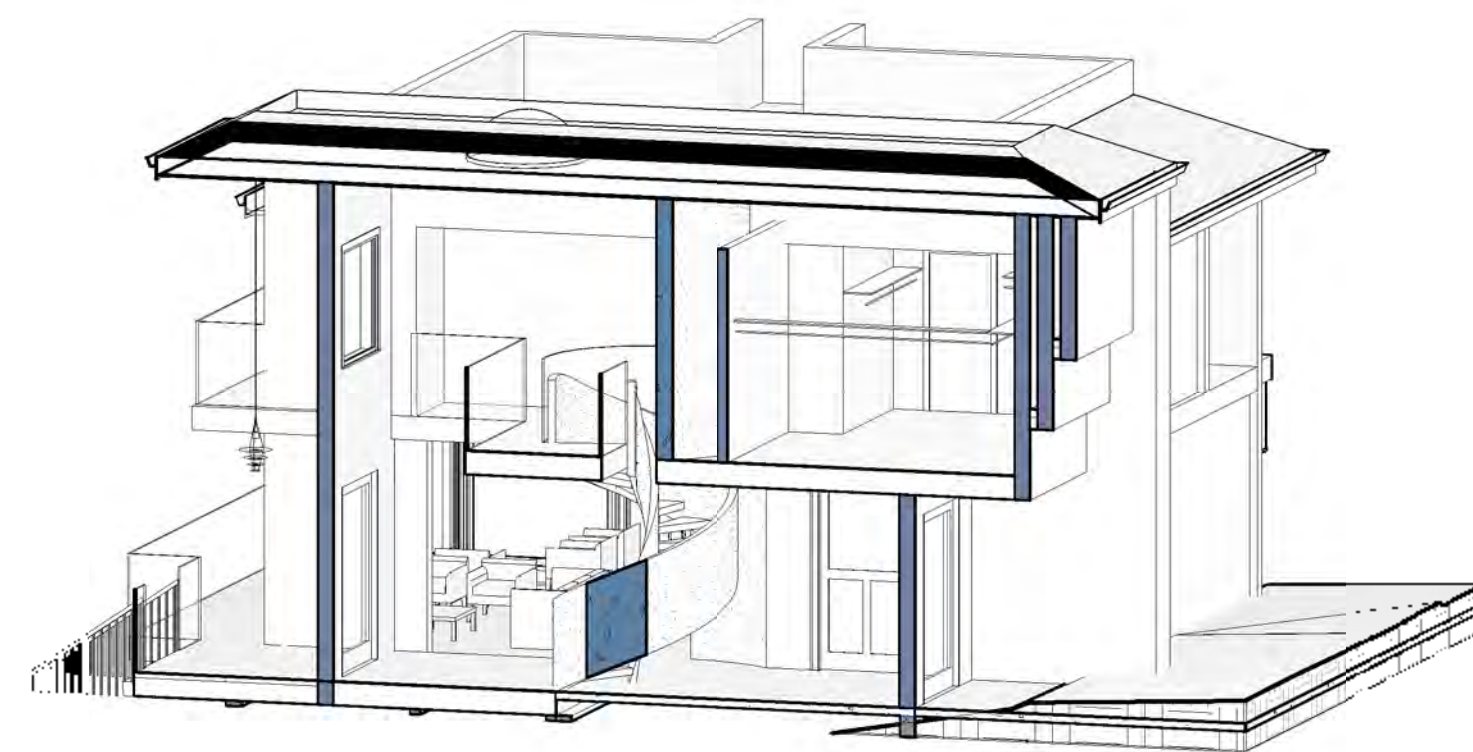
7 3D - NORTH ELEV.



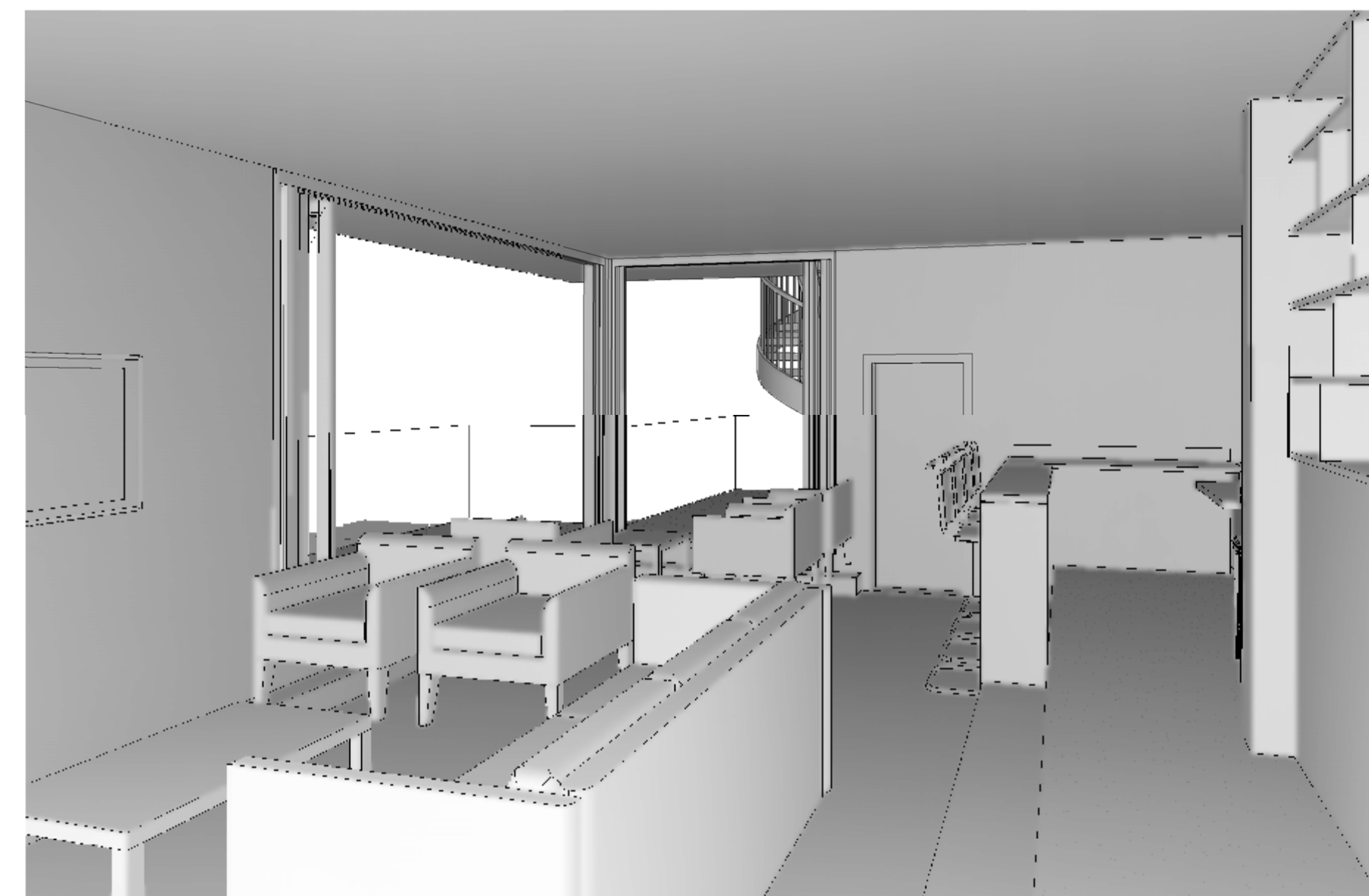
6 3D - SW ELEV.



5 3D - SOUTH ELEV.



10 3D - CUT SECTION



9 3D - LIVING RM

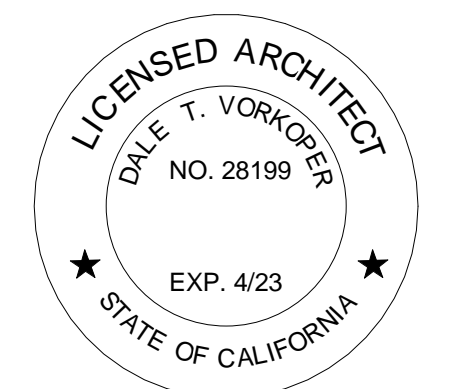


8 3D - ENTRY HALL

D | T | V
DESIGNS

Tom Vorkoper, Architect
7406 SE 36th St
Mercer Island, Wa. 98040
858.775.3465

Siegel Residence
Ivy and Avocado
Oceanside, Ca.



Set Issued	Date
Schematic Design 35%	04/05/2021

Permit Submittal	
Permit	

Project Number	2055.01
Date	05/04/21

3d Views

A 0.01

Scale

5/4/2021 2:16:02 PM ALL IDEAS, DESIGNS, DRAWINGS, PLANS, AND SPECIFICATIONS ON THIS SHEET ARE THE PROPERTY AND COPYRIGHT OF DTV DESIGNS. THEY WERE CREATED AND DEVELOPED FOR THE SPECIFIED PROJECT AND AS SUCH, SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH DTV DESIGNS.



REGIONAL VIEW



VICINITY MAP.

MATERIALS & WASTE MANAGEMENT CONTROL BMP'S.

WM-1	MATERIAL DELIVERY AND STORAGE
WM-4	SPILL PREVENTION AND CONTROL
WM-8	CONCRETE WASTE MANAGEMENT
WM-5	SOLID WASTE MANAGEMENT
WM-9	SANITARY WASTE MANAGEMENT
WM-6	HAZARDOUS WASTE MANAGEMENT

TEMPORARY RUNOFF CONTROL BMP'S

SS-2	PRESERVATION OF EXISTING VEGETATION
SS-3	BONDED OR STABILIZED FIBER MATRIX (WINTER)
SS-4	HYDROSEEDING (SUMMER)
SS-6	SS-8 STRAW OR WOOD MULCH
SS-7	PHYSICAL STABILIZATION (WINTER)
SS-10	ENERGY DISSIPATOR
SC-1	SILT FENCE
SC-5	FIBER ROLLS
SC-6	SC-8 GRAVEL OR SAND BAGS
TC-1	STABILIZED CONST. ENTRANCE

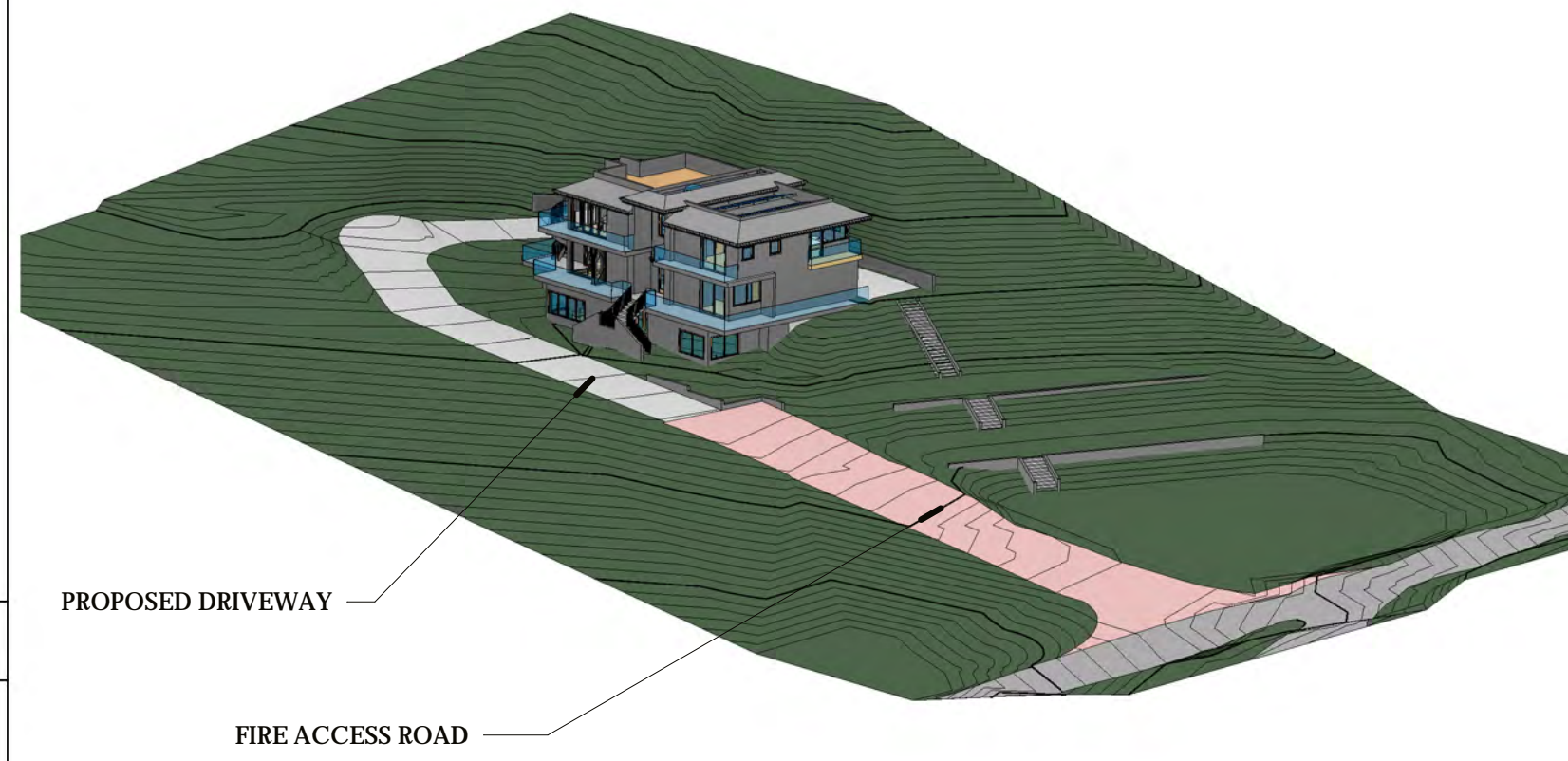
PERMANENT BMP'S.

SD-1	MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES
SD-2	CONSERVE NATURAL AREAS, SOILS AND VEGETATION
SD-10	PROTECTION OF CHANNEL BANKS / MANUF. SLOPES AND FLAT PAD AREA COVERAGE
SD-12	IMPLEMENTATION OF EFFICIENT IRRIGATION SYSTEMS
SD-34	PROPER DESIGN OF OUTDOOR MATERIAL STORAGE AREAS
TC-10	UNDERGROUND INFILTRATION TRENCH

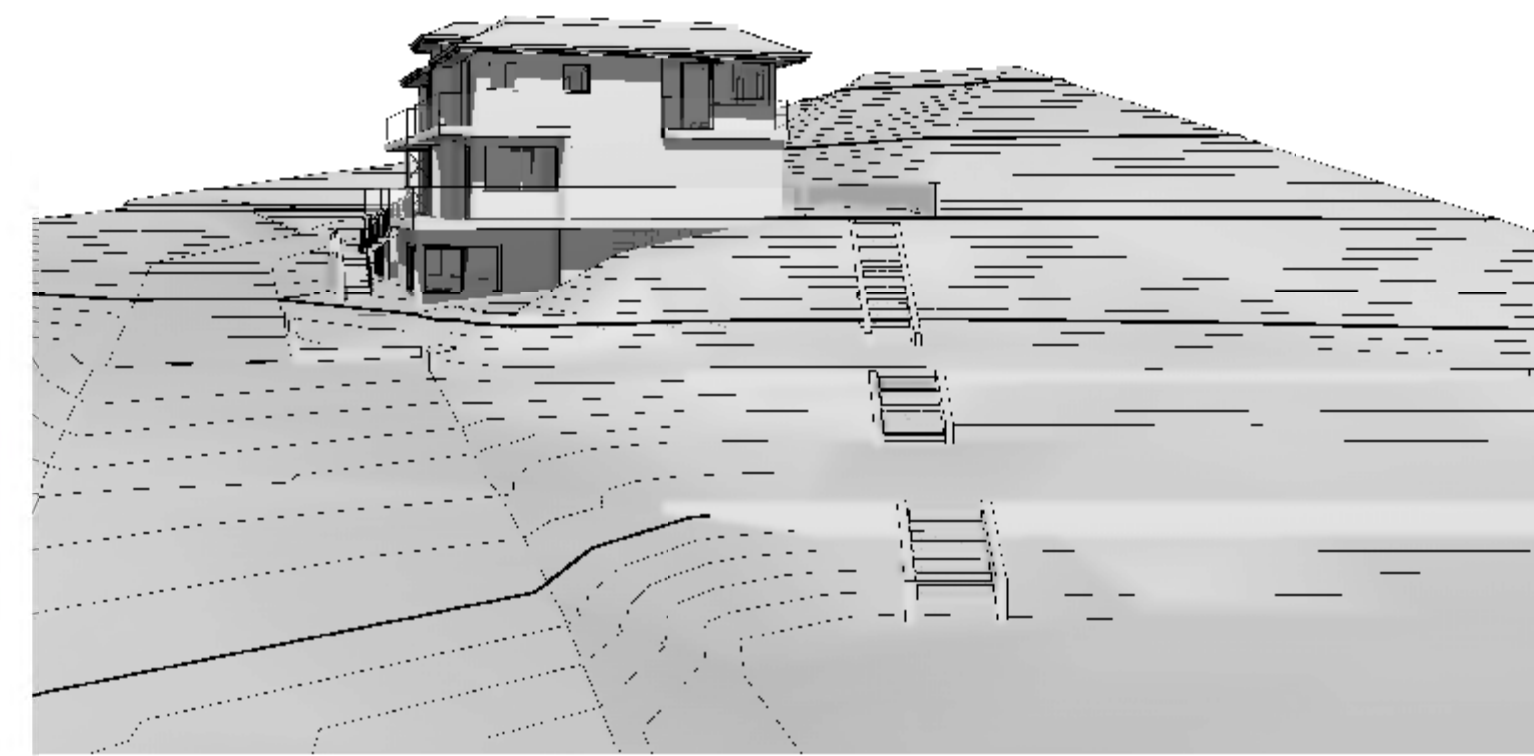
LOW IMPACT DEVELOPMENT BMP'S

LID 2.2.1	CONSERVATION OF NATURAL DRAINAGES, WELL DRAINED SOILS AND SIGNIFICANT VEGETATION
LID 2.2.2	MINIMIZE DISTURBANCES TO NATURAL DRAINAGES
LID 2.2.3	MINIMIZE AND DISCONNECT IMPERVIOUS SURFACES
LID 2.2.4	MINIMIZE SOIL COMPACTION
LID 2.2.5	DRAIN RUNOFF FROM IMPERVIOUS SURFACES TO PERVIOUS AREAS
LID 3.2	PERMEABLE PAVEMENT DESIGN
LID 3.6	L.I.D. BUILDING DESIGN
LID 3.7	L.I.D. LANDSCAPING DESIGN

SAN DIEGO COUNTY STORM WATER BMP 1 CONCEPTUAL SITE PLAN



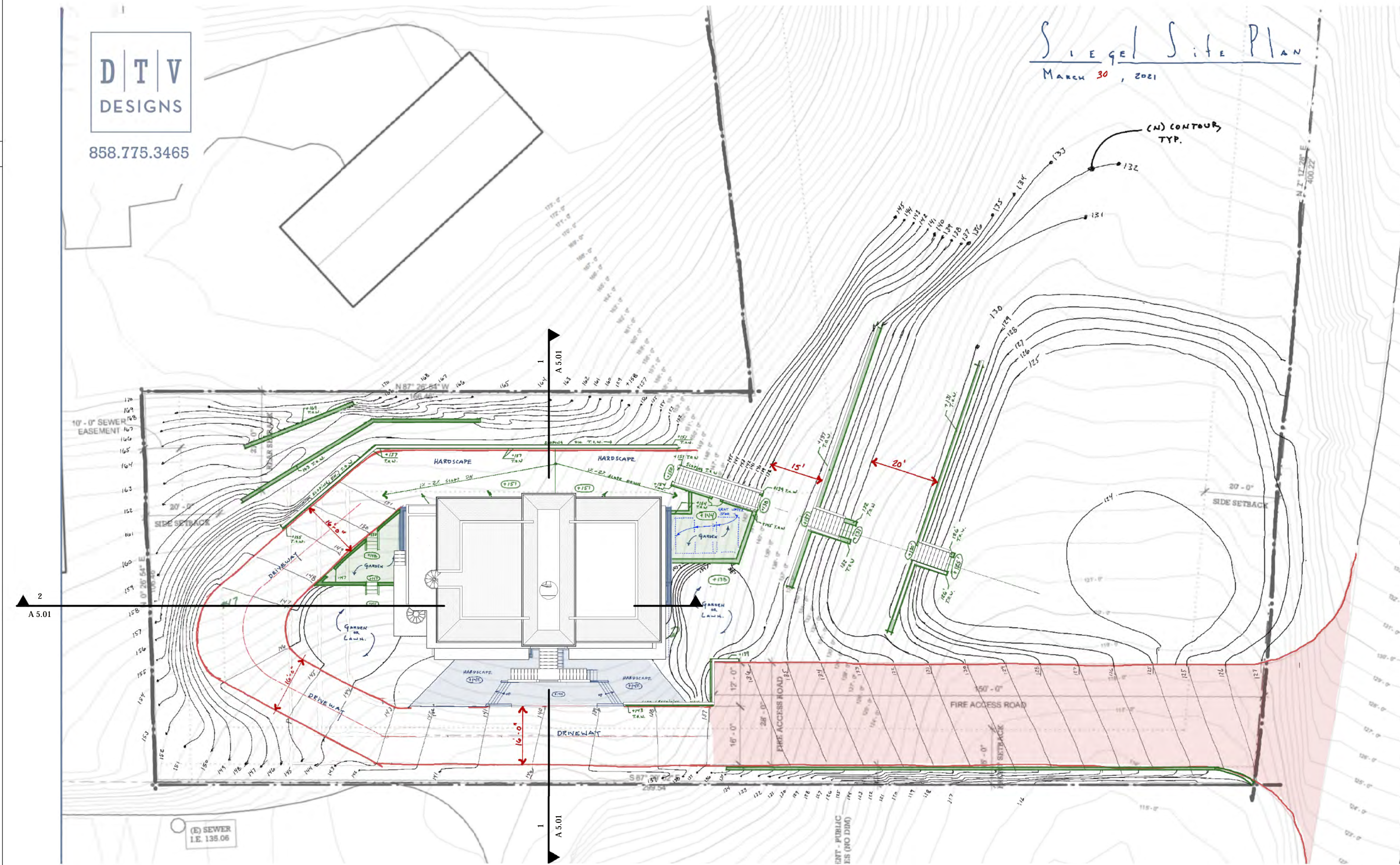
6 3D PROPOSED GRADING



4 3D View - From Street



3 3D View - from SW on Driveway



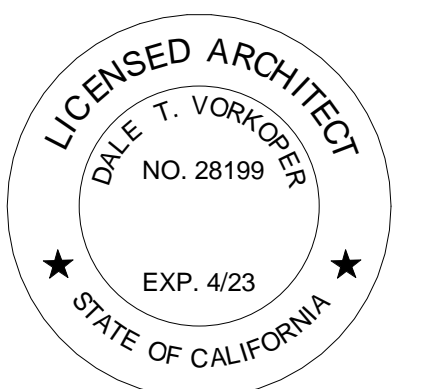
1 CONCEPTUAL SITE PLAN

1/16" = 1'-0"



Tom Vorkoper, Architect
7406 SE 36th St
Mercer Island, Wa. 98040
858.775.3465

Siegel Residence
Ivy and Avocado
Oceanside, Ca.



Set Issued	Date
Schematic Design 35%	04/05/2021

Permit Submittal
Permit

Project Number	2055.01
Date	05/04/21

Proposed Site Plan

A 1.00

Scale As indicated

SITE NOTES:
 1) NO GRADING PROPOSED
 2) NO INCREASE IN IMPERVIOUS AREA OR
 2): TOTAL DISTURBANCE AREA:
 EXISTING AMOUNT OF IMPERVIOUS AREA _____
 PROPOSED AMOUNT OF IMPERVIOUS AREA _____
 TOTAL IMPERVIOUS AREA _____
 IMPERVIOUS % INCREASE _____
 (NOTE: IMPERVIOUS AREA SHALL INCLUDE ROOF, SIDEWALK, PARKING AREA, WALKWAYS, POOLS, POOL DECKS, ETC.)

3) CUT QUANTITIES _____ cyd
 FILL QUANTITIES _____ cyd
 IMPORT / EXPORT _____ cyd
 MAX CUT DEPTH _____ ft
 MSX FILL DEPTH _____ ft

THE PROJECT PROPOSES TO EXPORT _____ CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

4) GRADE SHALL FALL A MIN. 6" IN FIRST 10' OF BUILDING

5) NEW AND EXISTING BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST IN COLOR TO BACKGROUND. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MIN. STROKE WIDTH OF 1/2 INCH. CFC SECTION 505.1

SITE NOTES

MATERIALS & WASTE MANAGEMENT CONTROL BMP'S.

- WM-1 MATERIAL DELIVERY AND STORAGE
- WM-4 SPILL PREVENTION AND CONTROL
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-5 SOLID WASTE MANAGEMENT
- WM-9 SANITARY WASTE MANAGEMENT
- WM-6 HAZARDOUS WASTE MANAGEMENT

TEMPORARY RUNOFF CONTROL BMP'S.

- SS-2 PRESERVATION OF EXISTING VEGETATION
- SS-3 BONDED OR STABILIZED FIBER MATRIX (WINTER)
- SS-4 HYDROSEEDING (SUMMER)
- SS-6 / SS-8 STRAW OR WOOD MULCH
- SS-7 PHYSICAL STABILIZATION (WINTER)
- SS-10 ENERGY DISSIPATOR
- SC-1 SILT FENCE
- SC-5 FIBER ROLLS
- SC-6 / SC-8 GRAVEL OR SAND BAGS
- TC-1 STABILIZED CONST. ENTRANCE

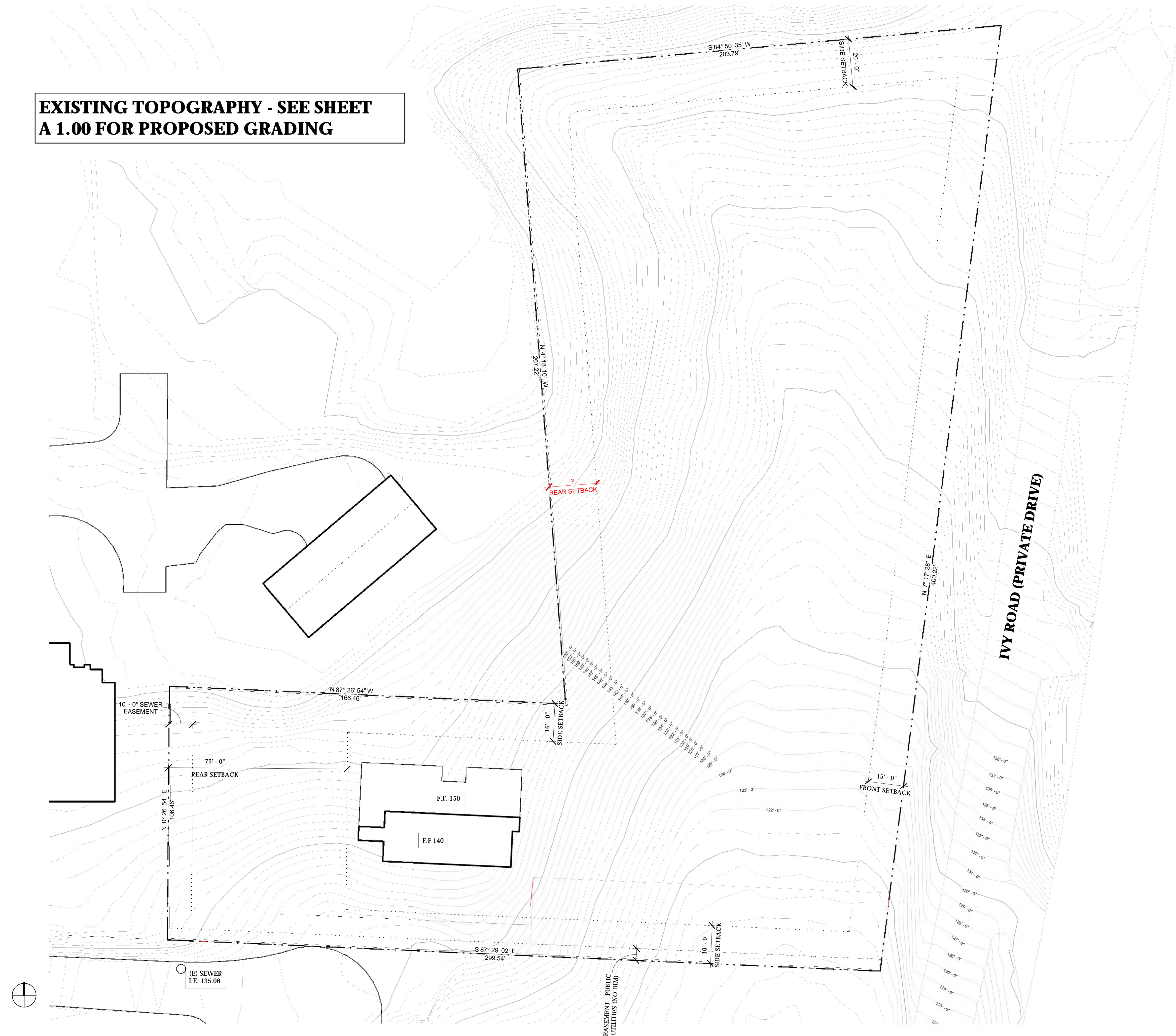
PERMANENT BMP'S.

- SD-1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES
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- SD-10 PROTECTION OF CHANNEL BANKS / MANUF. SLOPES AND FLAT PAD AREA COVERAGE
- SD-12 IMPLEMENTATION OF EFFICIENT IRRIGATION SYSTEMS
- SD-34 PROPER DESIGN OF OUTDOOR MATERIAL STORAGE AREAS
- TC-10 UNDERGROUND INFILTRATION TRENCH

LOW IMPACT DEVELOPMENT BMP'S.

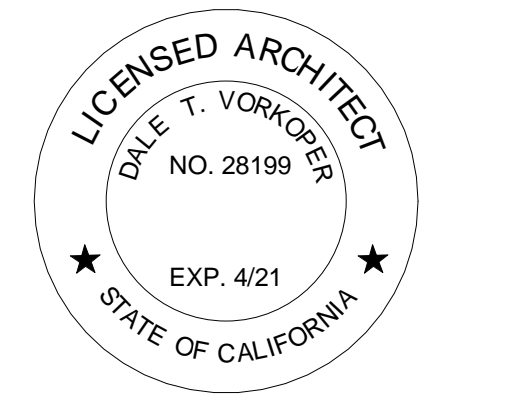
- LID 2.2.1 CONSERVATION OF NATURAL DRAINAGES, WELL DRAINED SOILS AND SIGNIFICANT VEGETATION
- LID 2.2.2 MINIMIZE DISTURBANCES TO NATURAL DRAINAGES
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- LID 2.2.5 DRAIN RUNOFF FROM IMPERVIOUS SURFACES TO PERVIOUS AREAS
- LID 3.2 PERMEABLE PAVEMENT DESIGN
- LID 3.6 L.I.D. BUILDING DESIGN
- LID 3.7 L.I.D. LANDSCAPING DESIGN

EXISTING TOPOGRAPHY - SEE SHEET A 1.00 FOR PROPOSED GRADING



Tom Vorkoper, Architect
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 Mercer Island, Wa. 98040
 858.775.3465

Siegel Residence
 Ivy Road
 Oceanside, CA 92054



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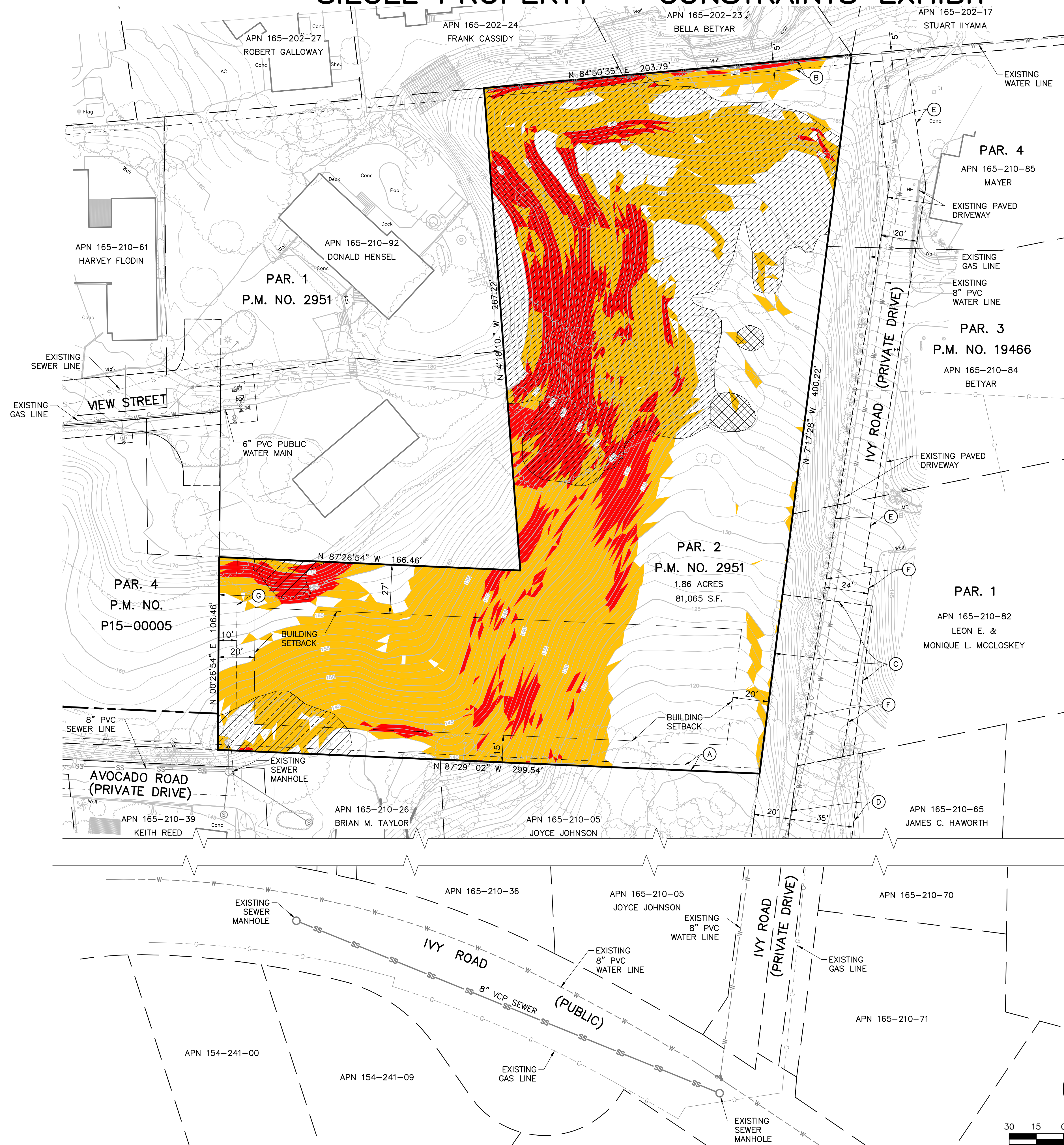
Site Plan

A 1.01

Scale As indicated

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SIEGEL PROPERTY – CONSTRAINTS EXHIBIT



SLOPES TABLE

NUMBER	MIN. SLOPE	MAX. SLOPE	AREA	COLOR
1	0.10%	20.00%	33075.20	
2	20.00%	40.00%	34913.06	Yellow
3	40.00%	100.00%	13019.70	Red

VEGETATION AND SENSITIVE RESOURCES

- SOUTHERN MIXED CHAPARRAL - DISTURBED
- EUCALYPTUS WOODLAND
- NON-NATIVE VEGETATION

EASEMENT

- (A) SDG&E EASEMENT FOR PUBLIC UTILITIES, (NO DIMENSION), PER BOOK 545, PAGE 248 OF OFFICIAL RECORDS, RECORDED AUGUST 14, 1936.
- (B) 5 FEET WIDE WATER EASEMENT TO CITY OF OCEANSIDE PER DOC. #67-203607
- (C) FOR INGRESS/EGRESS, UTILITIES AND DRAINAGE ALONG WITH RIGHT TO GRADE AND CONSTRUCT TO PARCEL 2 OF PM 2951 PER DOC. #2004-0629918
- (D) FOR INGRESS/EGRESS, UTILITIES AND DRAINAGE ALONG WITH RIGHT TO GRADE AND CONSTRUCT TO PARCEL 2 OF PM 2951 PER DOC. #2004-0659207
- (E) 20' PUBLIC UTILITY EASEMENT FOR SANITARY SEWER AND WATER LINE PURPOSES PER PARCEL MAP NO. 19466
- (F) 24' PUBLIC UTILITY EASEMENT FOR SANITARY SEWER AND WATER LINE PURPOSES PER PARCEL MAP NO. 19466
- (G) 10' WIDE CITY OF OCEANSIDE EASEMENT FOR SEWER PURPOSES GRANTED PER TPM NO. P15-00005

TOPOGRAPHY SOURCE

THE TOPOGRAPHY SHOWN ON THIS MAP/PLAN IS THE RESULT OF AN AERIAL TOPOGRAPHIC SURVEY. A GROUND SURVEY TO ESTABLISH AERIAL CONTROL WAS PERFORMED BY SAN DIEGUITO ENGINEERING, INC. (SDE) ON OR BETWEEN AUGUST 1 AND AUGUST 8, 2017. THE AERIAL SURVEY WAS FLOWN AND COMPILED SAN-LO AERIAL SURVEYS, DATE OF PHOTOGRAPHY: AUGUST 8, 2017.

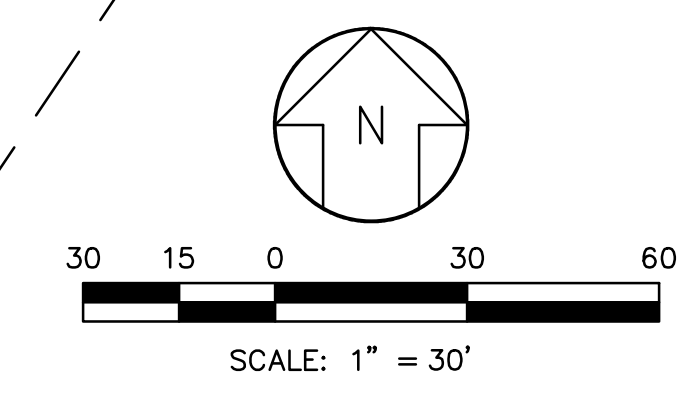
SITE ADDRESS

IVY ROAD
OCEANSIDE, CA. 92056

LEGAL DESCRIPTION

ALL THAT CERTAIN PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 2, PARCEL MAP NO. 2951, IN THE CITY OF OCEANSIDE, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AUGUST 12, 1974.



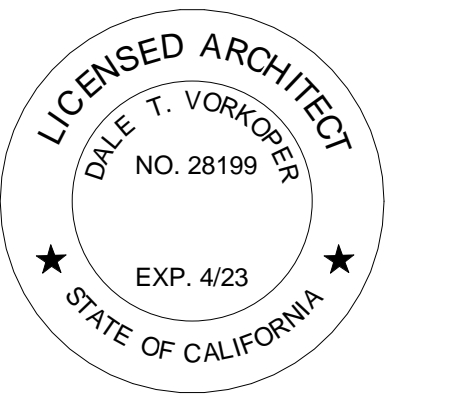
SAN DIEGUITO ENGINEERING, INC
462 STEVENS AVE., Ste. 305
SOLANA BEACH, CA
92075-2066
PHONE: (858) 345-1149
www.sdeinc.com
CIVIL ENGINEERING • PLANNING
LAND SURVEYING



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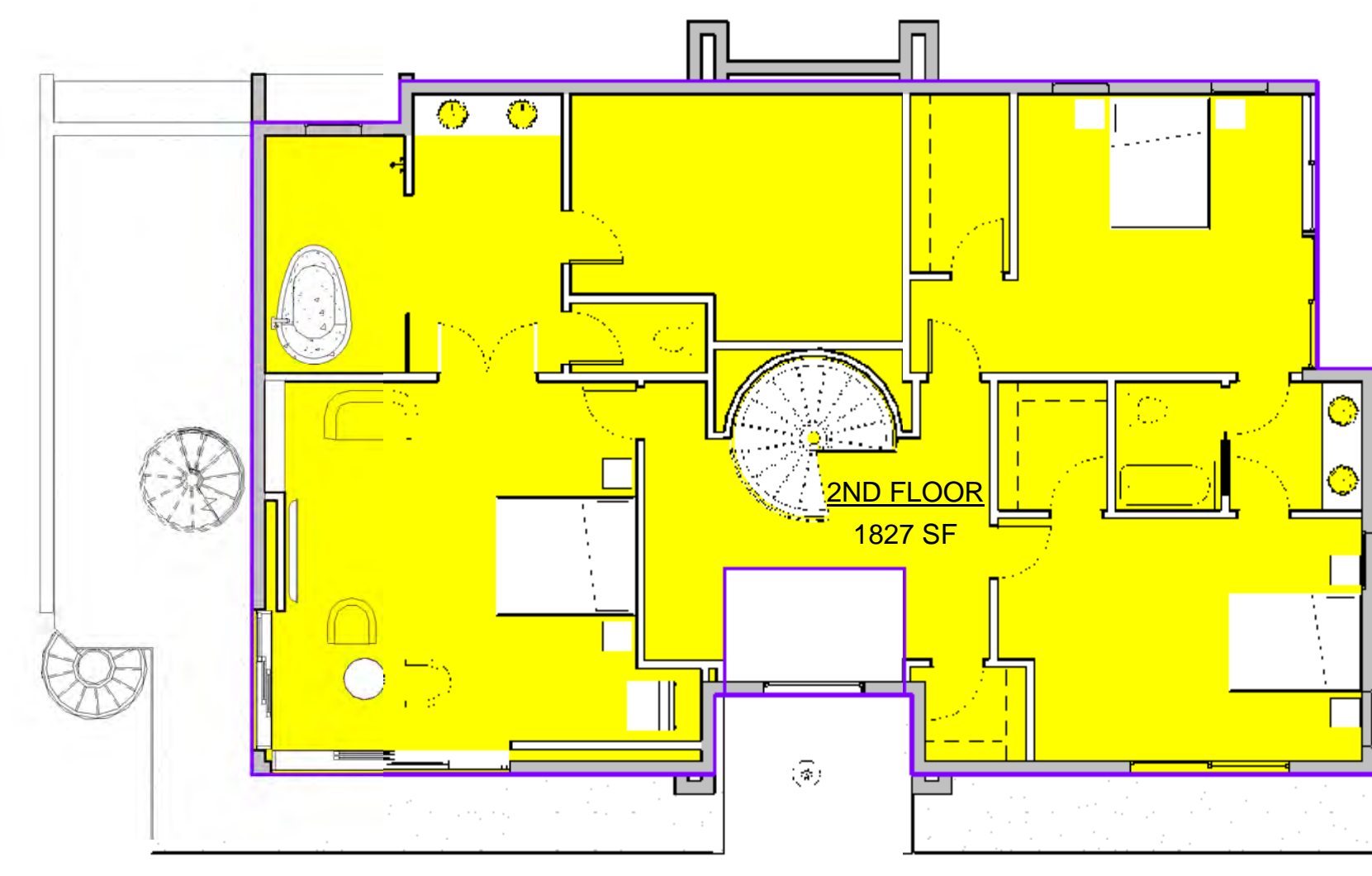
Permit Submittal
Permit

Project Number	2055.01
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Area Plans

A 1.02

Scale 1/8" = 1'-0"



2 SECOND FLOOR

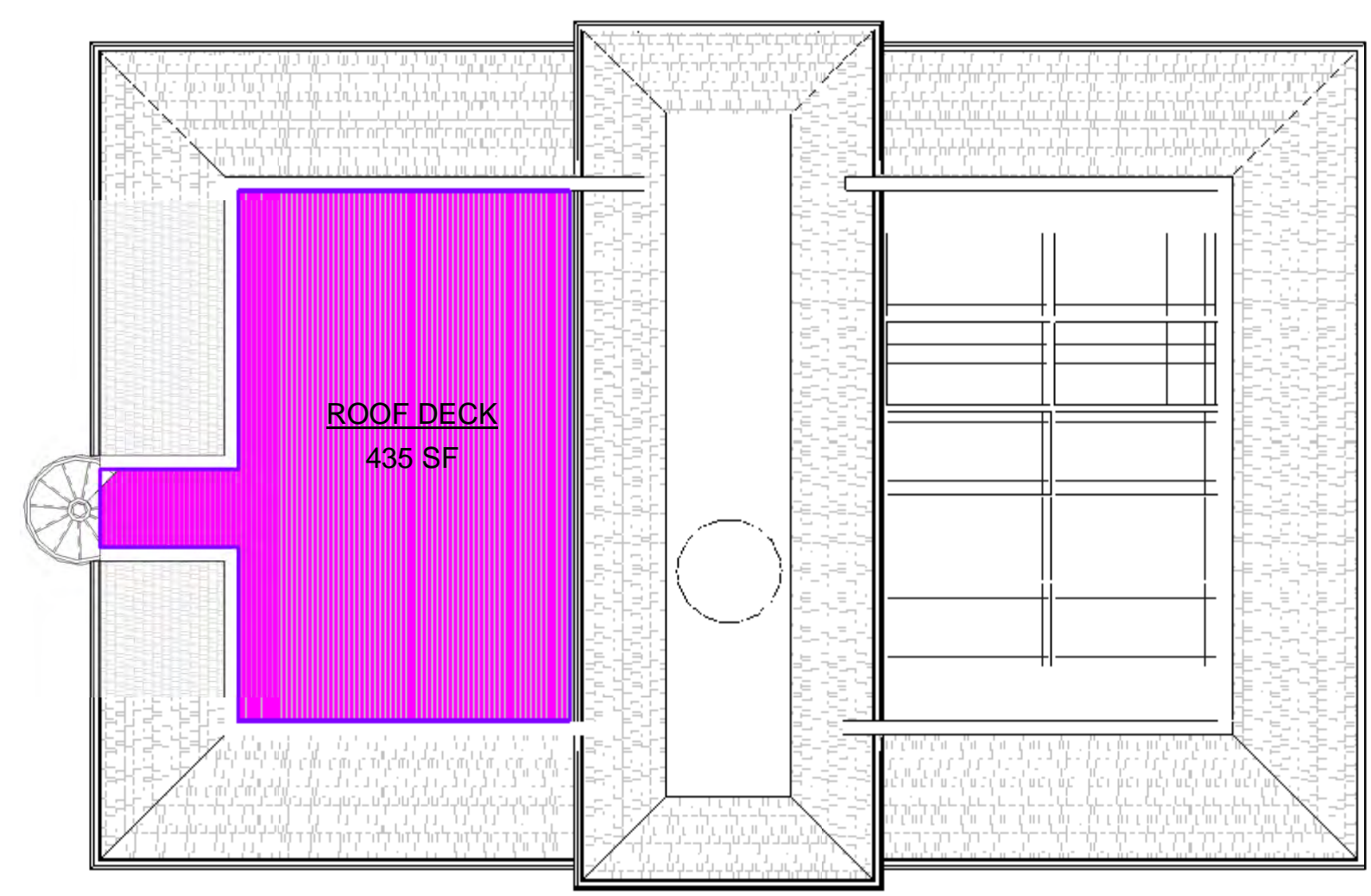
1/8" = 1'-0"



1 FIRST FLOOR

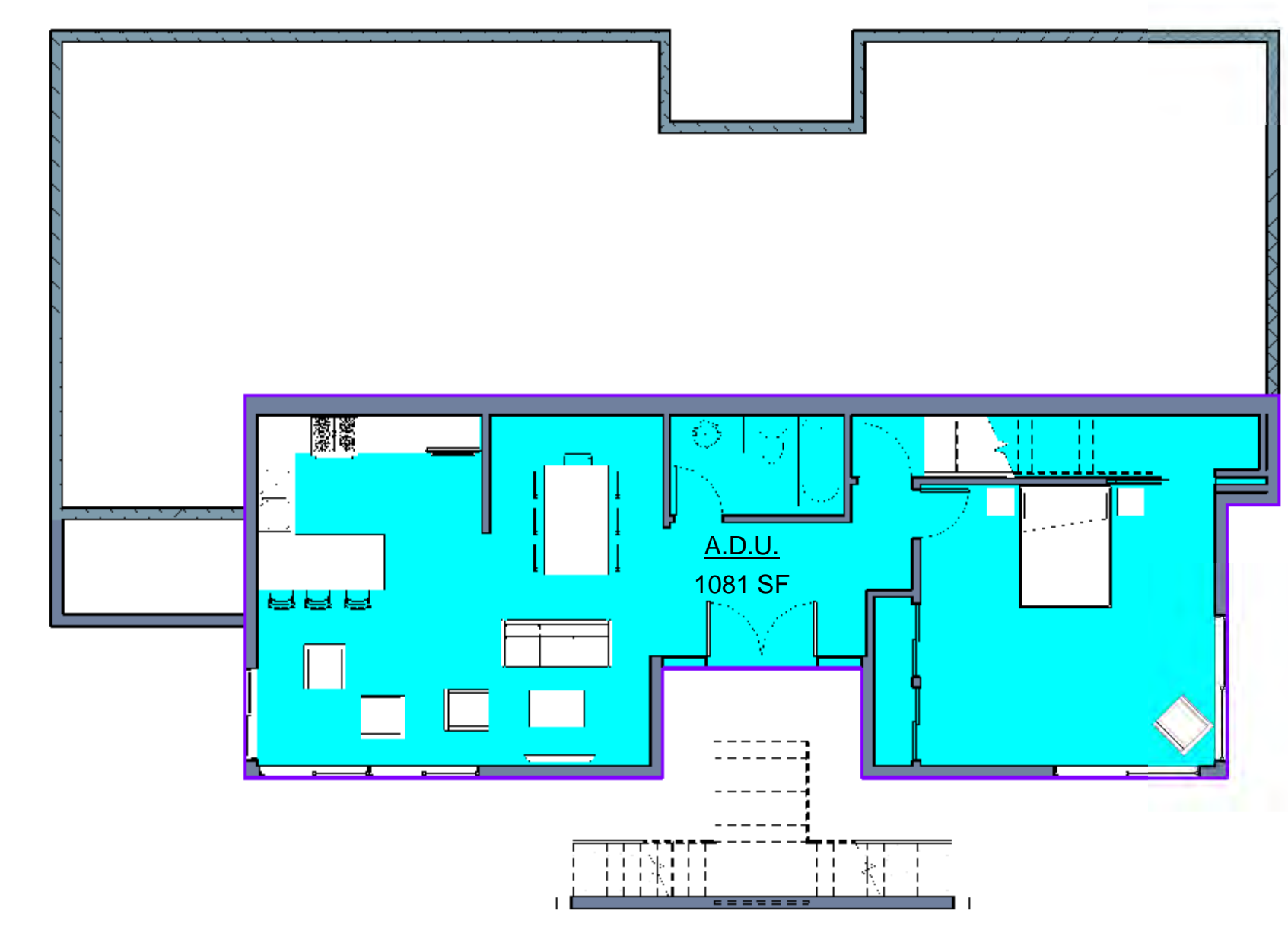
1/8" = 1'-0"

LIVABLE SQUARE FOOTAGES	
Name	Area
A.D.U.	1081 SF
MAIN LEVEL	1504 SF
2ND FLOOR	1827 SF
Grand total: 3	4413 SF



4 ROOF DECK

1/8" = 1'-0"



3 ADU LEVEL

1/8" = 1'-0"

5/4/2021 2:16:20 PM ALL IDEAS, DESIGNS, DRAWINGS, PLANS, AND SPECIFICATIONS ON THIS SHEET ARE THE PROPERTY AND COPYRIGHT OF DTV DESIGNS. THEY WERE CREATED AND DEVELOPED FOR THE SPECIFIED PROJECT AND AS SUCH, SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH DTV DESIGNS.

- ITEM TO BE REMOVED
- NEW WALL
- EXISTING WALL TO REMAIN
- 5/8" TYPE X GYP. BD. EACH SIDE-ONE HOUR CONSTRUCTION
- 1'-4" x 8" UNDERFLOOR VENT
- C.F. DENOTES COMPACT FLUORESCENT FIXTURE
- 6" 6" L.E.D. RECESSED CAN LIGHT U.O.N.
- EF EXHAUST FAN
- J J-BOX MOUNTED IN CLG.
- L LIGHT FIXTURE W/ MOTION SENSOR
- S SMOKE DETECTOR
1) NEW CONSTRUCTION = HARD WIRED W/ BATTERY BACK UP
2) EXISTING CONSTRUCTION BATTERY OPERATED
- SM SMOKE DETECTOR / CARBON MONOXIDE ALARM COMBO UNIT (W/ BATTERY BACKUP)

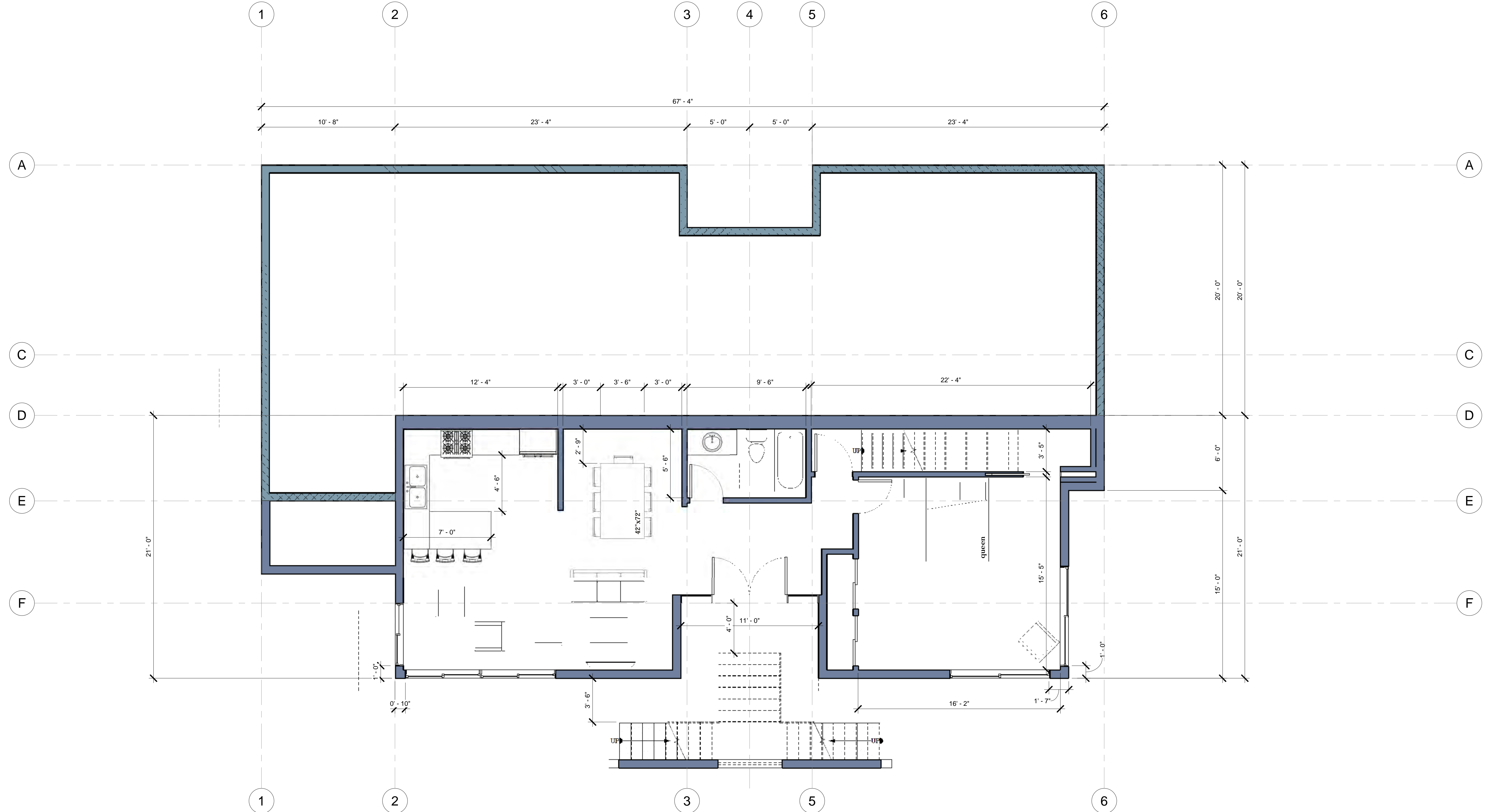
- DOOR TAGS:**
- # NEW DOOR
 - E # EXISTING DOOR
 - R-E # EXISTING DOOR TO BE RELOCATED
 - TV CABLE CONNECTION AND BLOCKING FOR FLAT SCREEN TV MOUNTED ON WALL
 - T TELEPHONE
 - I INTERNET CONNECTION
 - E EXISTING, TYP.
 - DU DUPLEX OUTLET
 - GFI GROUND FAULT INTERCEPTOR
 - S SINGLE POLE SWITCH
 - D SINGLE POLE SWITCH
 - 3 3-WAY SWITCH

NOTES:
1) ???

FLOOR PLAN GENERAL NOTES

SHEET NOTES

FLOOR PLAN LEGEND



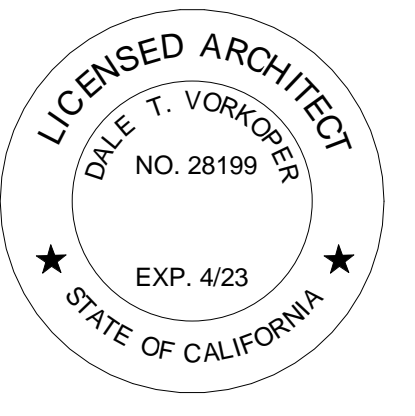
1 ADU LEVEL

1/4" = 1'-0"



Tom Vorkoper, Architect
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Siegel Residence
Ivy and Avocado
Oceanside, Ca.



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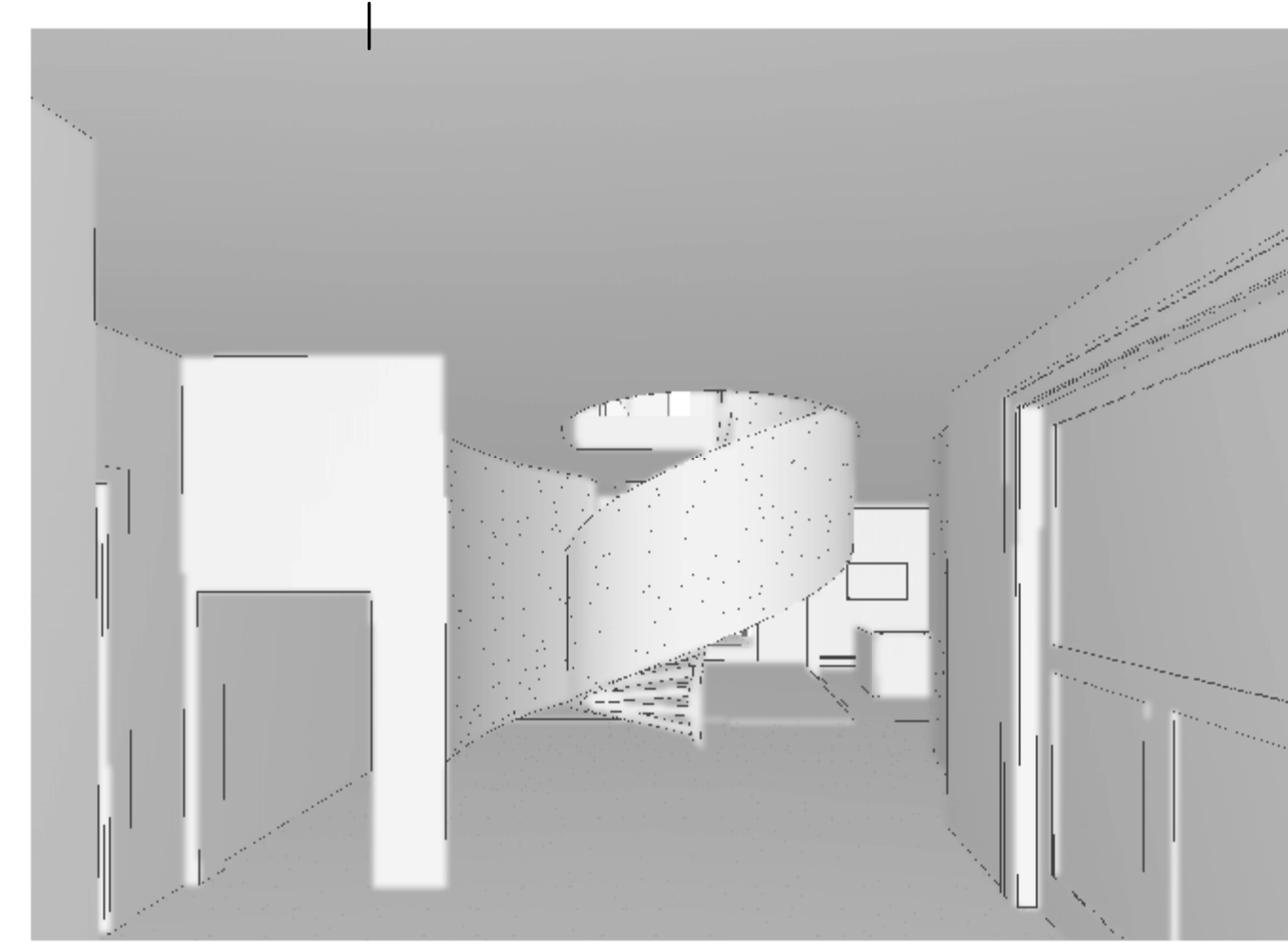
**Lower Level
Plan - ADU**

A 2.00

Scale As indicated

5/4/2021 3:52:14 PM ALL IDEAS, DESIGNS, DRAWINGS, PLANS, AND SPECIFICATIONS ON THIS SHEET ARE THE PROPERTY AND COPYRIGHT OF DTV DESIGNS. THEY WERE CREATED AND DEVELOPED FOR THE SPECIFIED PROJECT AND AS SUCH, SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH DTV DESIGNS.

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- NEW WALL
 - EXISTING WALL TO REMAIN
 - 5/8" TYPE X GYP. BD. EACH SIDE-ONE HOUR CONSTRUCTION
 - 1'-4" x 8" UNDERFLOOR VENT
 - DENOTES COMPACT FLUORESCENT FIXTURE
 - EXHAUST FAN
 - J-BOX MOUNTED IN CLG.
 - LIGHT FIXTURE W/ MOTION SENSOR
 - SMOKE DETECTOR
1) NEW CONSTRUCTION = HARD WIRED W/ BATTERY BACK UP
2) EXISTING CONSTRUCTION BATTERY OPERATED
 - SMOKE DETECTOR / CARBON MONOXIDE ALARM COMBO UNIT (W/ BATTERY BACKUP)
- DOOR TAGS:**
- # NEW DOOR
 - E# EXISTING DOOR
 - R-E# EXISTING DOOR TO BE RELOCATED
 - CABLE CONNECTION AND BLOCKING FOR FLAT SCREEN TV MOUNTED ON WALL
 - TELEPHONE
 - INTERNET CONNECTION
 - EXISTING, TYP.
 - DUPLEX OUTLET
 - GROUND FAULT INTERCEPTOR
 - SINGLE POLE SWITCH
 - SINGLE POLE SWITCH
 - 3-WAY SWITCH



NOTES:
1) ???

FLOOR PLAN GENERAL NOTES

SHEET NOTES

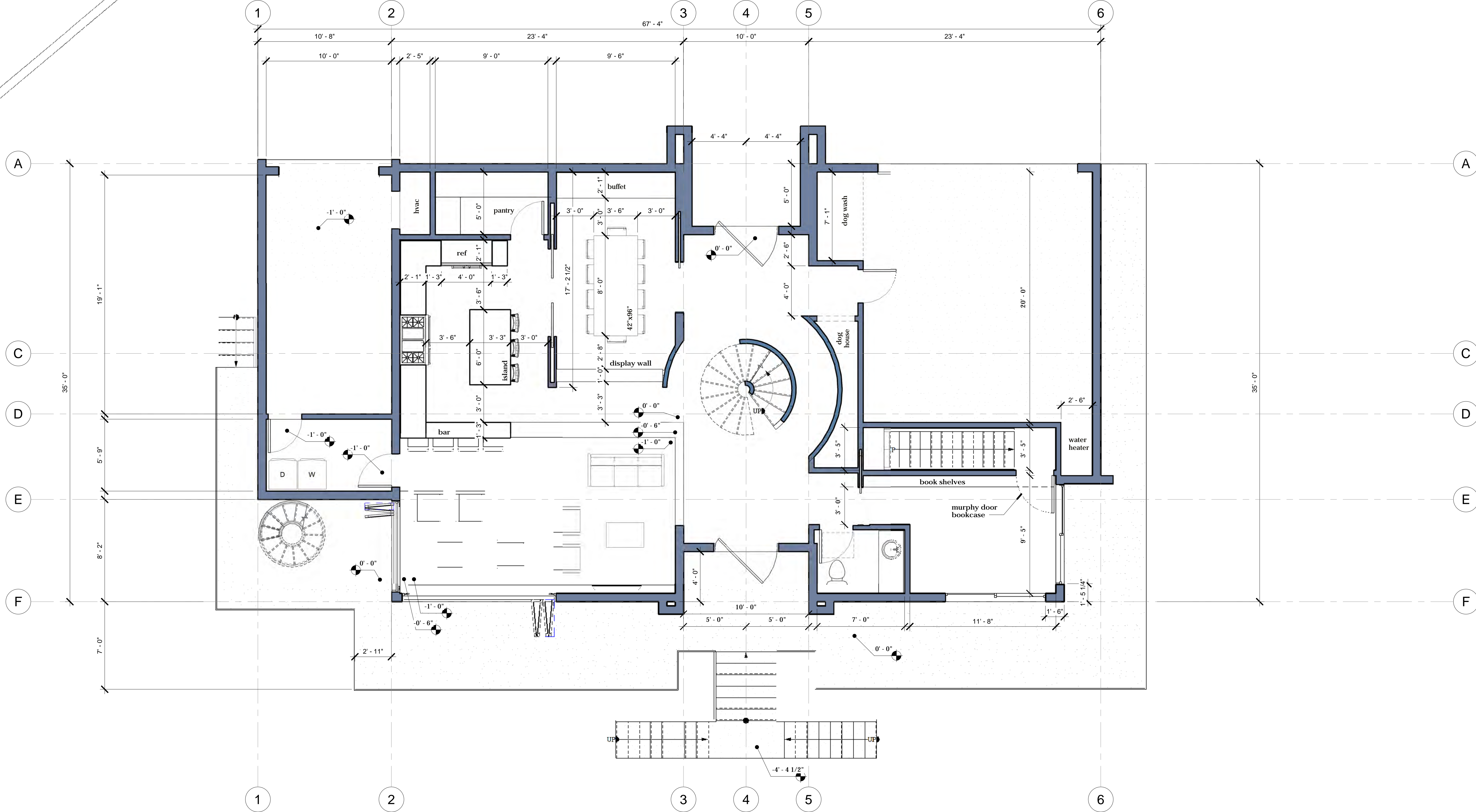


Tom Vorkoper, Architect
7406 SE 36th St
Mercer Island, Wa. 98040
858.775.3465

FLOOR PLAN LEGEND

ENTRY HALL - FROM DRIVEWAY

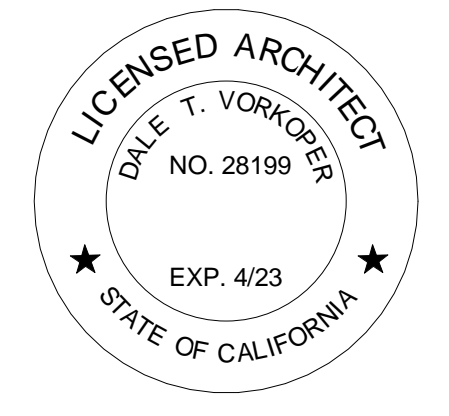
ENTRY HALL - FROM SOUTH



1 FIRST FLOOR

1/4" = 1'-0"

Siegel Residence
Ivy and Avocado
Oceanside, Ca.



Set Issued	Date
Schematic Design 35%	04/05/2021

Permit Submittal
Permit

Project Number	2055.01
Date	05/04/21

First Floor Plan

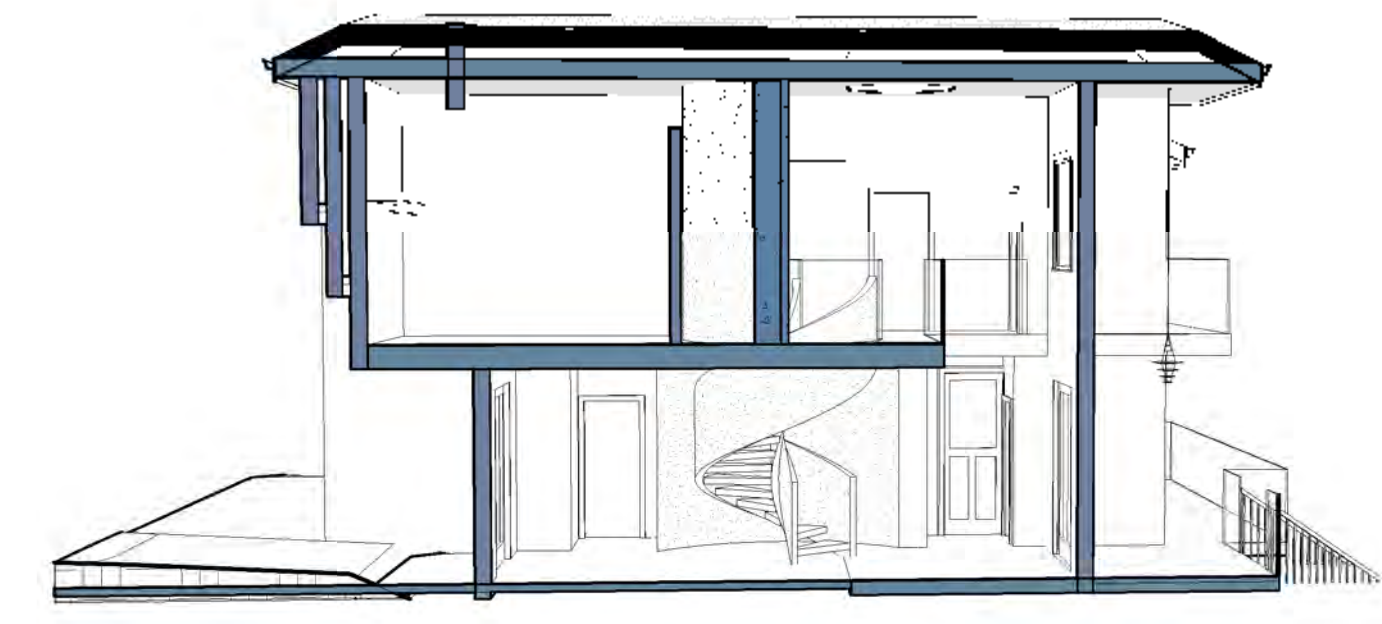
A 2.01

Scale As indicated

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- ITEM TO BE REMOVED
- ▬ NEW WALL
- ▬ EXISTING WALL TO REMAIN
- ▨ 5/8" TYPE X GYP. BD. EACH SIDE-ONE HOUR CONSTRUCTION
- ▬ 1'-4" x 8" UNDERFLOOR VENT
- C.F. DENOTES COMPACT FLUORESCENT FIXTURE
- 6" L.E.D. RECESSED CAN LIGHT U.O.N.
- ⊕ EXHAUST FAN
- Ⓜ J-BOX MOUNTED IN CLG.
- Ⓛ LIGHT FIXTURE W/ MOTION SENSOR
- Ⓢ SMOKE DETECTOR
- Ⓢ 1) NEW CONSTRUCTION = HARD WIRED W/ BATTERY BACK UP
- Ⓢ 2) EXISTING CONSTRUCTION BATTERY OPERATED
- Ⓢ SMOKE DETECTOR / CARBON MONOXIDE ALARM COMBO UNIT (W/ BATTERY BACKUP)

- DOOR TAGS:**
- # NEW DOOR
 - E # EXISTING DOOR
 - R-E # EXISTING DOOR TO BE RELOCATED
 - ☐ CABLE CONNECTION AND BLOCKING FOR FLAT SCREEN TV MOUNTED ON WALL
 - ☐ TELEPHONE
 - ☐ INTERNET CONNECTION
 - ☐ EXISTING, TYP.
 - ☐ DUPLEX OUTLET
 - ☐ GROUND FAULT INTERCEPTOR
 - ☐ SINGLE POLE SWITCH
 - ☐ SINGLE POLE SWITCH
 - ☐ 3-WAY SWITCH



NOTES:
1) ???

FLOOR PLAN GENERAL NOTES

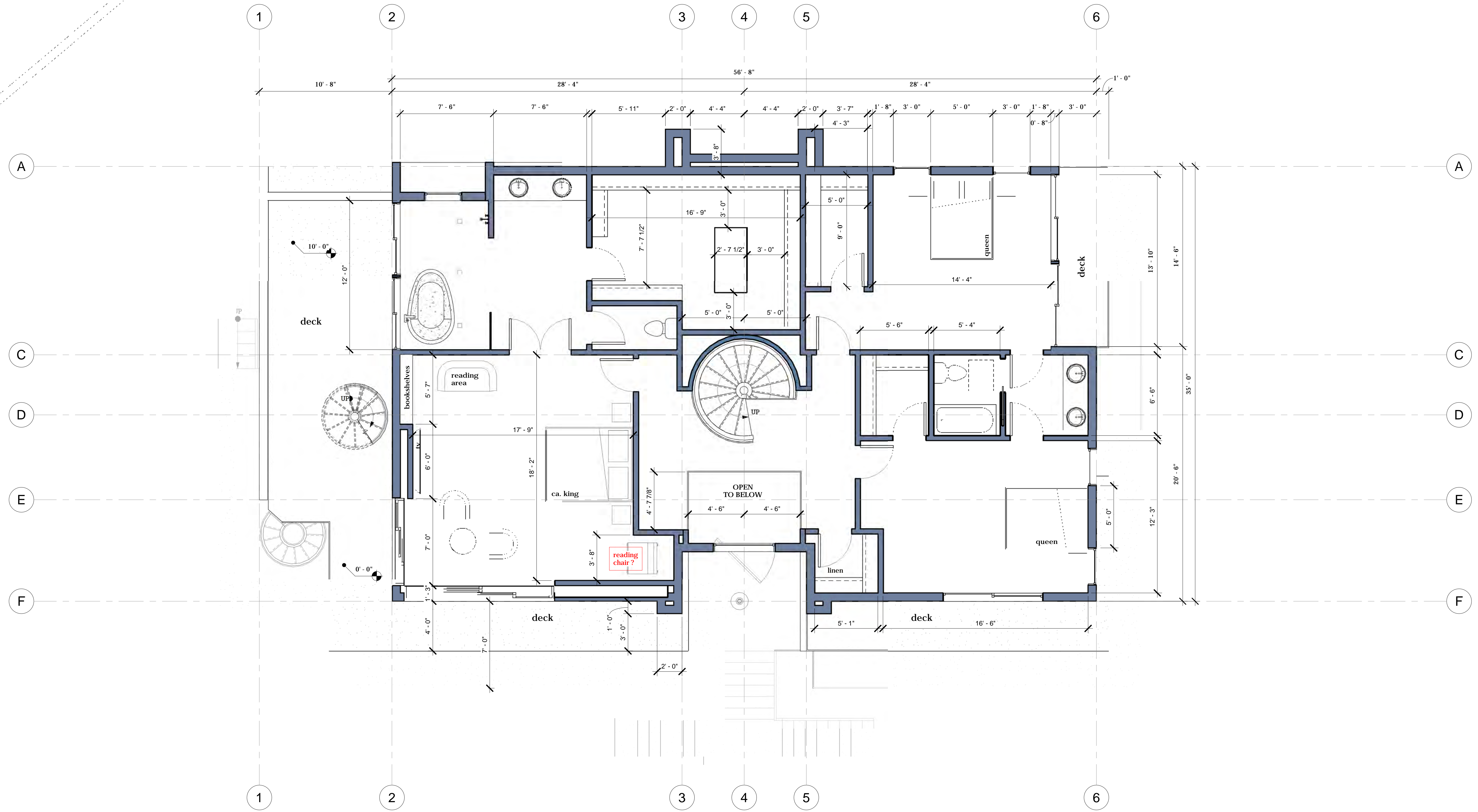
SHEET NOTES



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FLOOR PLAN LEGEND

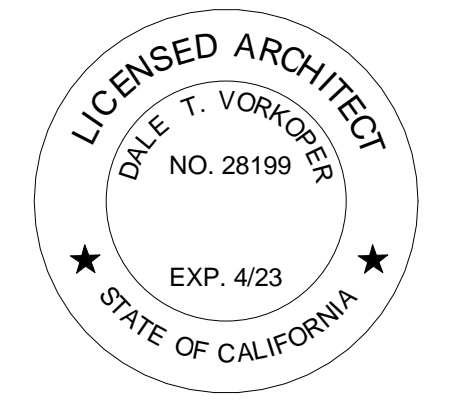
3D View 1



1 SECOND FLOOR

1/4" = 1'-0"

Siegel Residence
Ivy and Avocado
Oceanside, Ca.



Set Issued	Date
Schematic Design 35%	04/05/2021

Permit Submittal	Permit

Project Number	2055.01
Date	05/04/21

Second Floor Plan

A 2.02

Scale As indicated

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ATTIC VENTILATION CALCULATIONS:
 535 SQ. FT. OF ATTIC SPACE / 150 = 3.5 NET SQ. FT. VENTILATION REQ'D.
or / 300 = 1.78 NET SQ. FT. VENTILATION REQ'D.

PROPOSED EAVE VENTS:
 4" X 12" = .33 SQ. FT. / 2 = .66 SQ. FT. NET
 (20) VENTS = 3.3 SQ. FT. NET

PROPOSED ROOF VENTS:
 30" LOW PROFILE VENT = .37 NET AREA EA.
 (7) VENTS = 2.59 SQ. FT. NET

PROPOSED GABLE VENTS:
 12" X 18" RECTANGULAR VENT = .65 NET AREA EA.
 (2) VENTS = 1.3 SQ. FT. NET

TOTAL VENTILATION AREA 7.19 SQ. FT. NET

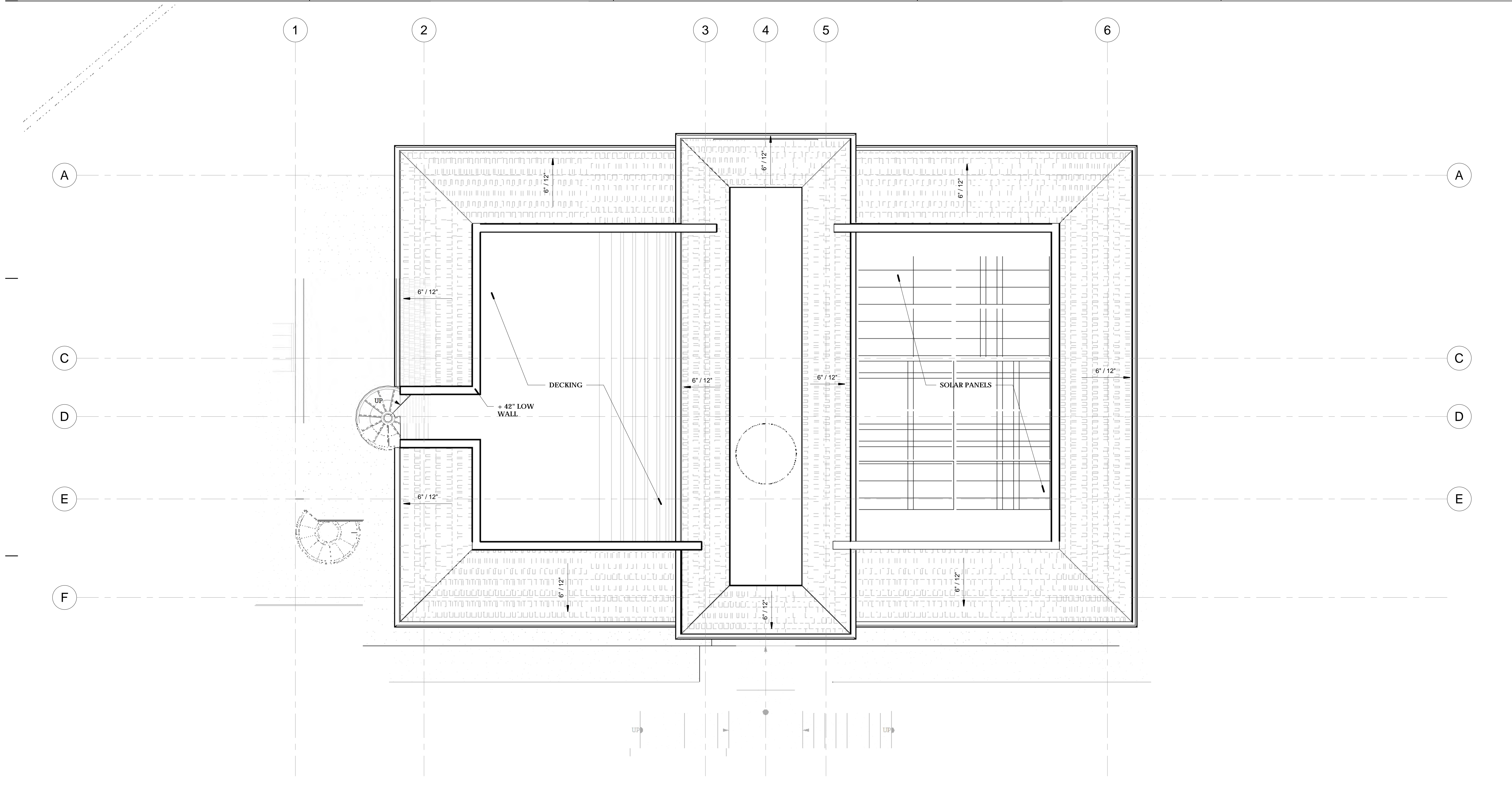
NOTES:
 1) ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH 1/16" MIN. TO 1/4" MAX. OPENINGS.
 2) MINIMUM NET AREA FREE VENTILATION SHALL BE 1/150 OF AREA TO BE VENTED (EXCEPTION: 1/300 IF 40-50% OF THE VENTILATION IS LOCATED IN THE UPPER PORTION OF THE ATTIC < 3' FROM RIDGE AND THE REMAINING VENTS ARE LOCATED AT THE LOWER THIRD OF THE ATTIC SPACE)

NOTES:
 1. ALL ROOFING AT SLOPED ROOFS TO BE REPLACE WITH (N) ASPHALT SHINGLE ROOFING TO MATCH (E)

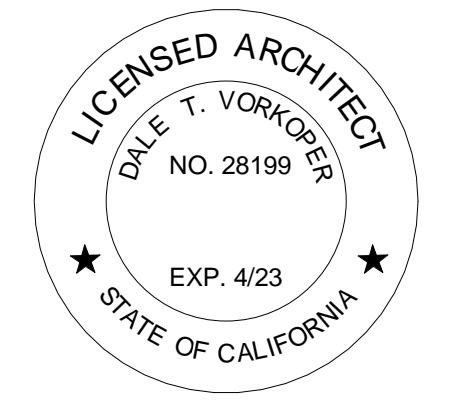


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 858.775.3465

ROOF PLAN GENERAL NOTES



Siegel Residence
 Ivy and Avocado
 Oceanside, Ca.



Set Issued	Date
Schematic Design 35%	04/05/2021

Permit Submittal	Permit

Project Number	2055.01
Date	05/04/21

Roof Plan

A 2.03

Scale As indicated

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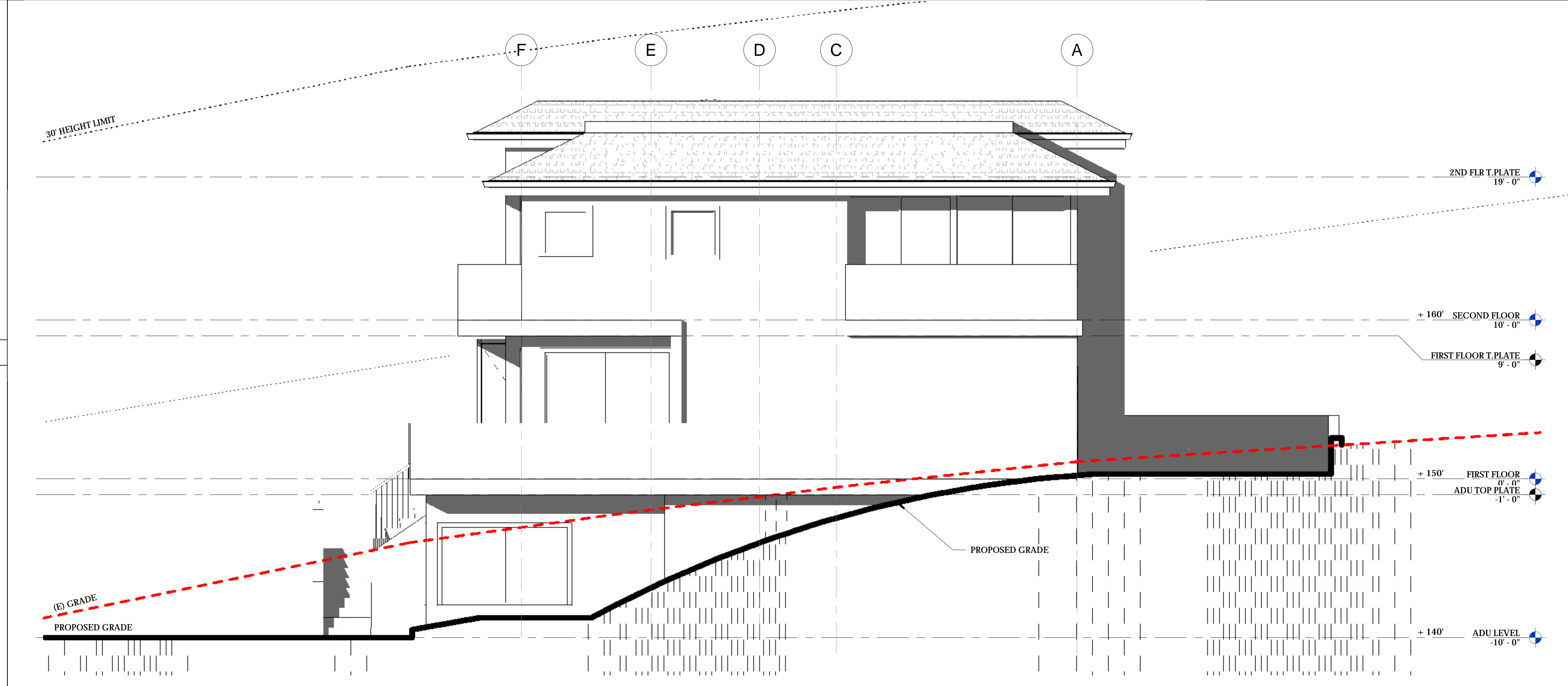
- NOTES:**
1. ALL EXTERIOR WALLS TO RECEIVE NEW PAINT. COLOR TO BE DETERMINED BY OWNER
 2. ALL ROOFING AT SLOPED ROOFS TO BE REPLACE WITH (N) ASPHALT SHINGLE ROOFING TO MATCH (E)

ELEVATION GENERAL NOTES



1 SOUTH ELEVATION

1/4" = 1'-0"



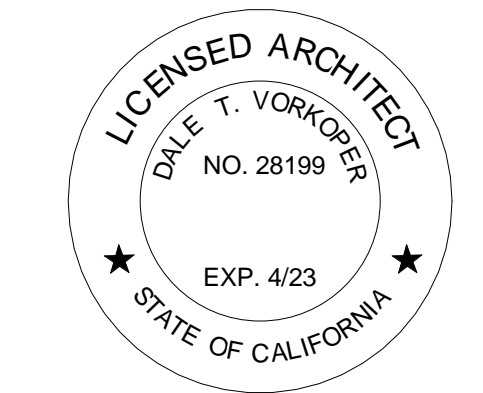
2 EAST ELEVATION

1/4" = 1'-0"



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Siegel Residence
Ivy and Avocado
Oceanside, Ca.



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Permit Submittal	
Permit	

Project Number 2055.01
Date 05/04/21

Elevations

A 4.01

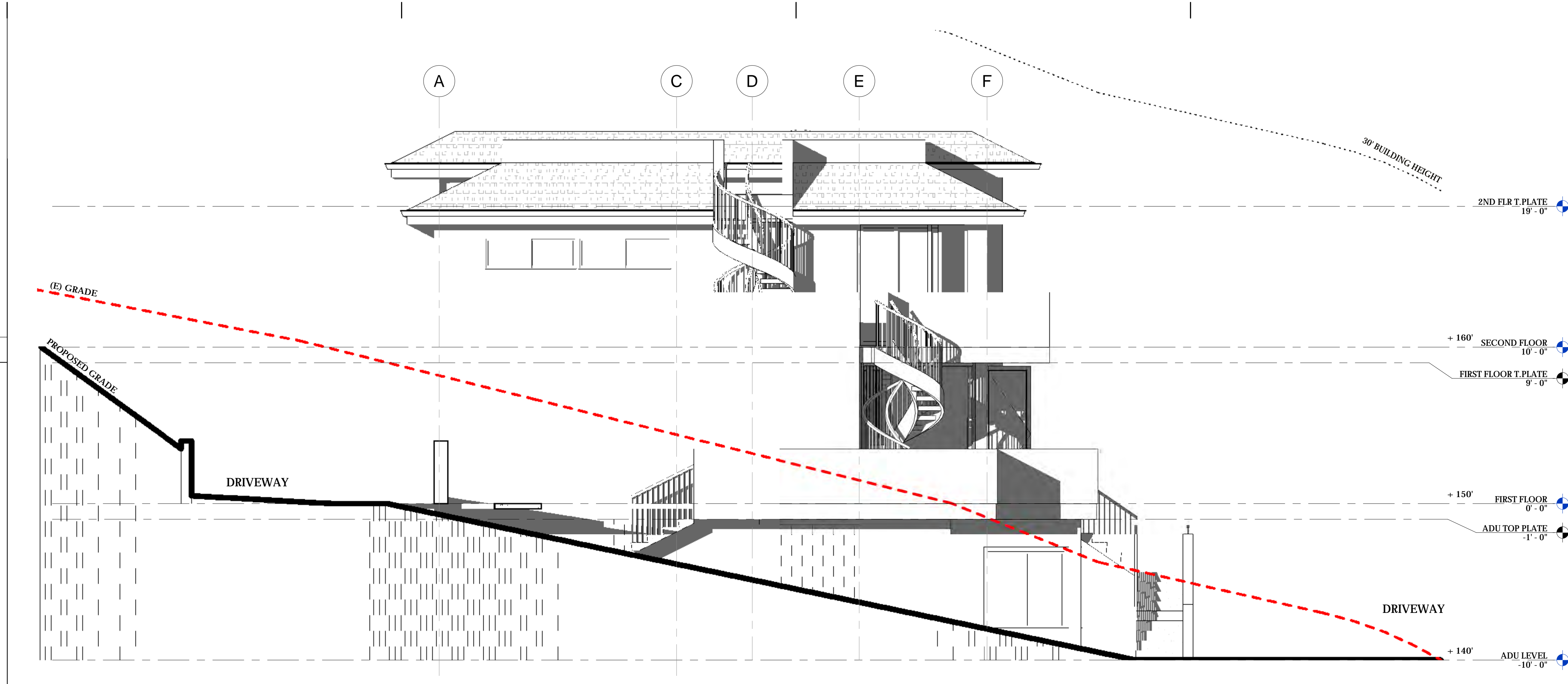
Scale As indicated

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NOTES:

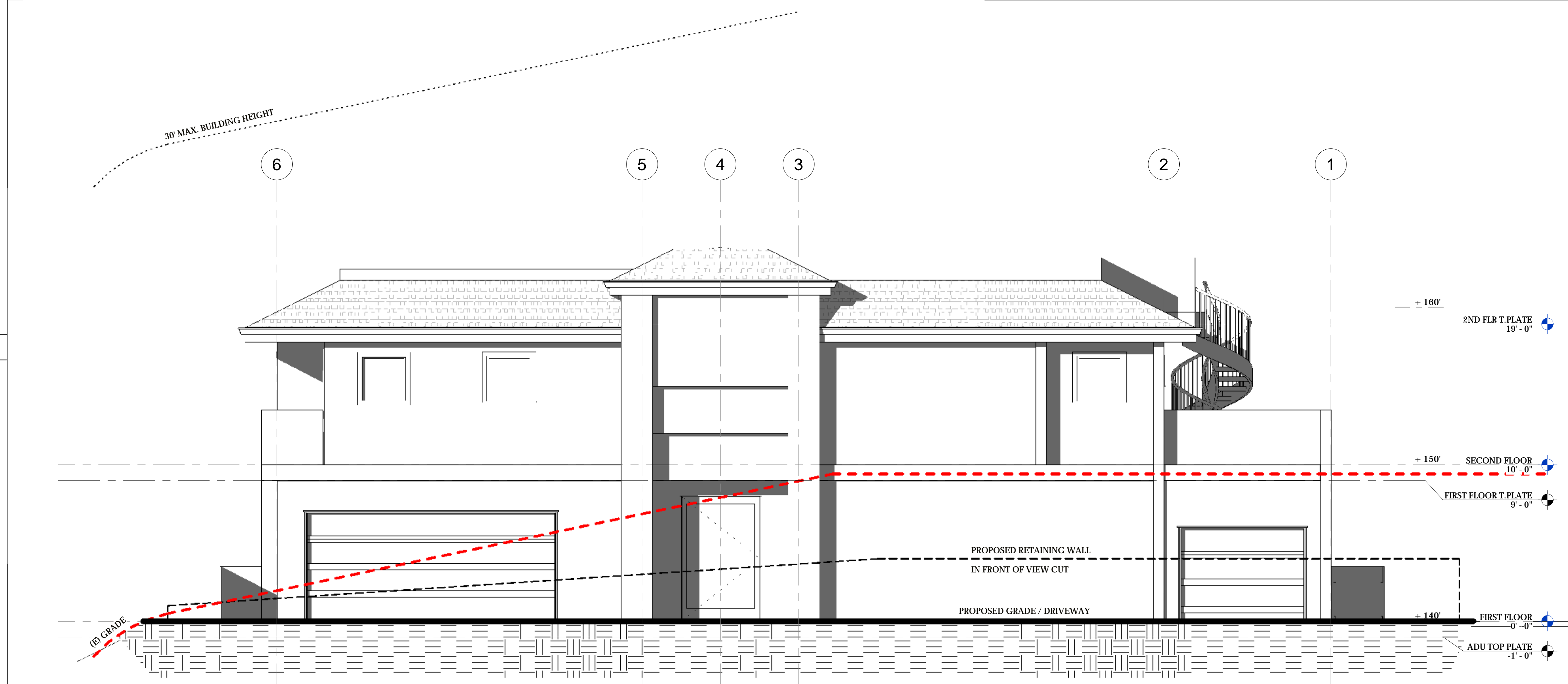
1. ALL EXTERIOR WALLS TO RECEIVE NEW PAINT. COLOR TO BE DETERMINED BY OWNER
2. ALL ROOFING AT SLOPED ROOFS TO BE REPLACE WITH (N) ASPHALT SHINGLE ROOFING TO MATCH (E)

ELEVATION GENERAL NOTES



1 WEST ELEVATION

1/4" = 1'-0"



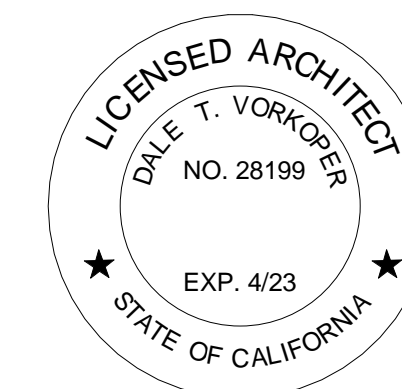
2 NORTH

1/4" = 1'-0"



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Siegel Residence
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Oceanside, Ca.



Set Issued	Date
Schematic Design 35%	04/05/2021
Permit Submittal	
Permit	

Project Number	2055.01
Date	05/04/21

Elevations

A 4.02

Scale As indicated

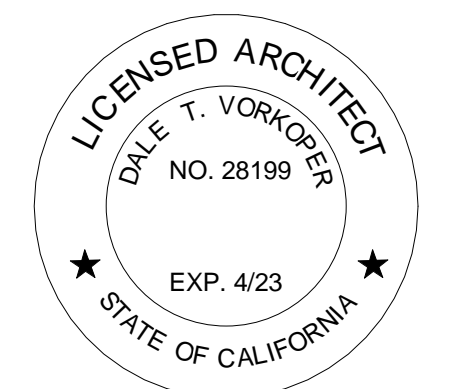
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 858.775.3465

Siegel Residence

Ivy and Avocado
 Oceanside, Ca.



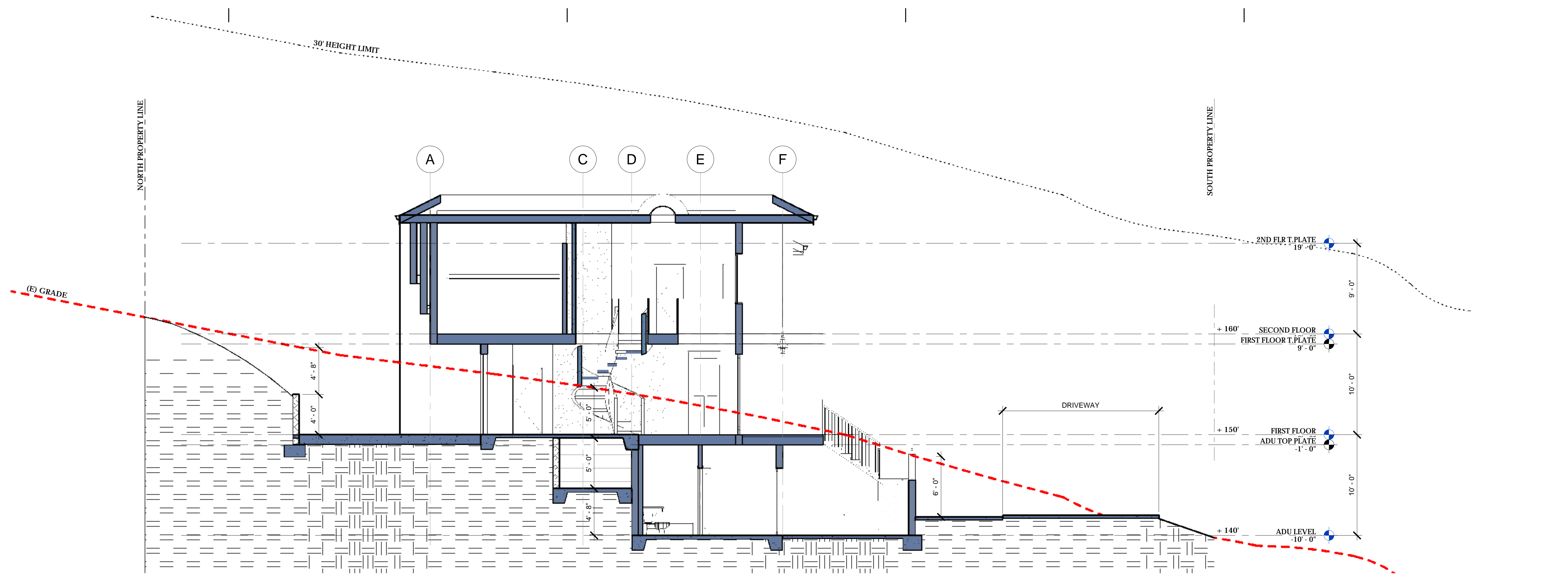
Set Issued	Date
Schematic Design 35%	04/05/2021
Permit Submittal	
Permit	

Project Number	2055.01
Date	05/04/21

Sections

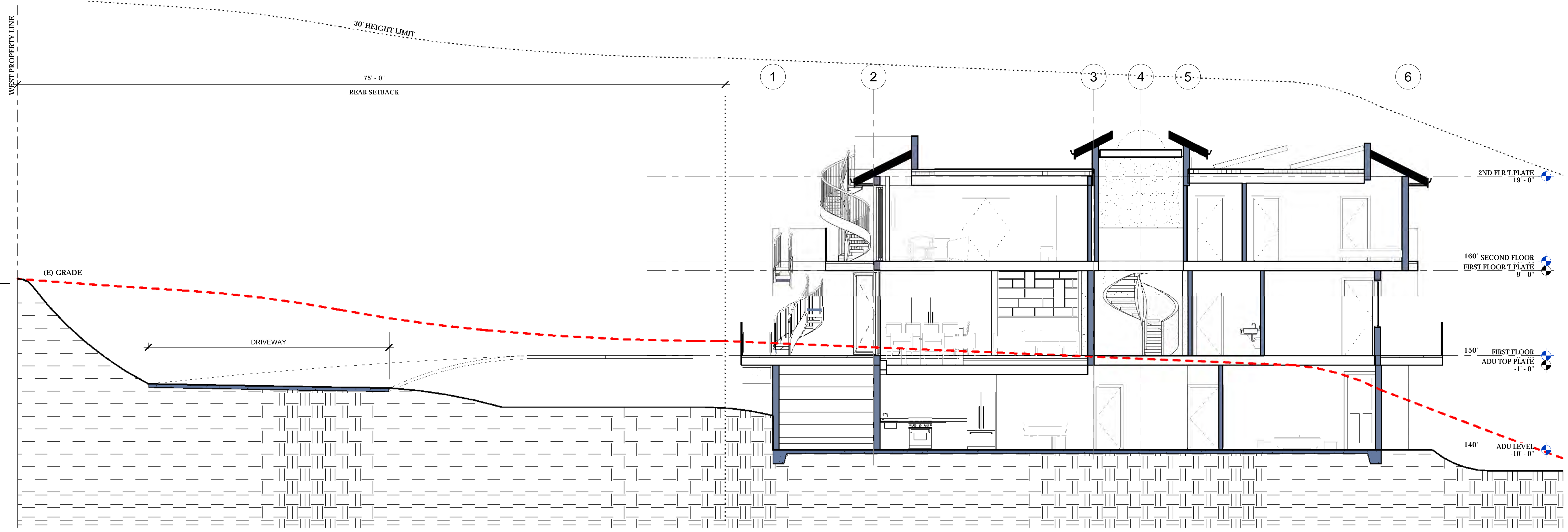
A 5.01

Scale 3/16" = 1'-0"



1 LONGITUDINAL SECTION (N - S)

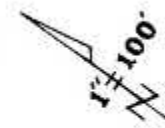
3/16" = 1'-0"



2 CROSS SECTION (E - W)

3/16" = 1'-0"

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CHANGES		
BLK	OLD	NEW YR CUT
24	32-34	68 5231
27	35-38	70 3328
25,30	39-41	72 9106
32	42-43	72 2379
35	44-45	72 7602
44	46-47	73 2594
8,22	48-51	75 4328
9	52-53	78 3333
16	54-57	80 2117

151 - 16

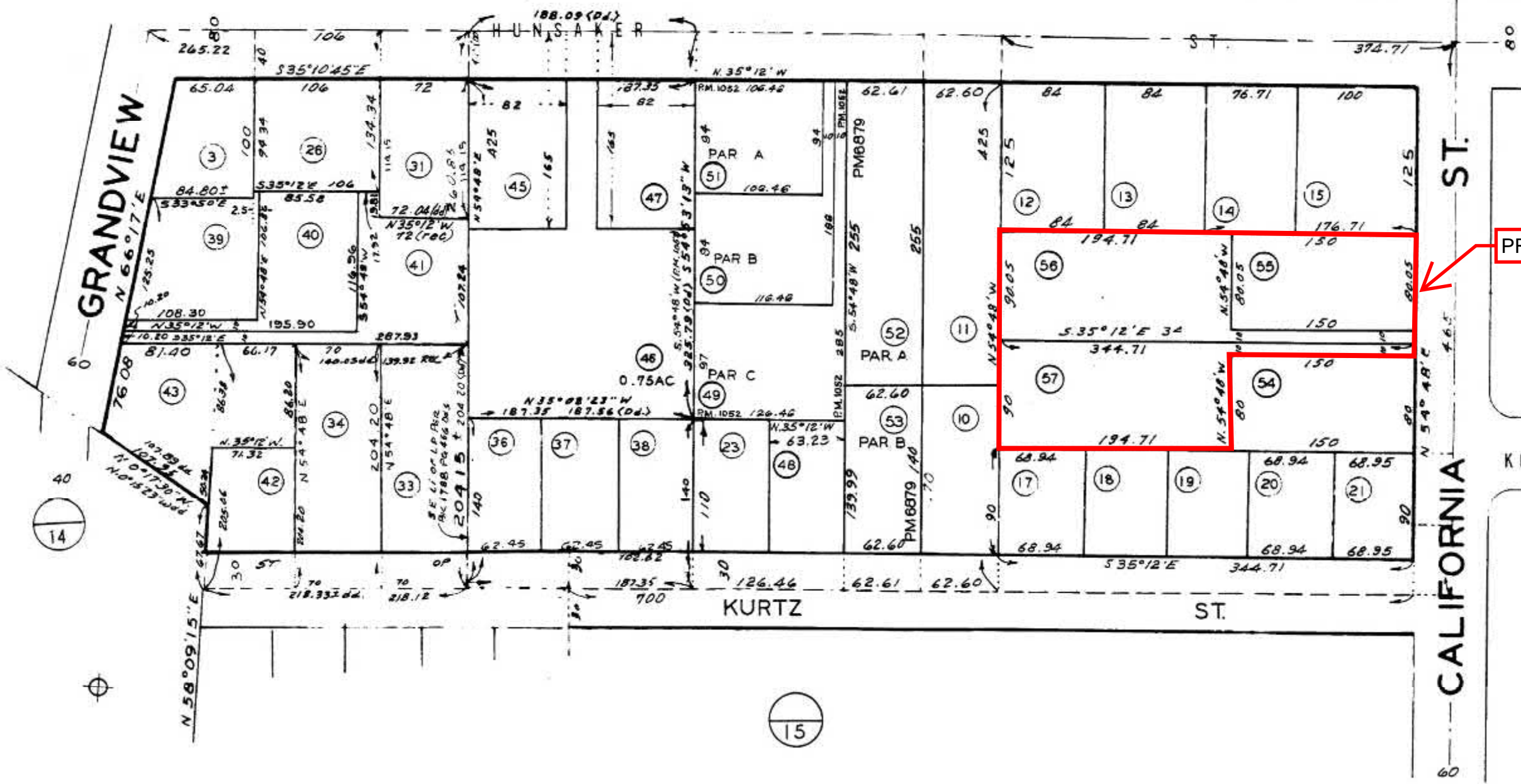
31

ST.

17

LA BELLA CIR.

N 35° 12' W



PROJECT SITE

154
2

RSB
1-8-69

To be completed by City staff

Project Number: **ADM21-00029**



Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

General Information

Project/Property Address: California Street Lots

Assessor's Parcel Number: 151-160-(55,56,57)-00 Lot Area (acres or SF): 50,065.0355

Existing Use: Vacant Land (3 Lots)

Brief Description of Proposal:

Re map current 3 lots into 6 lots (one affordable housing) under density bonus plan

Property Owner & Applicant Information

Owner Name: Daniel Rhodes/Jenny Rhodes


Phone Number & E-Mail Address: _____

Applicant Name: Phil Johnson, Realtor for the Rhodes

Phone Number & E-Mail Address: 760-613-0265 johnsonse@roadrunner.com

To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf


4/26/2021 10:30 AM
Jenny Rhodes
Signature of Property Owner
(or attach a Letter of Authorization)

Requested Meeting Date/Time (please provide 2 options) - reference the Developer's Conference calendar for dates

1st choice date: May 12, 2021 Time preference: 9:30 am 10:30 am either

2nd choice date: May 26, 2021 Time preference: 9:30 am 10:30 am either

Requested Divisions to Attend (Planning attends all meetings)

Building Fire Water Engineering Transportation Solid Waste Other _____

Email the following documents in PDF to Sergio Madera, smadera@oceansideca.org

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

To be completed by City staff:

Assigned meeting date: **May 26, 2021** Time: **10:30**

Assigned Project Planner: _____

April 28, 2021

RE: Developer's Conference (Pre-Application)

For: APN #151-160-(55,56,57)-00

Dear City of Oceanside Planning Division,

This Pre-application is not for development purposes at this time.

I am submitting a Request Form for the purposes of insight and feasibility regarding the proposed remapping of the existing three lots into a tentative parcel map for six lots, one affordable, to be done under the "density bonus" guidelines for the subject property. Please see attached drawing.

One other specific question, should the general concept be acceptable, given that the most south-eastern lot (nearest to California Street) would likely be the lot designated as the "affordable unit", what would the minimum lot dimensions be for this lot?

Thank you for your help and I look forward to your feedback.

It's A Good Life!

A handwritten signature in black ink, appearing to read 'Phil Johnson', with a long, sweeping horizontal stroke extending to the right.

Phil Johnson

John Tappan, Broker

DRE#01173705

760-613-0265








Imagery ©2021 Data CSUMB SFML, CA OPC, Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2021 Google 200 ft



Oceanside

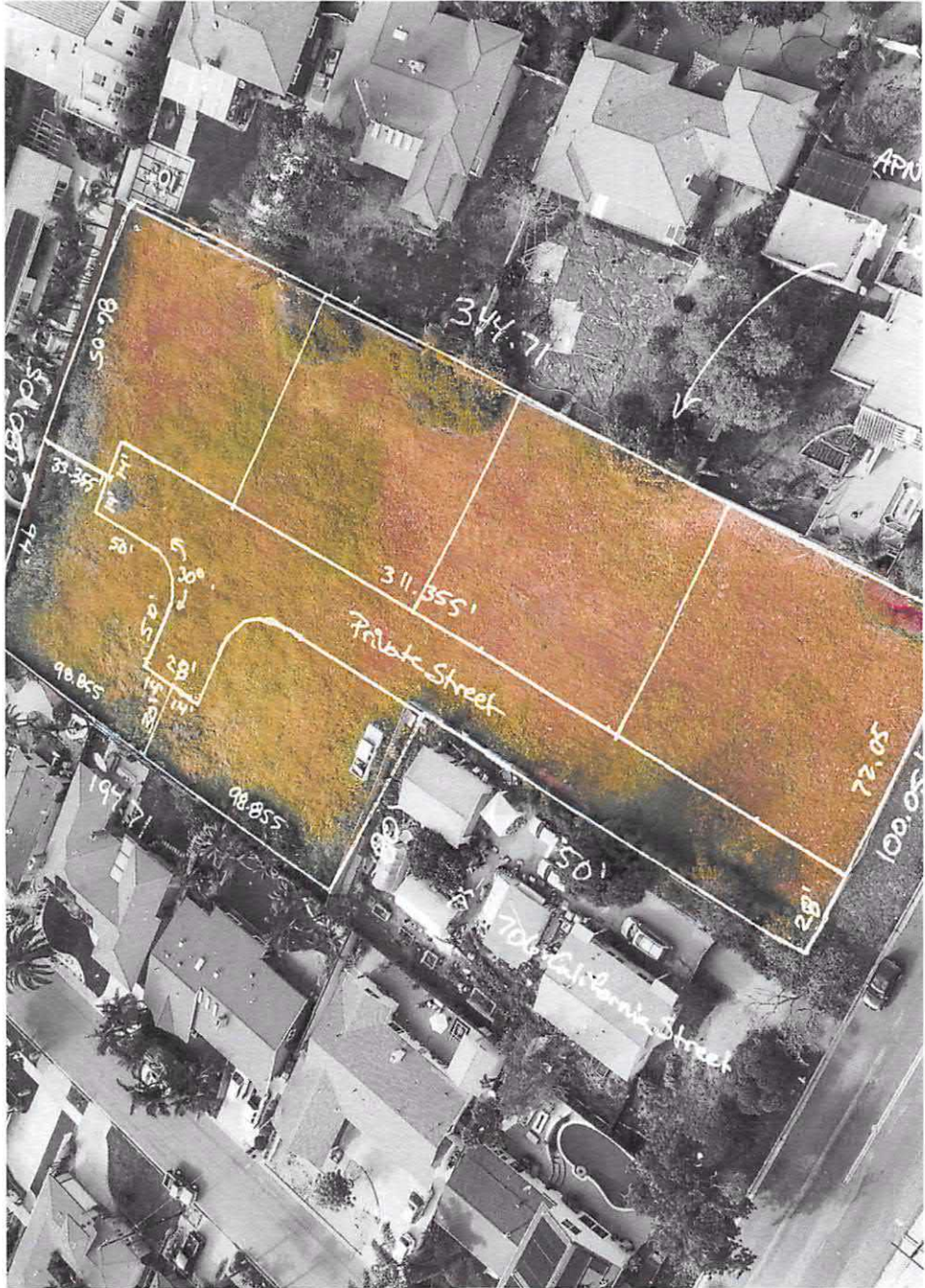
California


Sunny · 71°F
3:06 PM

-  Directions
-  Save
-  Nearby
-  Send to your phone
-  Share

Quick facts

Oceanside is a coastal city in California. It's known for palm-dotted Harbor Beach and nearby Oceanside Harbor, with its marina and shops. To the south, the long Oceanside Pier juts into the Pacific Ocean. The California Surf Museum traces the sport's history with a surfboard collection and exhibits on



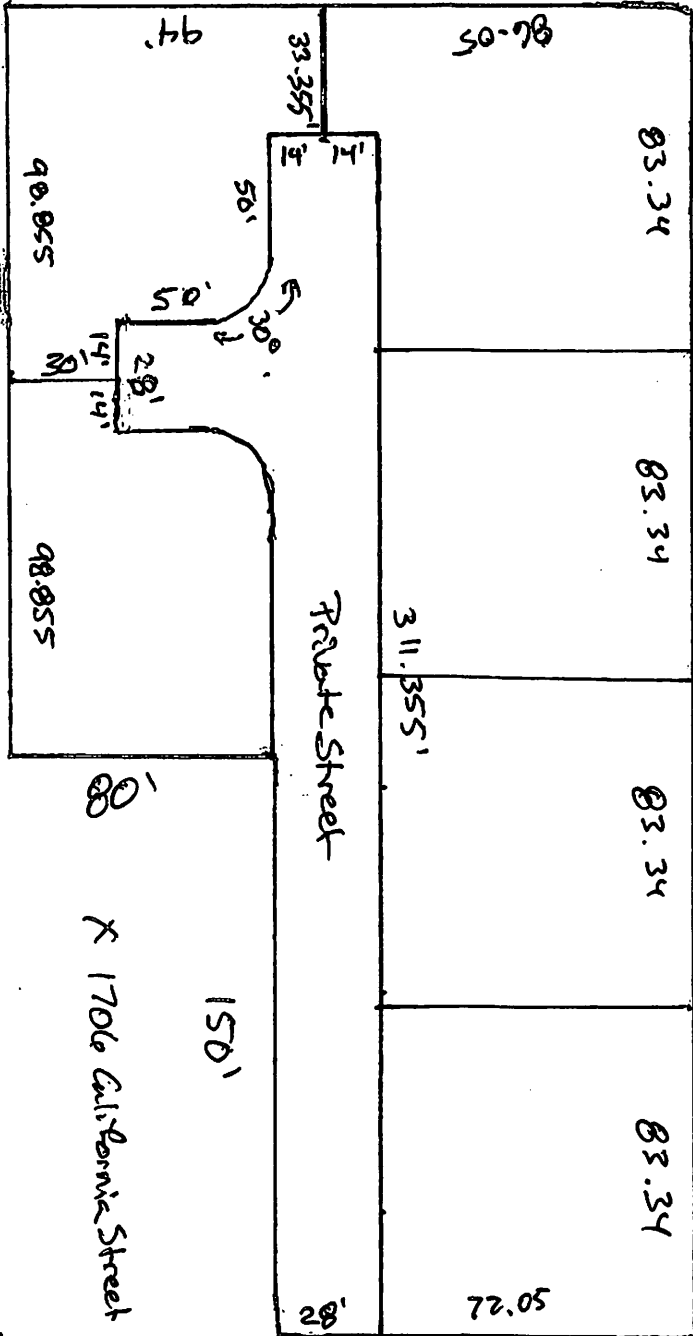
April 28, 2021

Conceptual site plans

Note: This Pre-Application is not for development at this time

N ↑

180.05



194.71

2 Lots on West side of Private Street

APNs 151-160-(55,56,57)-00
4 lots on East side of Private Street