

<sup>1</sup>AGENDA  
OCEANSIDE DEVELOPER'S CONFERENCE

Wednesday, August 25, 2021

**Reviewers- Please complete the Developer's Conference comment sheet template and attach to the TRAKiT record by end of day Tues, 8/24/2021.**

1. 9:30 - 10:30 am

Proposed 2,396 square foot drive-through fast food restaurant on a vacant 0.78 outparcel located in Palm Tree Plaza at the northeast corner of Lake Boulevard and Cannon Road. [ADM21-00052]

**Zoning: CG-PBD-4**  
**Land Use: GC**  
**Neighborhood Area: Ocean Hills**  
**Assessor Parcel Number(s): 169-011-59**  
**Contact Person: Othoniel Bejarano**  
**Email: obejarano@fscsz.net**

2. 10:30 - 11:30 am

Proposed mixed-use development consisting of four (4) residential units and ~640 square feet of ground floor commercial space at 1002 S Tremont Street. [ADM21-00053]

**Zoning: C-2**  
**Land Use: C-GC**  
**Neighborhood Area: Townsite**  
**Assessor Parcel Number(s): 152-011-21**  
**Contact Person: Ron Rogers**  
**Email: fenwayrat1@yahoo.com**

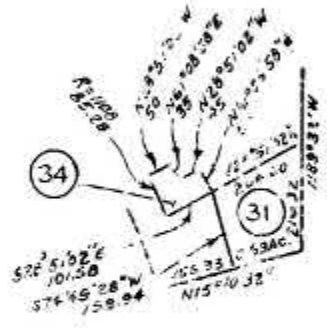
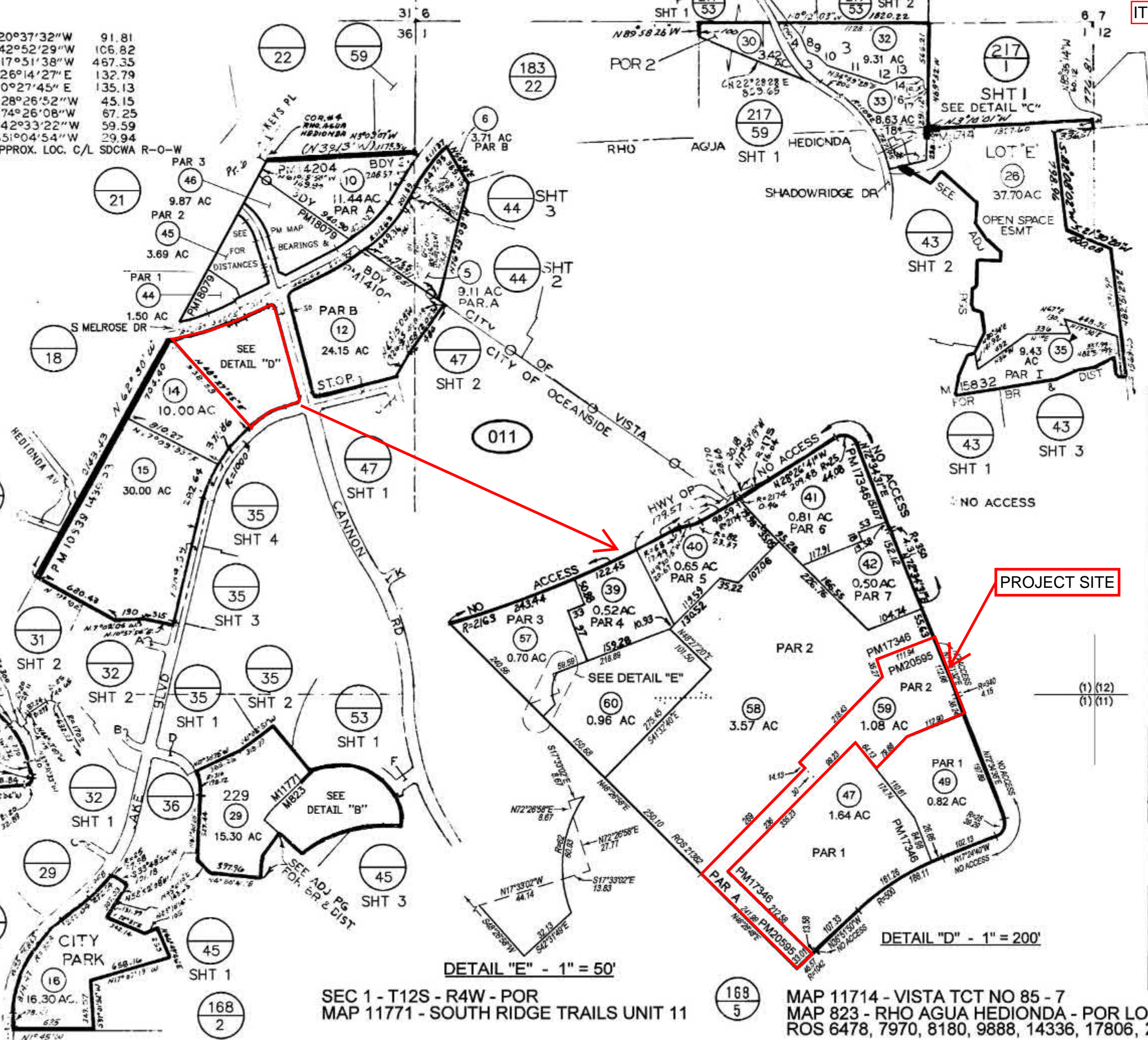
---

<sup>1</sup> *The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*

1. N62°27'30" 201.89
2. N36°54'45" 23.67
3. R=958 340.79
4. N5°12'22"E 57.12
5. R=1244.75 189.77
6. S0°12'03"E 110.14
7. S49°32'W 122.84
8. S65°15'34"W 143.53
9. S20°37'32"W 91.81
10. S42°52'29"W 106.82
11. S17°51'38"W 467.35
12. S26°14'27"E 132.79
13. S0°27'45"E 135.13
14. S28°26'52"W 45.15
15. S74°26'08"W 67.25
16. S42°33'22"W 59.59
17. S51°04'54"W 29.94
18. APPROX. LOC. C/L SDCWA R-0-W

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

- A - WINDSOR RD
- B - CHAUNCEY RD
- C - WAVERLY RD.
- D - SOUTH RIDGE RD
- F - WISTERIA DR (NIGHTHAWK CT)
- G - SHADOW RIDGE DR
- H - VIA BALDONA
- J - VIA LARGO
- K - SHADOW RIDGE DR
- L - VIA CABRILLO
- M - VIA DEL RANCHO
- N - VIA LAS VILLAS



DETAIL "C"  
1"=400'

11/14/19 TR

**CHANGES**

BLK	OLD	NEW	YR	CUR
011	020-77	1-48	87	87.11
	010-52	2-58	87	2-75
	010-30	1-46	87	1-25
	010-91	7-9	87	1-23
	010-100	10-28	87	10-27
	798	10-13	87	10-24
	294	10-22		
	17	10-13	88	10-32
	9	10-42	88	10-01
	142	10-17	88	10-48
	27	10-34	88	10-78
	3	10-48	88	10-28
	13	SAME #	88	10-47
	28	10-27	88	10-28
	23	10-49	89	10-13
	21	10-52	89	10-09
	24	100-05	89	100-35
	19	10-11	90	10-26
	20	10-56	90	100-77
	15	10-86	90	10-38
	4 & 22	PG 57	92	10
	13	SAME #	92	10-35
	13	36-43	95	10-41
	40 & 41	SAME #	97	10-29
	11	44-46	99	10-30
	36&43	47&48	07	1083
	48	49-51	09	1670
	37&38	52-55	13	1387
	52-55	56&57	13	1088
	50,51,56	58-60	20	1223



DETAIL "B" 1"=400'



DETAIL "E" - 1"=50'

DETAIL "D" - 1"=200'

SEC 1 - T12S - R4W - POR  
MAP 11771 - SOUTH RIDGE TRAILS UNIT 11

MAP 11714 - VISTA TCT NO 85 - 7  
MAP 823 - RHO AGUA HEDIONDA - POR LOT C  
ROS 6478, 7970, 8180, 9888, 14336, 17806, 21362, 23301



# Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division  
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

## General Information

Project/Property Address: Cannon Rd. & Lake Blvd.

Assessor's Parcel Number: 169-011-59-00

Lot Area (acres or SF): .738 acres

Existing Use: Vacant

Brief Description of Proposal:

Popeye's fast food restaurant with a drive thru

## Property Owner & Applicant Information

Owner Name: DNBA Properties, LLC.

Phone Number & E-Mail Address: \_\_\_\_\_

Applicant Name: Othoniel Bejarano

Phone Number & E-Mail Address: 1-800-416-8716

obejarano@fscsz.net

## To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf:

Signature of Property Owner  
(or attach a Letter of Authorization)

## Requested Meeting Date/Time (please provide 2 options) - reference the Developer's Conference calendar for dates

1<sup>st</sup> choice date: 8/25/21 Time preference:  9:30 am  10:30 am  either

2<sup>nd</sup> choice date: 9/5/21 Time preference:  9:30 am  10:30 am  either

## Requested Divisions to Attend (Planning attends all meetings)

Building  Fire  Water  Engineering  Transportation  Solid Waste  Other \_\_\_\_\_

## Email the following documents in PDF to Sergio Madera, smadera@oceansideca.org

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

## To be completed by City staff:

Assigned meeting date: August 25, 2021 Time: 9:30

Assigned Project Planner: \_\_\_\_\_



FOOD SERVICE CONCEPTS, INC.

1101-A W. Melinda Lane Phoenix, AZ 85027  
Ph: 623-492-0077 Fax: 623-492-0840

---

August 11, 2021

City of Oceanside  
Planning Division  
300 North Coast Hwy.  
Oceanside, CA 92054

RE: Developer's Conference narrative letter for proposed Popeye's project at Palm Tree Plaza Center on Cannon Rd. & Lake Blvd.

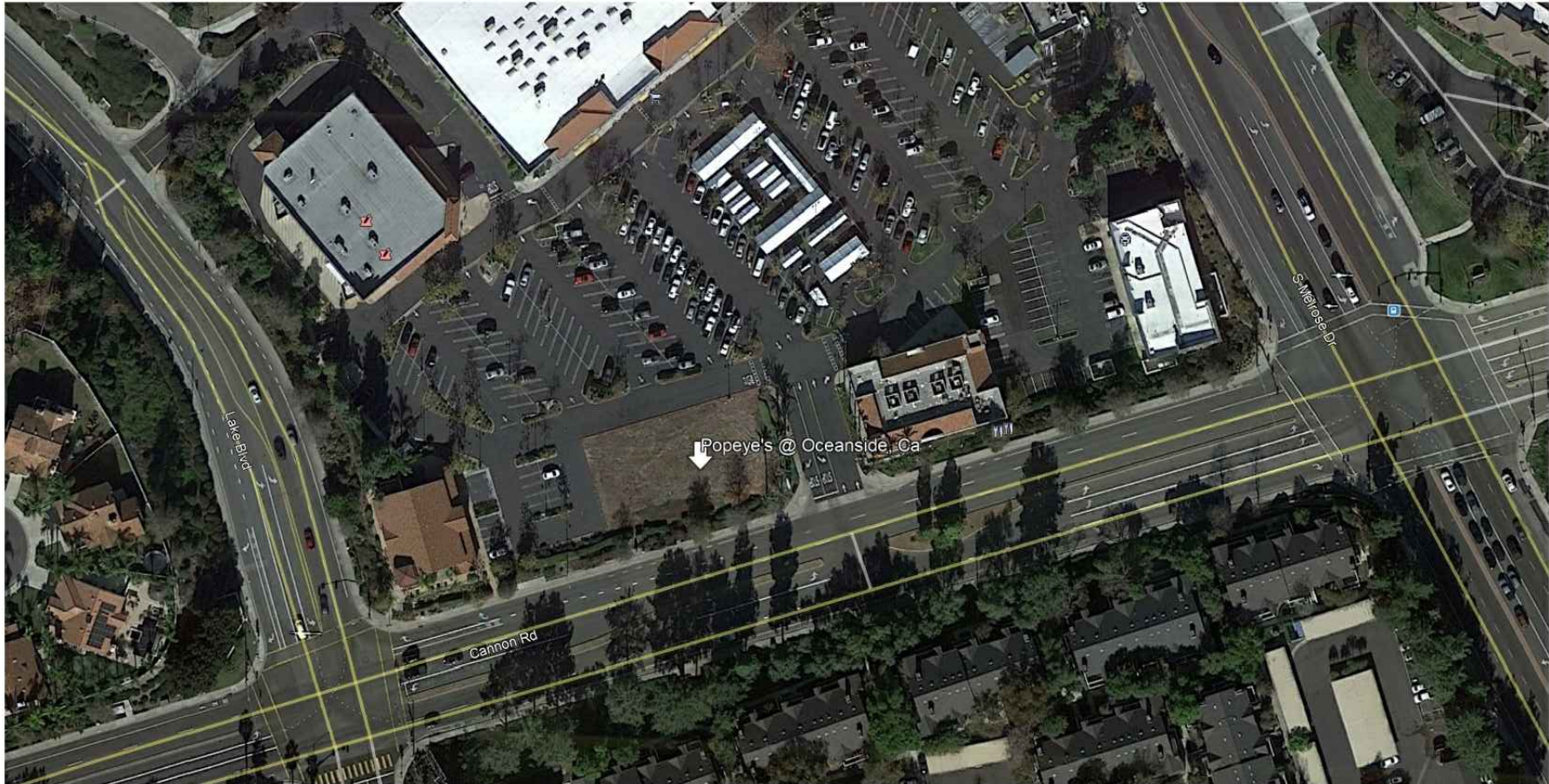
Attn.: To Whom This May Concern,

Purpose of this letter is to inform the City of Oceanside that we propose to submit a CUP application for the project mentioned above. Project will consist of construction for a new stand-alone Popeye's fast-food restaurant with a drive thru on a vacant outparcel within the Palm Tree Plaza shopping center located on Cannon Rd. and Lake Blvd. Along with this letter is the application for the Developer's Conference review, preliminary site plan, and aerial images of the site. It would be much appreciated if the City could review the documents provided and provided any feedback on our project.

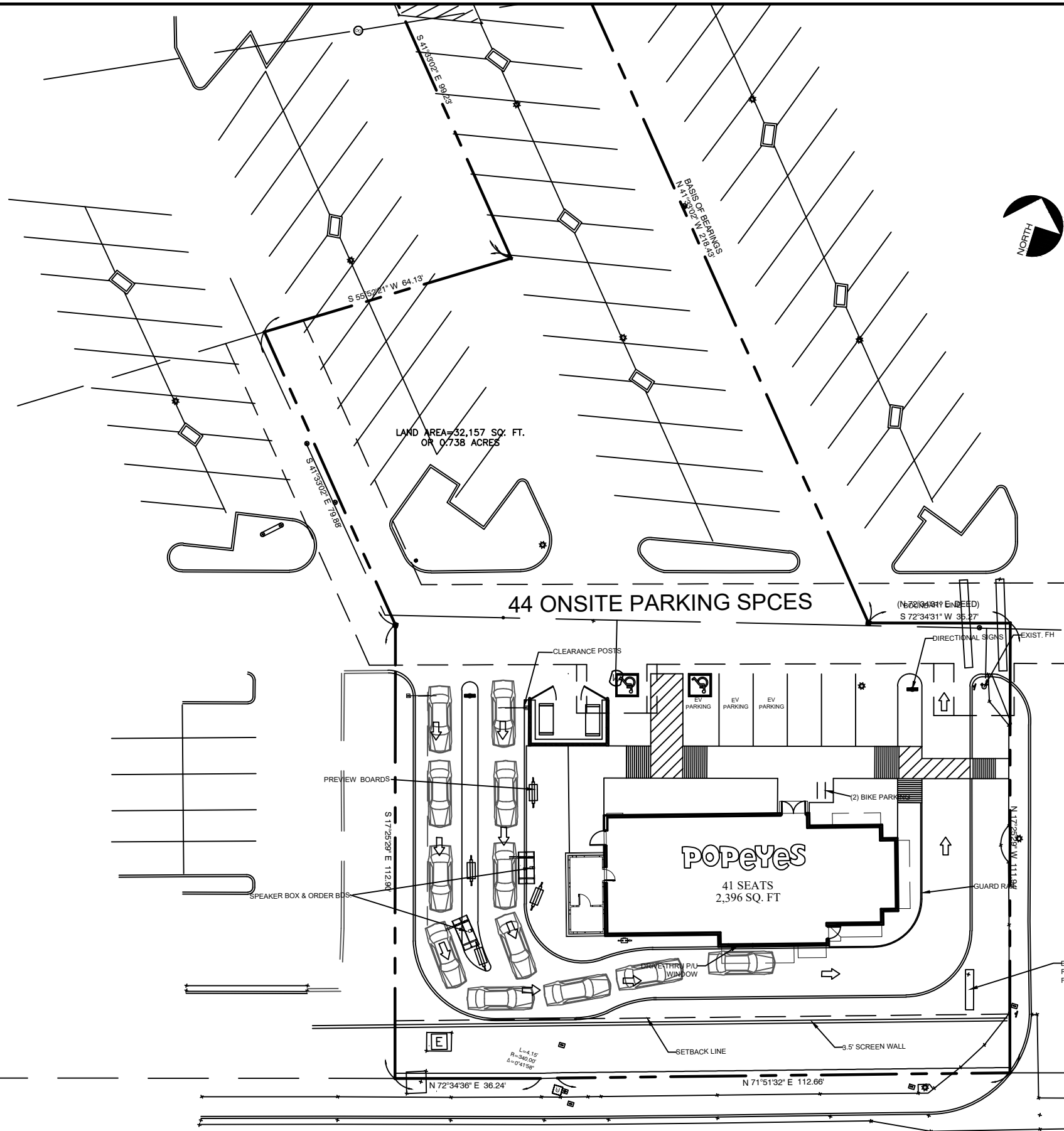
Do not hesitate to contact me if there are any questions or concerns.

Thank you,

Othoniel Bejarano  
Project Associate  
Food Service Concepts, Inc.  
1101-A W. Melinda Ln.  
Phoenix, AZ. 85027  
Phone: (623) 492-0077  
Email: obejarano@fscsz.net



**POPEYE'S - OCEANSIDE, CA  
PALM TREE PLAZA**



# SITE PLAN

SCALE: 1" = 30'-0"

DUMPSTER ENCLOSURE  
LOCATION #1

LAND AREA = 32,157 SQ. FT.  
OR 0.738 ACRES

44 ONSITE PARKING SPACES

POPEYES

41 SEATS  
2,396 SQ. FT.

CANNON ROAD

**GENERAL NOTE:**  
THIS PLAN IS THE PROPERTY OF FOOD SERVICE CONCEPTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF FOOD SERVICE CONCEPTS, INC. FROM THIS DRAWING, NO PART SHALL BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF FOOD SERVICE CONCEPTS, INC.

**REVISIONS**

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

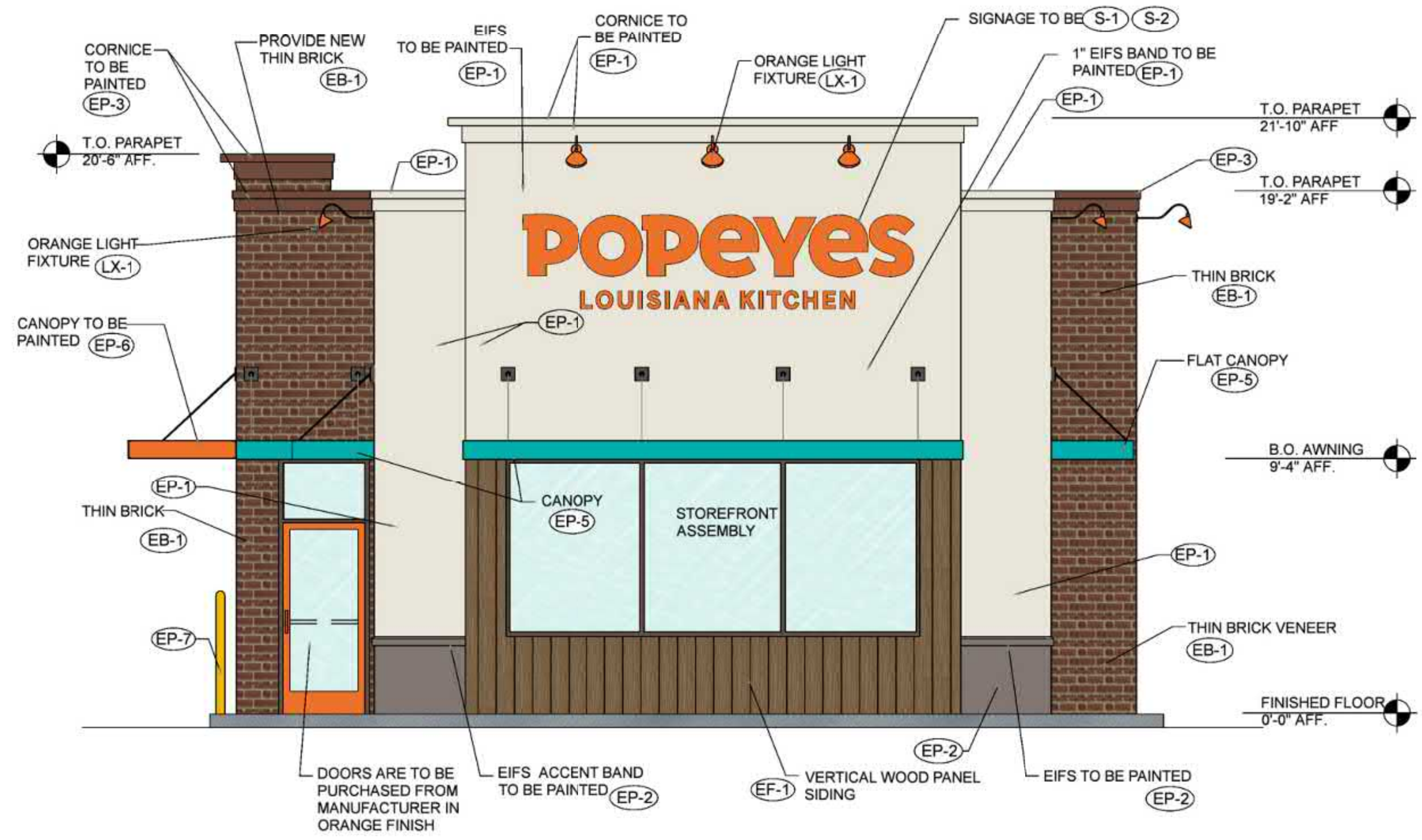
DATE: 07/30/21  
DRAWN: O.B.  
CHECKED BY: K.K.

(602) 962-8077  
FAX: (602) 962-8840  
**FOOD SERVICE CONCEPTS INC.**  
1101-A WEST MELINDA  
PHOENIX, ARIZONA 85027

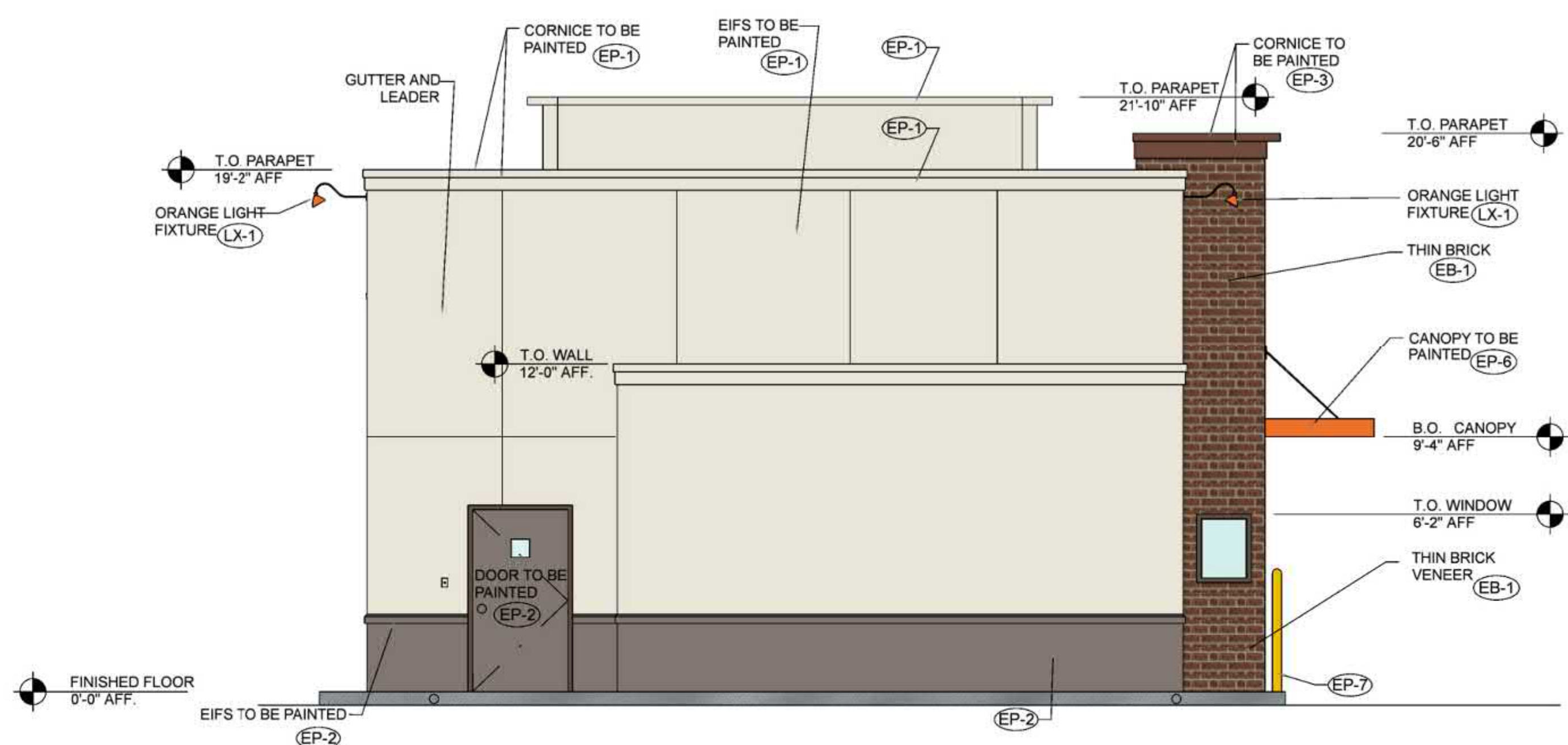
**Popeyes**  
OCEANSIDE, CA 92056  
CANNON RD. - PALM TREE PLAZA

SITE PLAN

SP-1



**EAST ELEVATION**



**WEST ELEVATION**

EIFS EXTERIOR FINISH NOTES	
COLORS	
EP-1	WHISPER GRAY
EP-2	PALOMINO
EP-3	ROOTBEER CANDY
EP-4	JET
EP-5	POPEYES TEAL
EP-6	POPEYES ORANGE
EP-7	SAFETY YELLOW
ALL PAINT COLORS TO BE DUNN-EDWARDS	
EF-1	VINTAGE WOOD AWP 3030
EB-1	VINTAGE BRICK / THIN BRICK

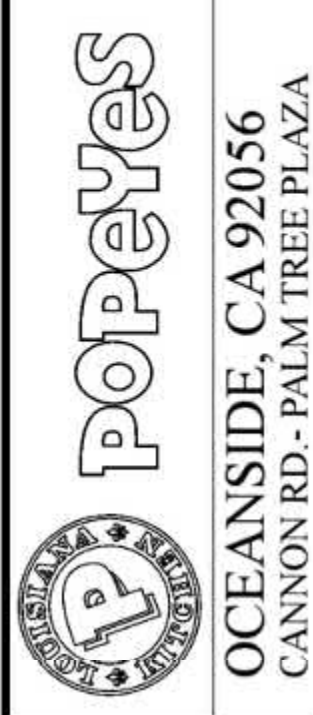
SCALE: 24x36 - 1/4" = 1'-0"  
12x18 - 1/8" = 1'-0"

**GENERAL NOTES**  
THIS PLAN IS THE PROPERTY OF FOOD SERVICE CONCEPTS, INC. AND ANY USE OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF F.S.C. IS PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR ASSURING THAT ALL PERMITS AND REGULATIONS ARE MET. THIS DRAWING IS FOR INFORMATION ONLY AND IS NOT A CONTRACT. NOT SCALE DRAWINGS.

REVISIONS	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

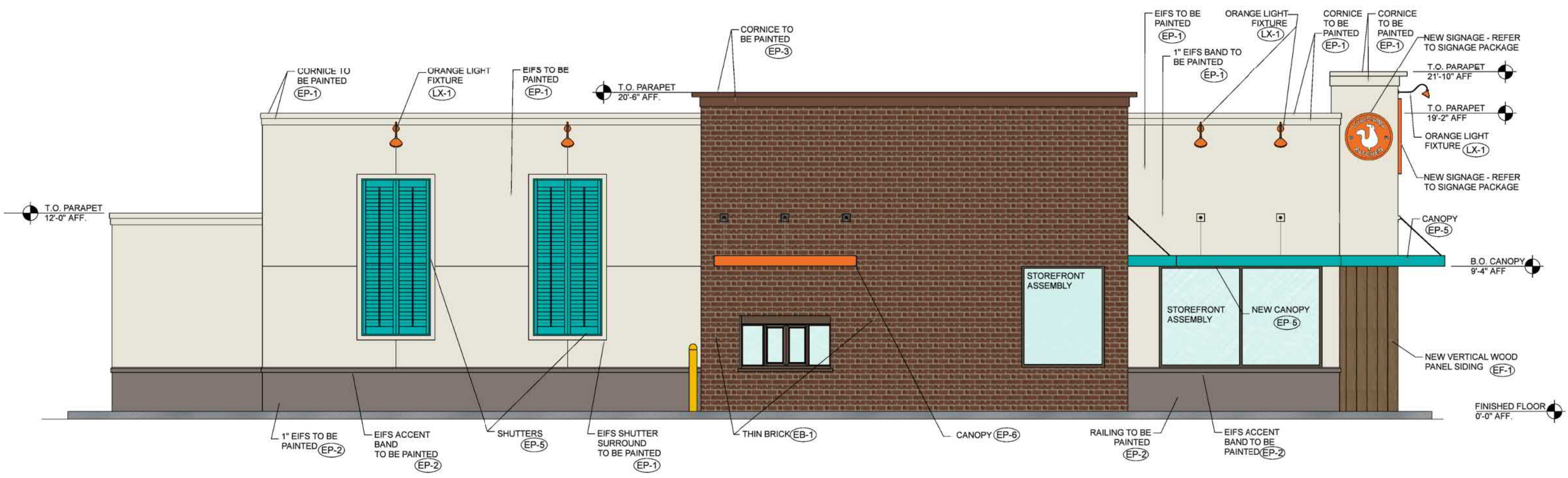
DATE: 02/12/21  
DRAWN: O.B.  
CHECKED BY: K.K.

(631) 952-8077  
FAX: (631) 952-8040  
**FOOD SERVICE CONCEPTS, INC.**  
1101-A WEST MEINDLAND LANE  
PHOENIX, ARIZONA 85027

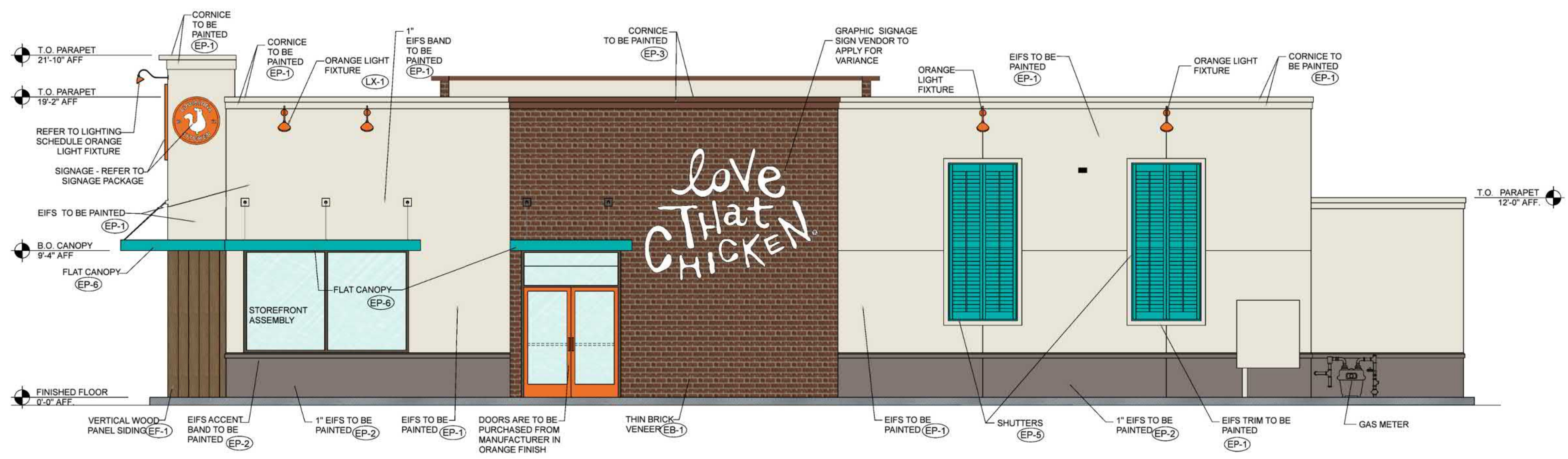


EXTERIOR ELEVATIONS

A2.1



**SOUTH ELEVATION**



**NORTH ELEVATION**

**EIFS EXTERIOR FINISH NOTES**

COLORS	
EP-1	WHISPER GRAY
EP-2	PALOMINO
EP-3	ROOTBEER CANDY
EP-4	JET
EP-5	POPEYES TEAL
EP-6	POPEYES ORANGE
ALL PAINT COLORS TO BE DUNN-EDWARDS	
EF-1	VINTAGE WOOD AWP 3030
EB-1	VINTAGE BRICK / THIN BRICK

SCALE: 24x36 - 1/4" = 1'-0"  
12x18 - 1/8" = 1'-0"

COPYRIGHT © 2021 FOOD SERVICE CONCEPTS, INC.

**GENERAL NOTES**  
THIS PLAN IS THE PROPERTY OF FOOD SERVICE CONCEPTS, INC. AND ANY USE OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF F.S.C. IS PROHIBITED. F.S.C. ACCEPTS NO RESPONSIBILITY FOR ASSUMED OR IMPLIED WARRANTIES OR DAMAGES OF ANY KIND. THIS DRAWING IS NOT A SCALE DRAWING.

**REVISIONS**

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

DATE: 02/12/21  
DRAWN: O.B.  
CHECKED BY: K.K.

(651) 992-8077  
FAX: (651) 992-8080  
**FOOD SERVICE CONCEPTS, INC.**  
101-A WEST MELINDA LANE  
PHOENIX, ARIZONA 85027

**POPEYES**  
OCEANSIDE, CA 92056  
CANNON RD. - PALM TREE PLAZA

EXTERIOR ELEVATIONS

A2.2

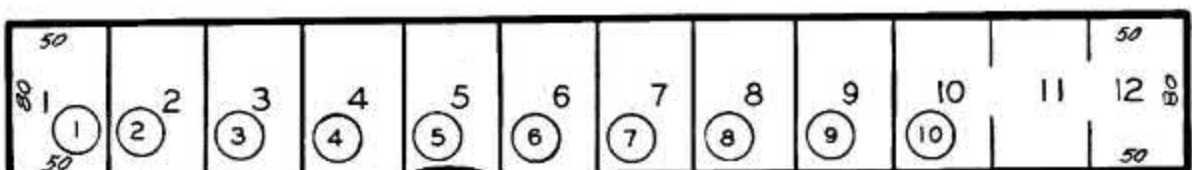


152.01

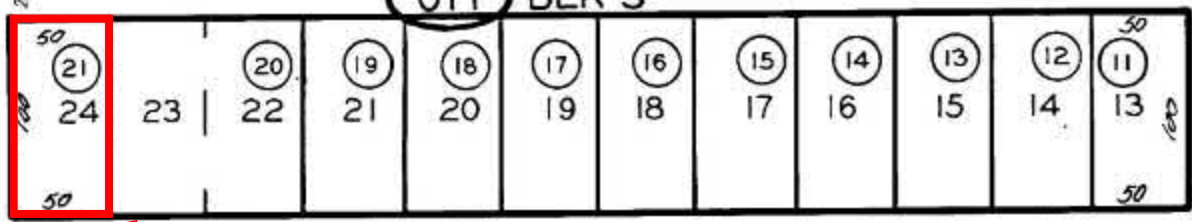
STANLEY ST.

2

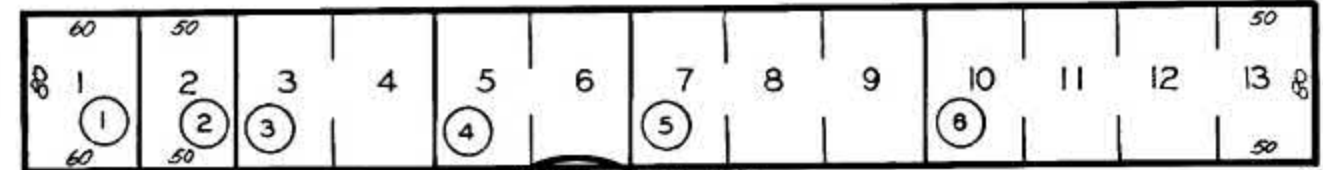
80 S COAST (HILL (HWY 101) ST.) HWY 80



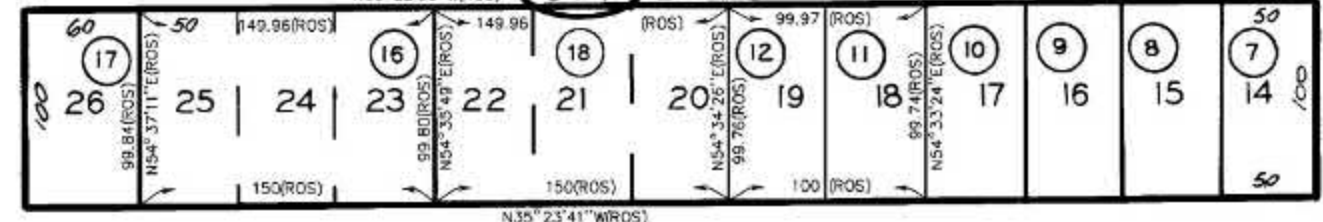
011 BLK 3



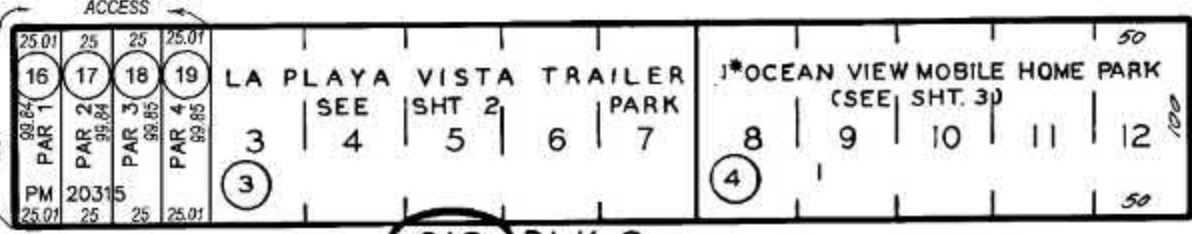
PROJECT SITE



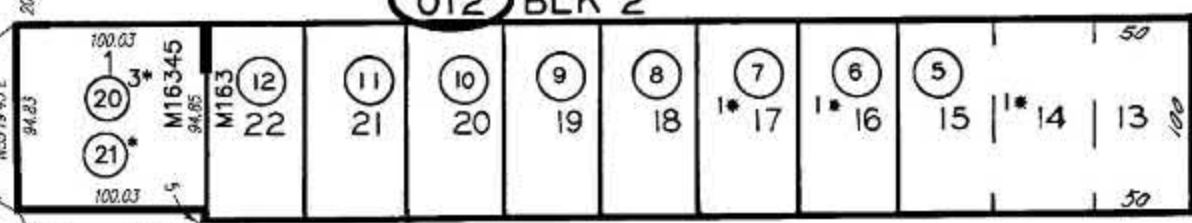
014 BLK 3



ST



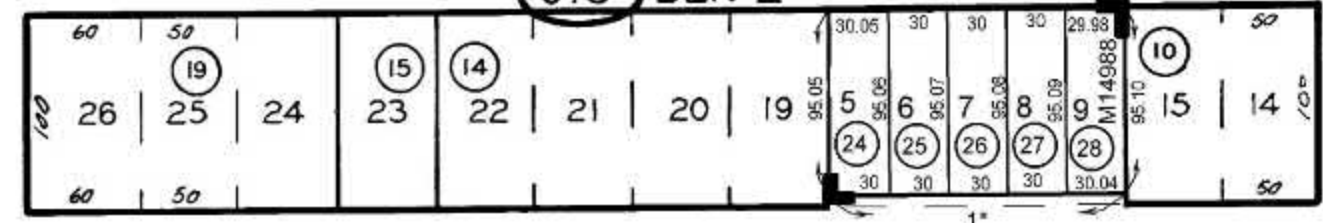
012 BLK 2



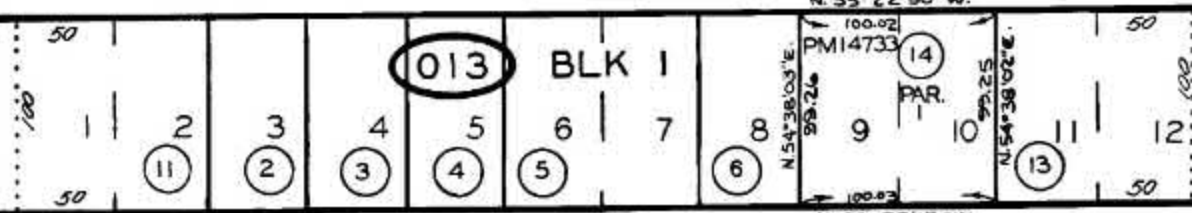
CLEVELAND (BROADWAY)



015 BLK 2



ST.



013 BLK 1



016

150 35

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

09/09/20 CS

CHANGES	BLK	OLD	NEW	VR	CUT
	013	12	13	69	5961
	012	12	15	70	2805
	016	75	12	76	2657
	015	16-18	19	81	3233
	013	74B	14	88	1311
	014	13-15	18	01	1702
	015	6,7,11-13	20-28	06	45
	012	15	16-19	08	168
	016	06,12 & 14	13	18	2
	016	13	13	3005	514
	012	13 & 14	20	20	23
	012	20	20	5015 & 21	524

\* COMMON AREA  
 1\* NO ACCESS  
 2\* CONDO  
 1125 S. CLEVELAND STREET TOWNHOMES  
 DOC17-0468206 (SEE SHT 3)  
 3\* CONDO  
 307 WEST STREET TOWNHOMES  
 DOC20-0062541 (SEE SHT 3)

MAP 16345-307 WEST STREET TOWNHOMES  
 MAP 16170-1125 S CLEVELAND STREET TOWNHOMES  
 MAP 14988-TM T-1-03  
 MAP 917 - ENLOE'S ADD  
 MAP 163 - JARVIS ADD  
 ROS 14026,15021,16910

BLVD

(SHORT ST.)

OCEANSIDE

17

7



# Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division  
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

## General Information

Project/Property Address:

Assessor's Parcel Number:

Lot Area (acres or SF):

Existing Use:

Brief Description of Proposal:

## Property Owner & Applicant Information

Owner Name:

Phone Number & E-Mail Address:

Applicant Name:

Phone Number & E-Mail Address:

### **To be completed if the Applicant is not the Property Owner:**

I authorize the applicant indicated above to submit the application on my behalf: \_\_\_\_\_

Signature of Property Owner  
(or attach a Letter of Authorization)

### **Requested Meeting Date/Time (please provide 2 options)** - reference the Developer's Conference calendar for dates

1<sup>st</sup> choice date:                      Time preference:      9:30 am      10:30 am      either

2<sup>nd</sup> choice date:                      Time preference:      9:30 am      10:30 am      either

### **Requested Divisions to Attend (Planning attends all meetings)**

Building    Fire    Water    Engineering    Transportation    Solid Waste    Other

### **Email the following documents in PDF to Sergio Madera, smadera@oceansideca.org**

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

To be completed by City staff:

Assigned meeting date:

Time:

Assigned Project Planner:

# POWERBUILT CONSTRUCTION INC.

623 Orchard Ave Santa Barbara, CA 93108

858-243-9413 License #1003309

## Construction Scope

Re.

1002 South Tremont  
Oceanside, CA

Desire is to create a new architecturally pleasing structure that will provide new housing and a light traffic commercial space used by the residence

Extent of construction includes

demolish existing single story residence  
construct a new 3 unit 3 story building with a lower area for commercial space  
New 4 car garage

unit one 2 bedroom , 1 bath  
unit two 3 bedroom / 2 bath  
unit three 2 bedroom / 1 bath  
unit four 4 bedroom / 3 bath

Thank you

Ron Rogers

# SOUTH TREMONT APARTMENTS

1002 SOUTH TREMONT STREET  
OCEANSIDE, CALIFORNIA 92054

## APPLICABLE CODE

2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA RESIDENTIAL CODE  
2019 CALIFORNIA GREEN BUILDING CODE  
2019 CALIFORNIA ENERGY CODE  
2019 CALIFORNIA FIRE CODE  
2019 CALIFORNIA MECHANICAL CODE  
2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA PLUMBING CODE  
AMERICANS WITH DISABILITIES ACT  
CITY OF OCEANSIDE MUNICIPAL CODE

## T-24 REQUIRED SPECIAL FEATURES

## DEFERRED SUBMITTALS

- FIRE SPRINKLERS

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

## SPECIAL INSPECTIONS

- NONE

## PROJECT DIRECTORY

OWNER:  
  
DESIGNER: OSCAR ZAZUETA  
OZ DESIGN LAB  
1717 5TH AVENUE  
SAN DIEGO, CA 92101  
619.302.3857  
  
STRUCTURAL ENGINEER: TAHAZY RAMIREZ  
TRE ENGINEERING  
1706 CALLE PLATICO  
OCEANSIDE, CA 92056  
760.535.9752

## PROJECT DATA

ADDRESS 1002 SOUTH TREMONT STREET  
OCEANSIDE, CA 92054  
  
ASSESSORS NO. 152-011-21-00  
  
LEGAL DESCRIPTION BLK 3, LOT 24, MAP 163 JARVIS ADDITION  
  
YEAR BUILT 1979  
  
ZONE C2 COMMERCIAL, (COASTAL)  
  
LOT AREA 5,000 SF  
  
CONSTRUCTION TYPE V-B, FULLY SPRINKLERED  
  
OCCUPANCIES R-2 / S-2

## SCOPE OF WORK

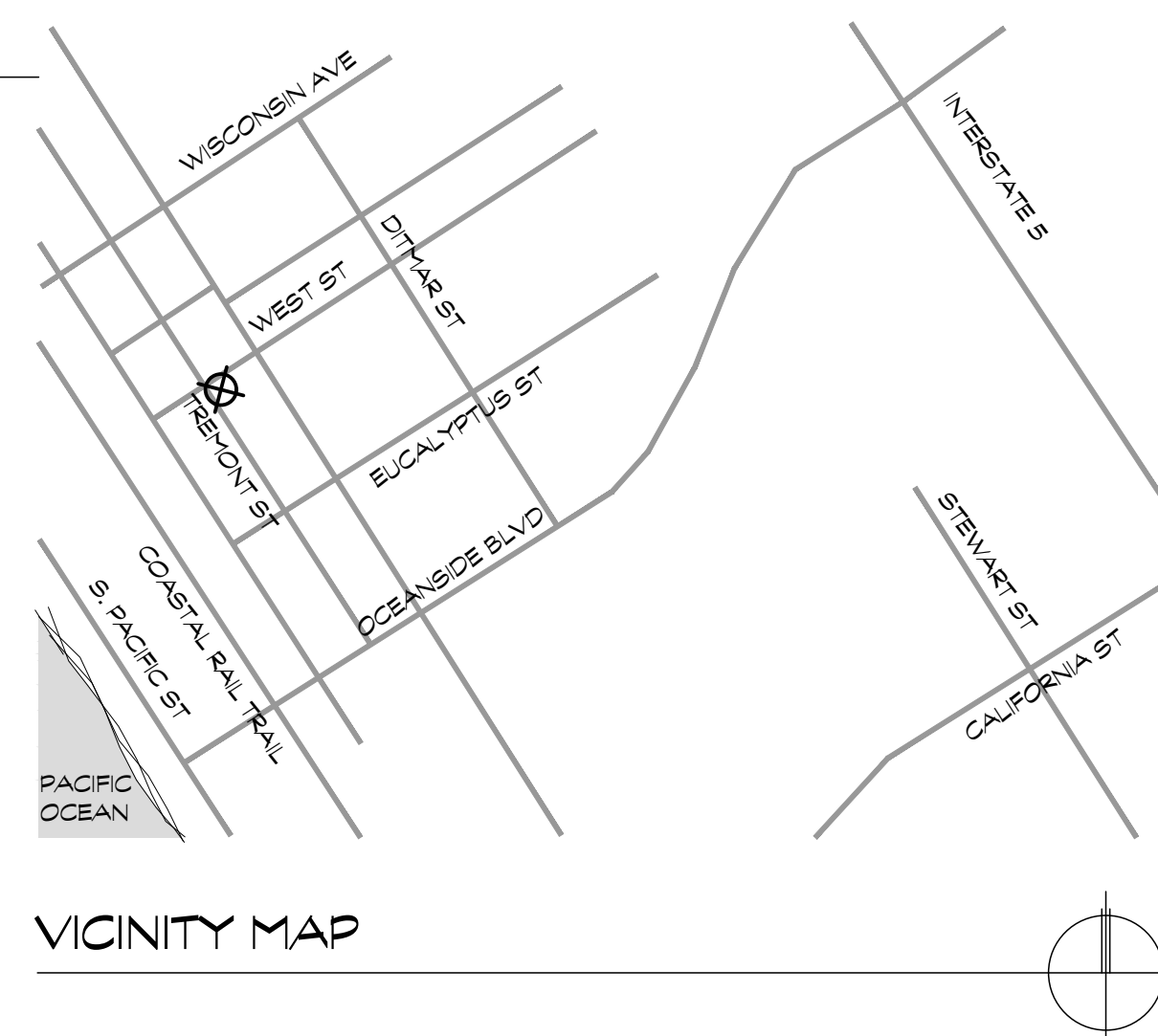
REMOVE EXISTING ONE STORY SINGLE FAMILY DWELLING  
  
BUILD NEW 3 STORY APARTMENT BUILDING COMPRISED OF GROUND FLOOR COMMERCIAL SPACE, 4 RESIDENTIAL UNITS, 1 UNIT AT GRADE, 3 ABOVE AND PRIVATE ROOF DECKS, AND 4 CAR GARAGE  
  
UNIT 1 ( ACCESSIBLE AT GRADE)  
2 BEDROOM / 1 BATH W/KITCHEN AND LIVING AREA  
  
UNIT 2  
3 BEDROOM / 2 BATH W/KITCHEN AND LIVING AREA AND DECK  
  
UNIT 3  
2 BEDROOM / 1 BATH W/KITCHEN AND LIVING AREA AND DECK  
  
UNIT 4  
4 BEDROOM / 3.5 BATHS W/KITCHEN AND LIVING AREA AND 2 DECKS  
  
ALL UNITS HAVE A PRIVATE ROOF DECK AREA

## SHEET INDEX

ARCHITECTURAL	
T-1	TITLE SHEET
T-2	ACCESSIBILITY NOTES
T-3	ACCESSIBILITY NOTES
T-4	GENERAL NOTES / CAL GREEN NOTES
T-5	WALL ASSEMBLY AND FLOOR ASSEMBLY SPECIFICATIONS
A-1	SITE PLAN
A-2	EGRESS PLAN
A-3	FIRST FLOOR PLAN
A-4	SECOND FLOOR PLAN
A-5	THIRD FLOOR PLAN
A-6	ROOF DECK PLAN
A-7	ROOF PLAN
A-8	BUILDING ELEVATIONS
A-9	BUILDING ELEVATIONS
A-10	BUILDING ELEVATIONS
A-11	CROSS SECTIONS
A-12	CROSS SECTIONS
A-13	CROSS SECTIONS
A-14	CROSS SECTIONS
A-15	DOOR / WINDOW SCHEDULES
STRUCTURAL	
S1.0	STRUCTURAL NOTES & SCHEDULES
S1.1	TYPICAL DETAILS & SCHEDULES
S1.2	TYPICAL DETAILS & SCHEDULES
S2.0	FOUNDATION PLAN
S2.1	SECOND FLOOR FRAMING PLAN
S2.2	THIRD FLOOR FRAMING PLAN
S2.3	ROOF FRAMING PLAN
S3.0	DETAILS
S3.1	DETAILS
S3.2	DETAILS
S3.3	DETAILS

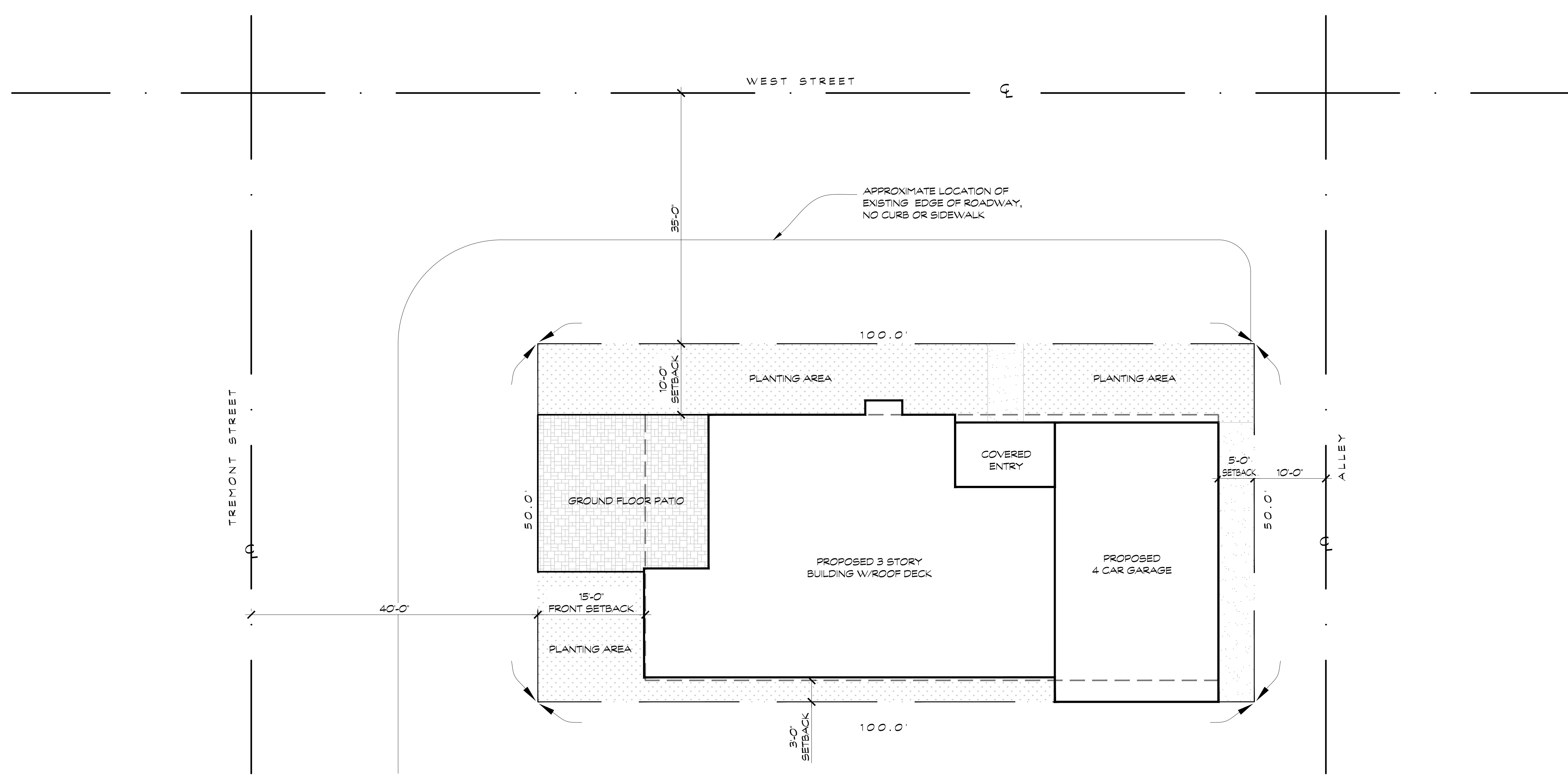
## BUILDING AREAS

	FLOOR 1	FLOOR 2	FLOOR 3	FLOOR 4
GARAGE	876 SF	-	-	-
UNIT 1	756 SF	-	-	-
UNIT 2	-	1,449 SF	-	-
UNIT 3	-	755 SF	-	-
UNIT 4	-	-	2,287 SF	-
UNIT 1 DECK	-	-	-	286 SF
UNIT 2 DECK	-	193 SF	-	470 SF
UNIT 3 DECK	-	156 SF	-	171 SF
UNIT 4 DECK	-	-	402 SF	618 SF
GROUND FLOOR COMMERCIAL	640	-	-	-
COMMON AREA	375 SF	375 SF	292 SF	660 SF



VICINITY MAP

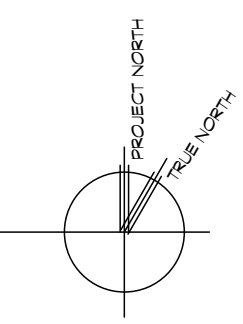
ISSUE DATES	
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR



APPROXIMATE LOCATION OF EXISTING EDGE OF ROADWAY, NO CURB OR SIDEWALK

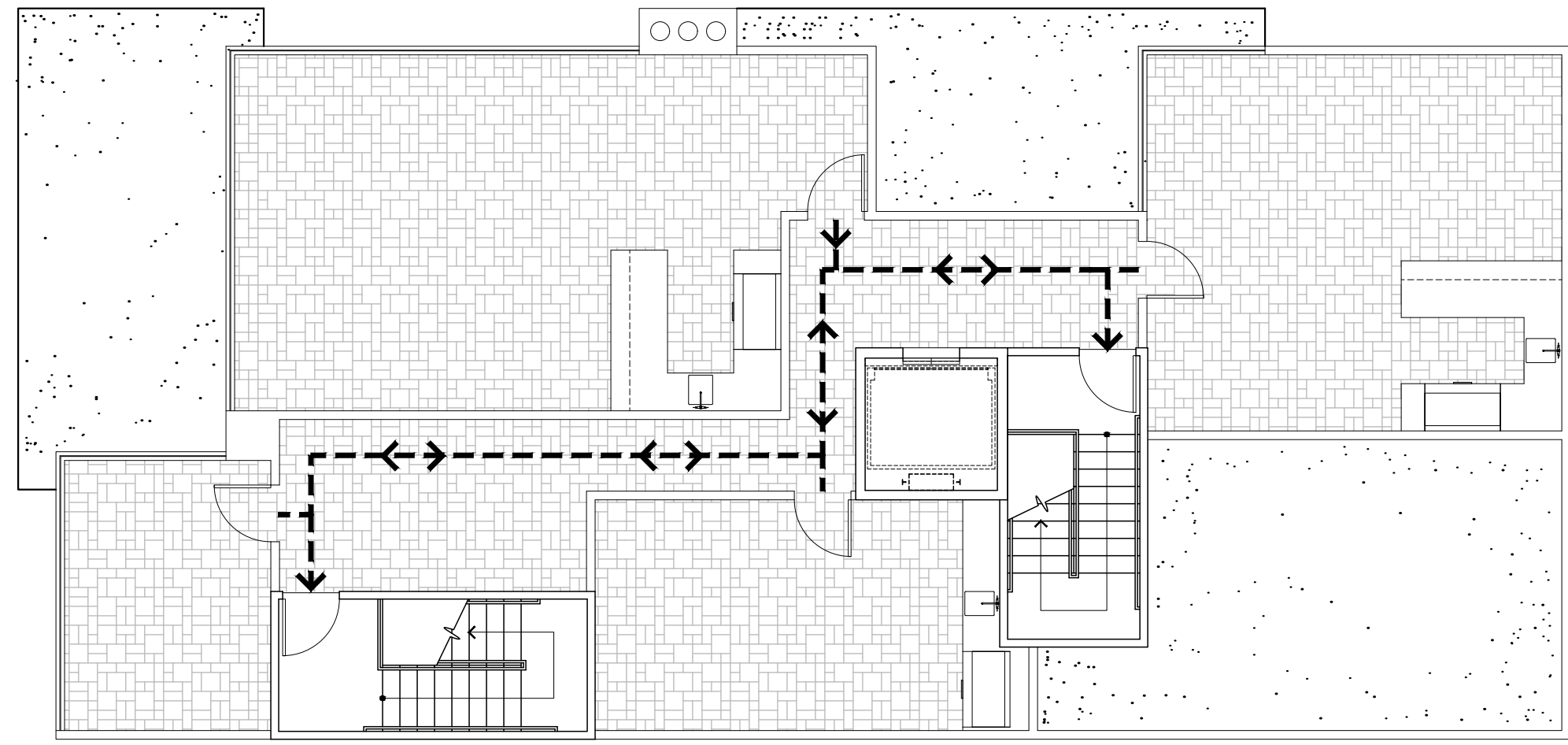
**SITE PLAN**

1/8" = 1'-0"



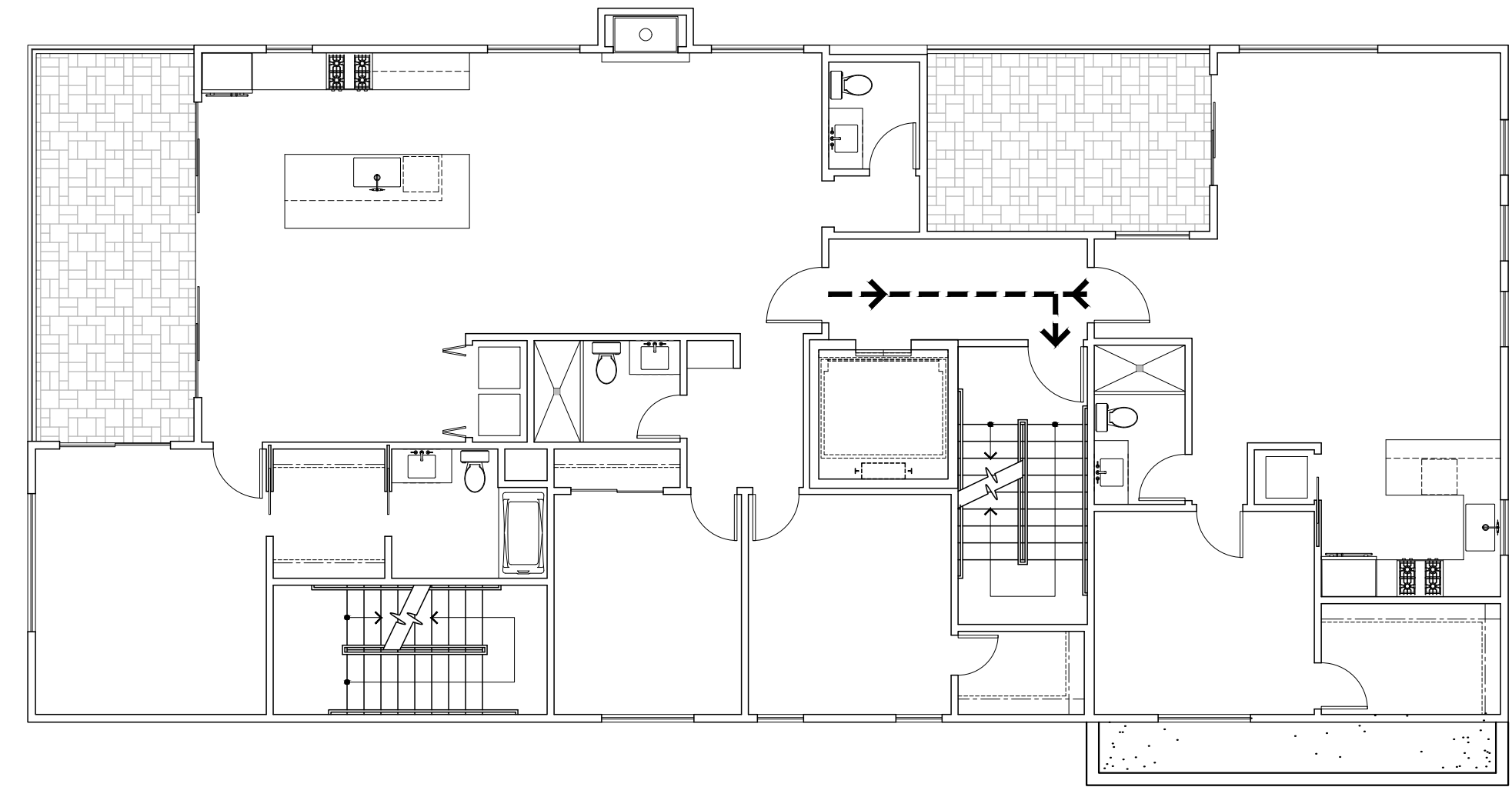
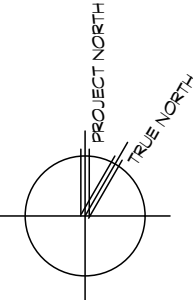
**SOUTH TREMONT APARTMENTS**  
 1002 SOUTH TREMONT STREET  
 OCEANSIDE, CALIFORNIA 92054

ISSUE DATES	
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR



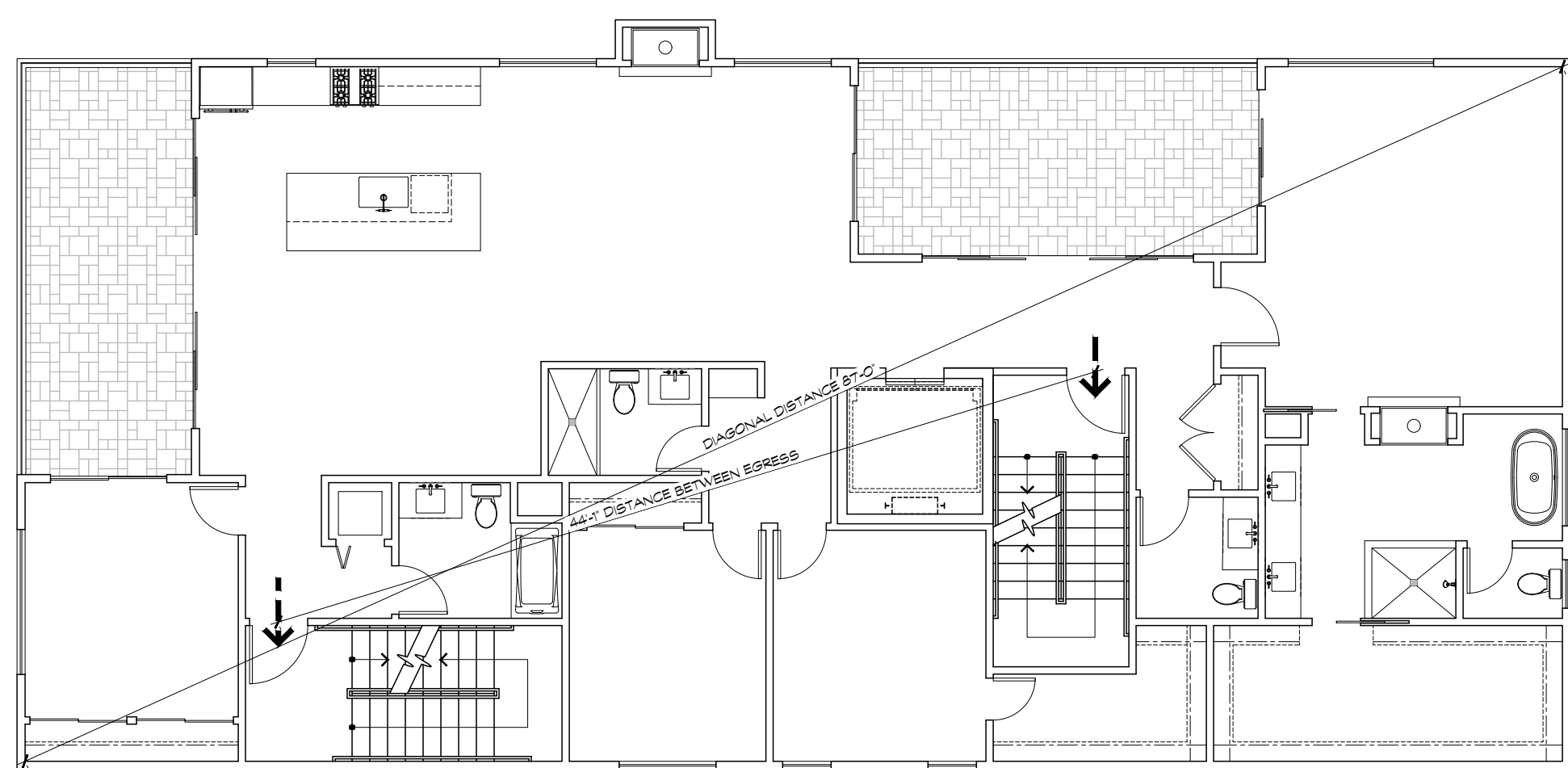
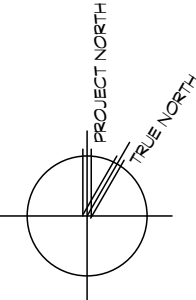
ROOF DECK MEANS OF EGRESS

1/8" = 1'-0"



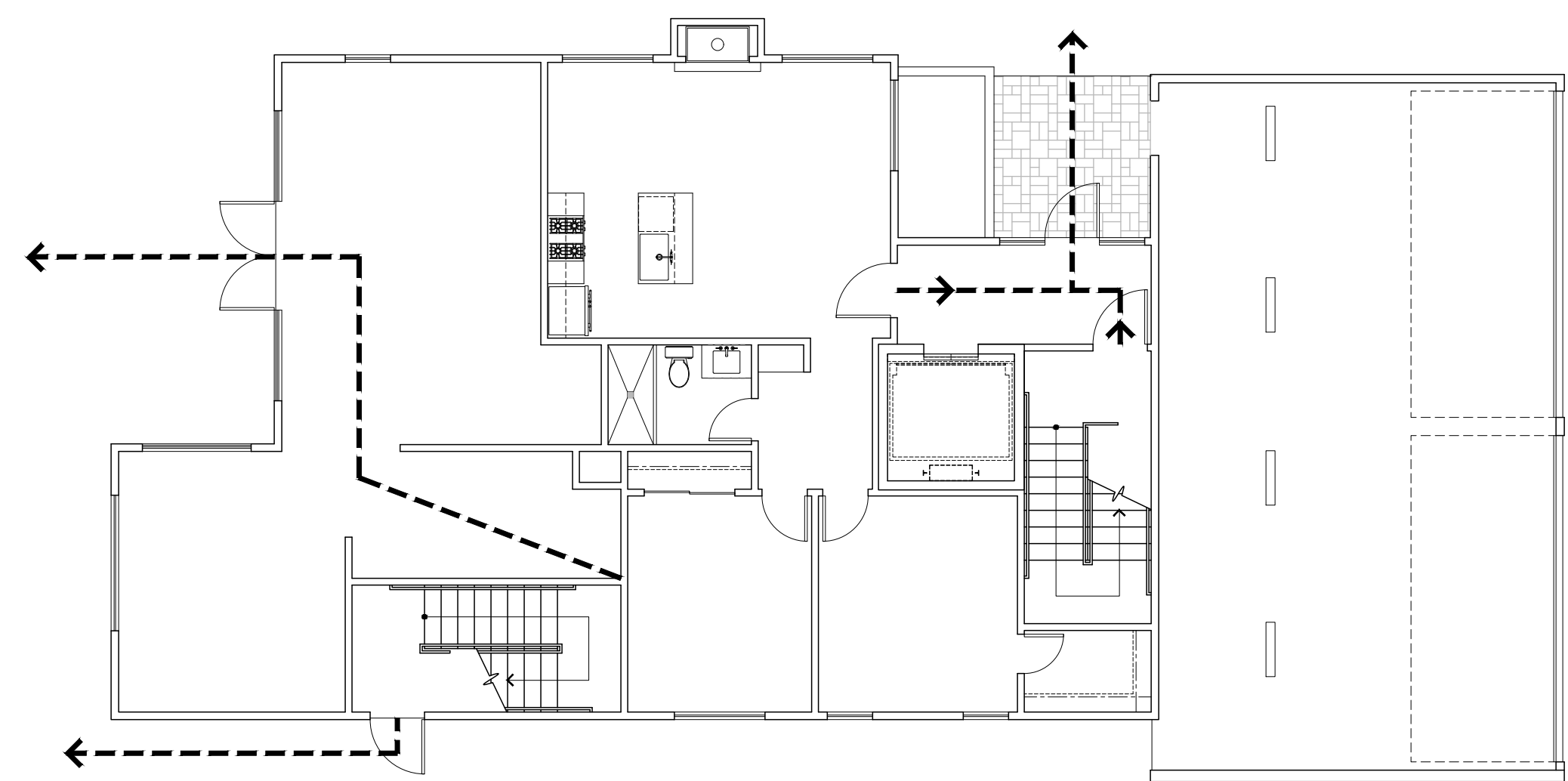
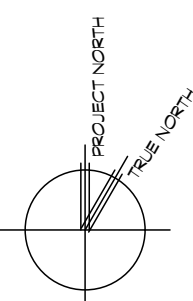
SECOND FLOOR MEANS OF EGRESS

1/8" = 1'-0"



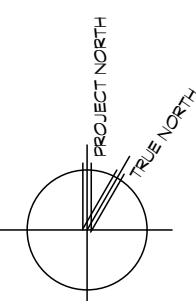
THIRD FLOOR MEANS OF EGRESS

1/8" = 1'-0"



FIRST FLOOR MEANS OF EGRESS

1/8" = 1'-0"



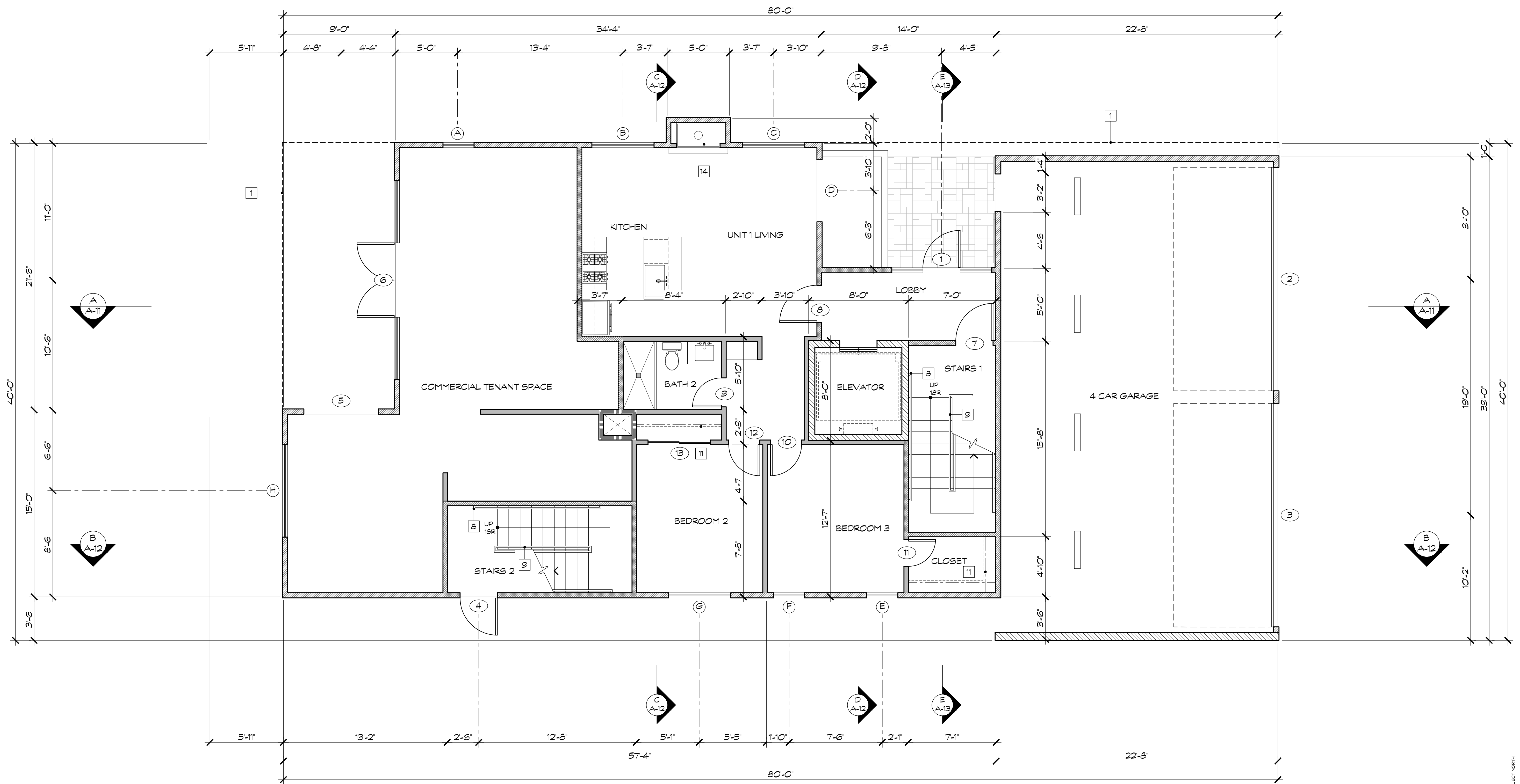
**SOUTH TREMONT APARTMENTS**  
**1002 SOUTH TREMONT STREET**  
**OCEANSIDE, CALIFORNIA 92054**



**OZ DESIGN LAB**  
 DESIGN DRAFTING CONSULTING PROJECT MANAGEMENT  
 1717 FIFTH AVENUE SAN DIEGO CALIFORNIA 92101  
 619.302.3857 oscar@ozdesignlab.com

ISSUE DATES	
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR

MEANS OF EGRESS PLANS



PROPOSED FIRST FLOOR PLAN

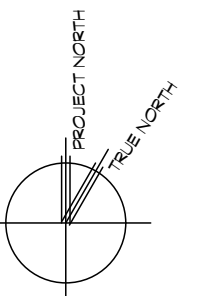
1/4" = 1'-0"

WALL LEGEND

- 2 x 4 EXTERIOR WALL C / T-5
- 2 x 4 INTERIOR WALL A / T-5
- STAGGERED 2 x 4 PARTY WALL W/ 2 x 6 PLATES
- SHAFT WALL
- 6" CMU WALL
- 2 x 4 WALL 1 HOUR PER
- 3-6" HT 2 x 4 FRAMED GUARD
- 3-6" HT GLASS GUARD ABOVE 2 x 4 FRAMED PONY WALL

FLOOR PLAN KEY NOTES

- 1 PROJECTION OF FLOOR ABOVE
- 2 DOUBLE SINK W/ GARBAGE DISPOSAL
- 3 DISHWASHER
- 4 REFRIGERATOR
- 5 30" RANGE W/ MICROWAVE HOOD EXHAUST
- 6 15" BREADBOARD TYP. OF TWO
- 7 30" X 48" CLEAR ACCESSIBLE SPACE
- 8 3'-0" HT, 1 1/2" Ø METAL HANDRAIL W/ BOTH ENDS RETURNED TO WALL
- 9 3'-6" HT, METAL GUARD OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" Ø SPHERE
- 10 32" TUB / SHOWER TYP.
- 11 SHELF AND POLE
- 12 2'-0" HT 1/2" TEMPERED GLASS GUARD ABOVE 1-6" HT WOOD FRAMED PONY WALL W/ CEMENT PLASTER FINISH ON ALL SIDES, 3-6" TOTAL HT MIN, NO OPENINGS
- 13 THIN SET TILE OVER 'POLYCOAT-AQUATIGHT' UNDERLAYMENT ICC ESR-2785, INSTALL PER MANUFACTURER SPECIFICATIONS SLOPE TO DRAIN 1/4" X FT MAX
- 14 PRE-MANUFACTURED GAS FIREPLACE PER MEP PLANS
- 15 3'-6" HT WOOD FRAMED GUARD W/ CEMENT PLASTER FINISH ON ALL SIDES, NO OPENINGS
- 16 BUILT IN BBQ W/ EXTERIOR CABINETRY AND SINK

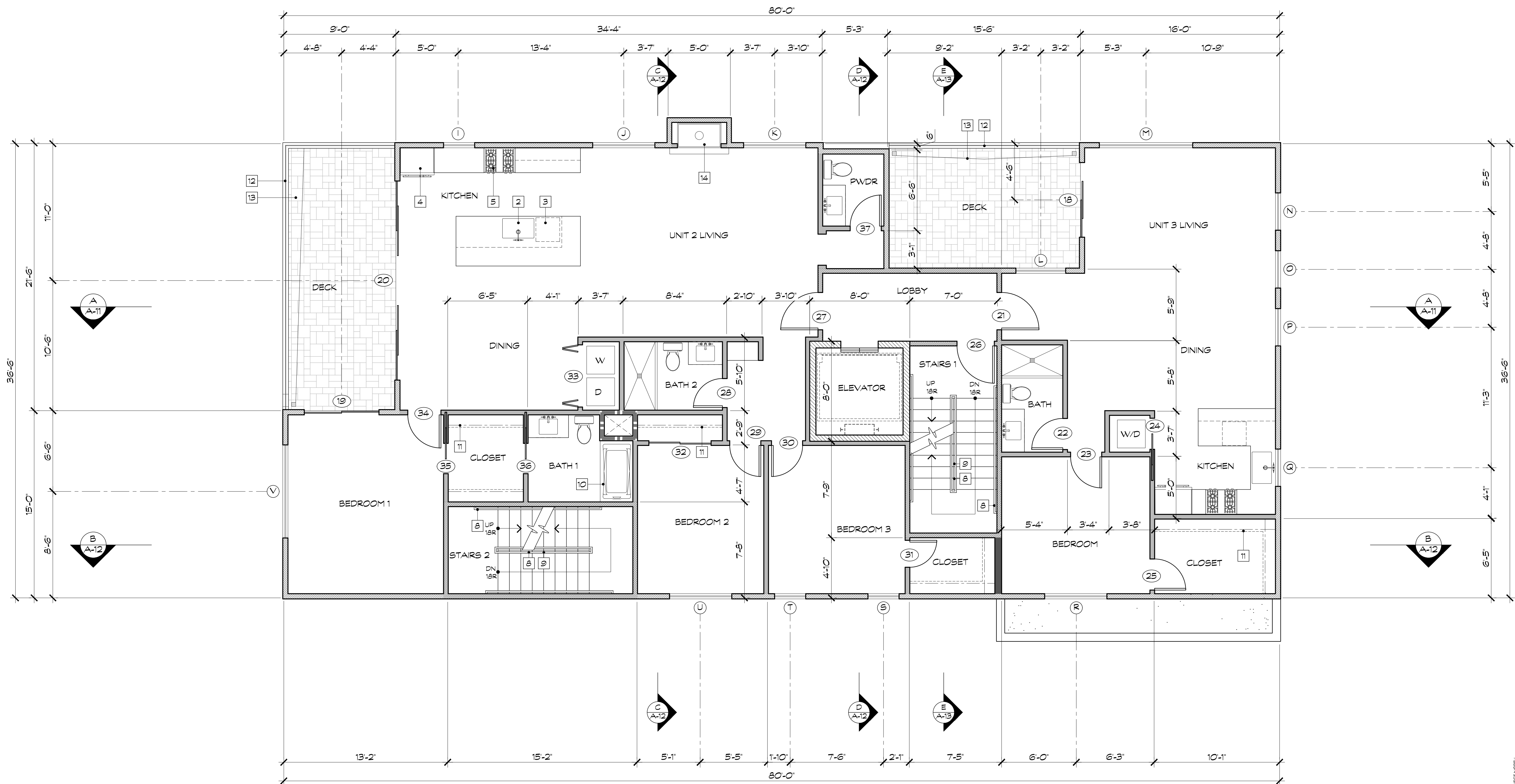


**OZ DESIGN LAB**  
 DESIGN DRAFTING CONSULTING PROJECT MANAGEMENT  
 1717 FIFTH AVENUE SAN DIEGO CALIFORNIA 92101  
 619.302.3857 oscar@ozdesignlab.com

**SOUTH TREMONT APARTMENTS**  
 1002 SOUTH TREMONT STREET  
 OCEANSIDE, CALIFORNIA 92054

ISSUE DATES	PROGRESS SET
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR

PROPOSED  
 FIRST FLOOR  
 PLAN



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

WALL LEGEND

	2 x 4 EXTERIOR WALL C / T-5
	2 x 4 INTERIOR WALL A / T-5
	STAGGERED 2 x 4 PARTY WALL W/ 2 x 6 PLATES
	SHAFT WALL
	6' CMU WALL
	2 x 4 WALL 1 HOUR PER
	3'-6" HT 2 x 4 FRAMED GUARD
	3'-6" HT GLASS GUARD ABOVE 2 x 4 FRAMED PONY WALL

FLOOR PLAN KEY NOTES

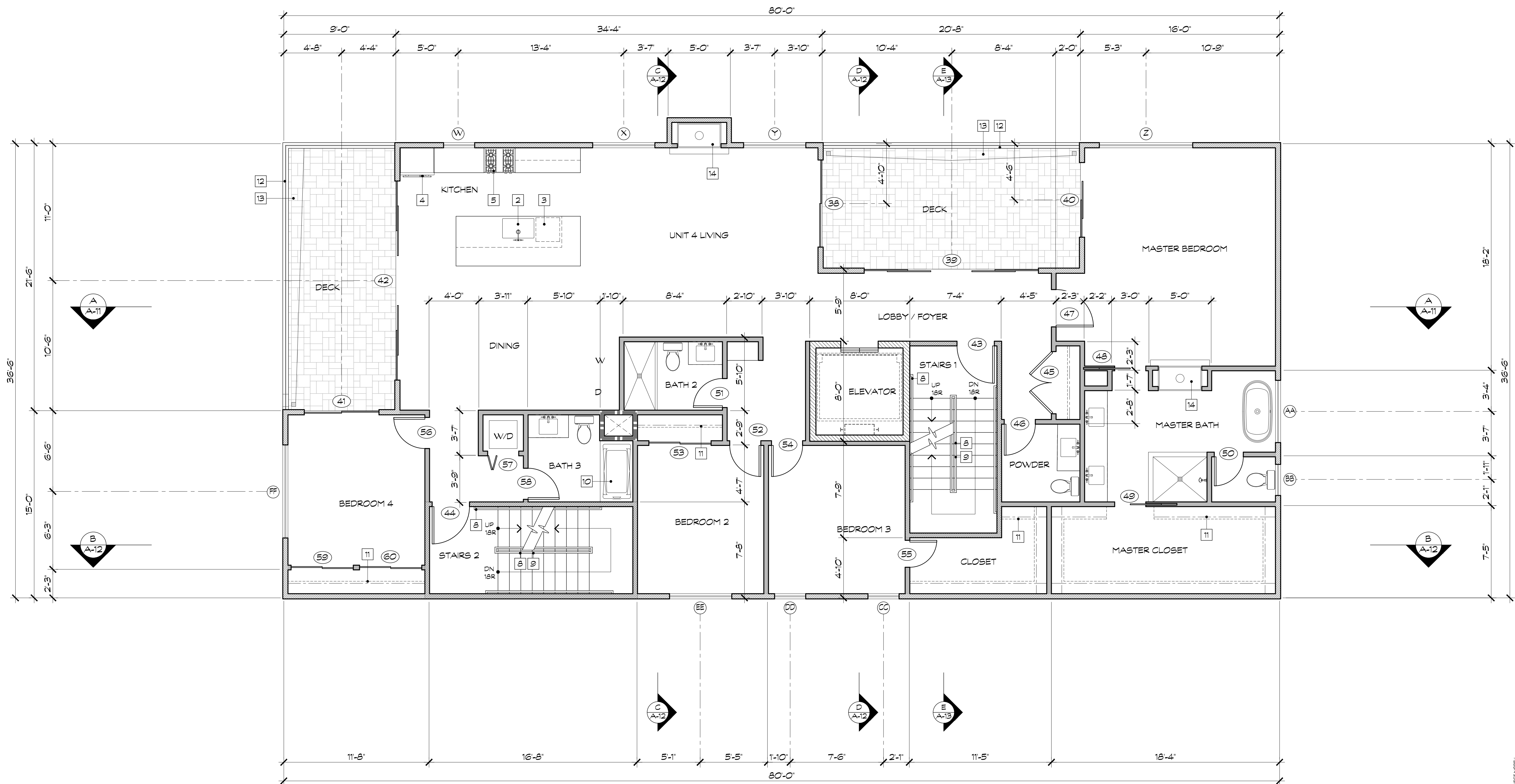
- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>1 PROJECTION OF FLOOR ABOVE</li> <li>2 DOUBLE SINK W/ GARBAGE DISPOSAL</li> <li>3 DISHWASHER</li> <li>4 REFRIGERATOR</li> <li>5 30" RANGE W/ MICROWAVE HOOD EXHAUST</li> <li>6 15" BREADBOARD TYP. OF TWO</li> <li>7 30" X 48" CLEAR ACCESSIBLE SPACE</li> <li>8 3'-0" HT, 1 1/2" Ø METAL HANDRAIL W/ BOTH ENDS RETURNED TO WALL</li> <li>9 3'-6" HT, METAL GUARD OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" Ø SPHERE</li> <li>10 32" TUB / SHOWER TYP.</li> <li>11 SHELF AND POLE</li> </ul> | <ul style="list-style-type: none"> <li>12 2'-0" HT 1/2" TEMPERED GLASS GUARD ABOVE 1'-6" HT WOOD FRAMED PONY WALL W/CEMENT PLASTER FINISH ON ALL SIDES, 3'-6" TOTAL HT MIN, NO OPENINGS</li> <li>13 THIN SET TILE OVER 'POLYCOAT-AQUATIGHT' UNDERLAYMENT ICC ESR-2785, INSTALL PER MANUFACTURER SPECIFICATIONS SLOPE TO DRAIN 1/4" x FT MAX</li> <li>14 PRE-MANUFACTURED GAS FIREPLACE PER MEP PLANS</li> <li>15 3'-6" HT WOOD FRAMED GUARD W/CEMENT PLASTER FINISH ON ALL SIDES, NO OPENINGS</li> <li>16 BUILT IN BBQ W/EXTERIOR CABINETRY AND SINK</li> </ul> |
|--|---|

**SOUTH TREMONT APARTMENTS**  
 1002 SOUTH TREMONT STREET  
 OCEANSIDE, CALIFORNIA 92054



DESIGN | DRAFTING | CONSULTING | PROJECT MANAGEMENT  
 1717 FIFTH AVENUE SAN DIEGO CALIFORNIA 92101  
 619.302.3857  
 oscar@ozdesignlab.com

PROPOSED  
 SECOND FLOOR  
 PLAN



PROPOSED THIRD FLOOR PLAN

1/4" = 1'-0"

WALL LEGEND

- 2 x 4 EXTERIOR WALL C / T-5
- 2 x 4 INTERIOR WALL A / T-5
- STAGGERED 2 x 4 PARTY WALL W/ 2 x 6 PLATES
- SHAFT WALL
- 6' CMU WALL
- 2 x 4 WALL 1 HOUR PER
- 3'-6" HT 2 x 4 FRAMED GUARD
- 3'-6" HT GLASS GUARD ABOVE 2 x 4 FRAMED PONY WALL

FLOOR PLAN KEY NOTES

- 1 PROJECTION OF FLOOR ABOVE
- 2 DOUBLE SINK W/ GARBAGE DISPOSAL
- 3 DISHWASHER
- 4 REFRIGERATOR
- 5 30" RANGE W/ MICROWAVE HOOD EXHAUST
- 6 15" BREADBOARD TYP. OF TWO
- 7 30" X 48" CLEAR ACCESSIBLE SPACE
- 8 3'-0" HT, 1 1/2" Ø METAL HANDRAIL W/ BOTH ENDS RETURNED TO WALL
- 9 3'-6" HT, METAL GUARD OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" Ø SPHERE
- 10 32" TUB / SHOWER TYP.
- 11 SHELF AND POLE
- 12 2'-0" HT 1/2" TEMPERED GLASS GUARD ABOVE 1'-6" HT WOOD FRAMED PONY WALL W/ CEMENT PLASTER FINISH ON ALL SIDES, 3'-6" TOTAL HT MIN, NO OPENINGS
- 13 THIN SET TILE OVER 'POLYCOAT-AQUATIGHT' UNDERLAYMENT ICC ESR-2785, INSTALL PER MANUFACTURER SPECIFICATIONS SLOPE TO DRAIN 1/4" x FT MAX
- 14 PRE-MANUFACTURED GAS FIREPLACE PER MEP PLANS
- 15 3'-6" HT WOOD FRAMED GUARD W/ CEMENT PLASTER FINISH ON ALL SIDES, NO OPENINGS
- 16 BUILT IN BBQ W/ EXTERIOR CABINETRY AND SINK

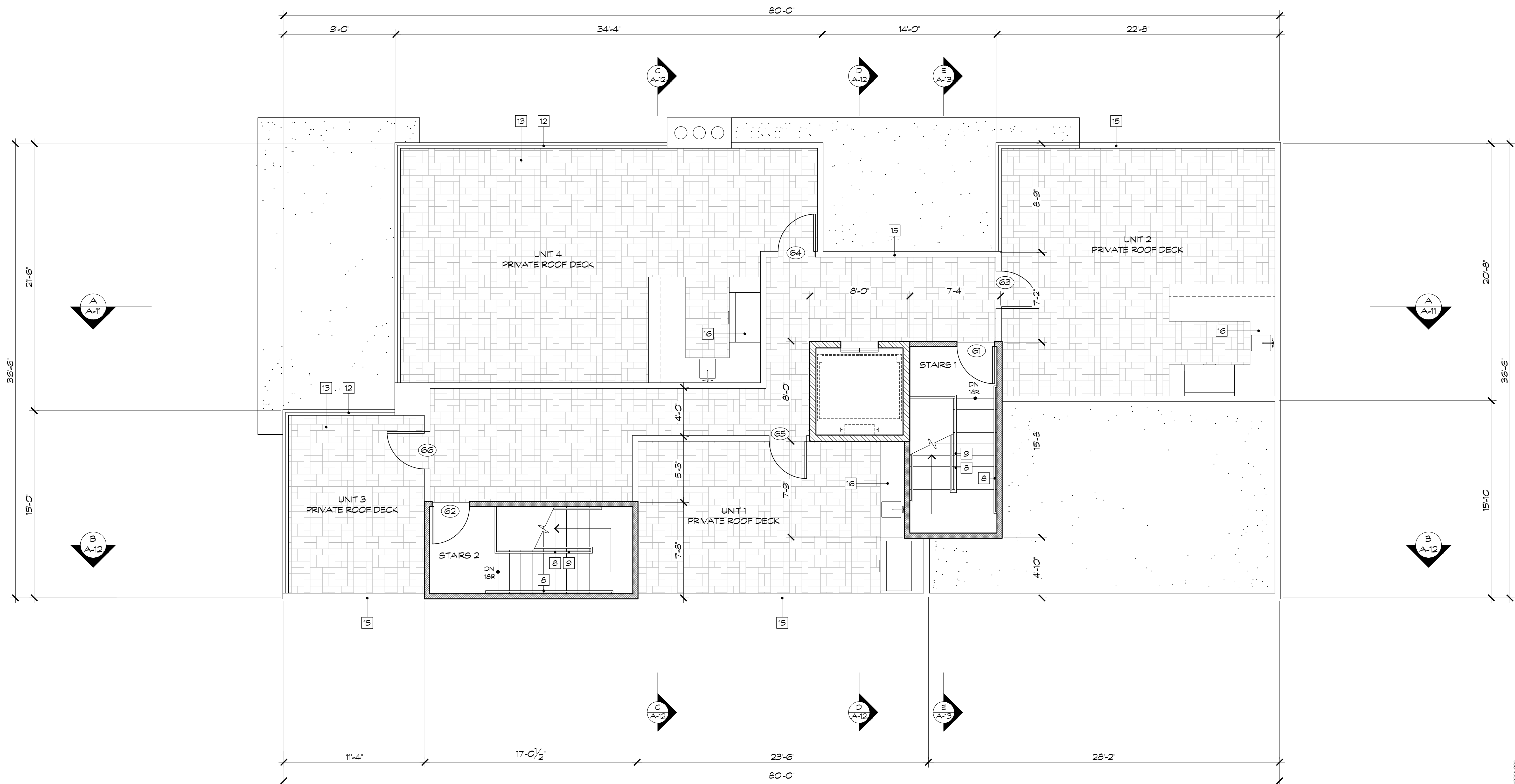
**SOUTH TREMONT APARTMENTS**  
 1002 SOUTH TREMONT STREET  
 OCEANSIDE, CALIFORNIA 92054



DESIGN DRAFTING CONSULTING PROJECT MANAGEMENT  
 1717 FIFTH AVENUE SAN DIEGO CALIFORNIA 92101  
 619.302.3857  
 oscar@ozdesignlab.com

ISSUE DATES	PROGRESS SET
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR

PROPOSED  
 THIRD FLOOR  
 PLAN



PROPOSED ROOF DECK PLAN

1/4" = 1'-0"

WALL LEGEND

- 2 x 4 EXTERIOR WALL C / T-5
- 2 x 4 INTERIOR WALL A / T-5
- STAGGERED 2 x 4 PARTY WALL W/ 2 x 6 PLATES
- SHAFT WALL
- 6' CMU WALL
- 2 x 4 WALL 1 HOUR PER
- 3'-6' HT 2 x 4 FRAMED GUARD
- 3'-6' HT GLASS GUARD ABOVE 2 x 4 FRAMED PONY WALL

FLOOR PLAN KEY NOTES

- 1 PROJECTION OF FLOOR ABOVE
- 2 DOUBLE SINK W/ GARBAGE DISPOSAL
- 3 DISHWASHER
- 4 REFRIGERATOR
- 5 30" RANGE W/ MICROWAVE HOOD EXHAUST
- 6 15" BREADBOARD TYP. OF TWO
- 7 30" X 48" CLEAR ACCESSIBLE SPACE
- 8 3'-0" HT, 1 1/2" Ø METAL HANDRAIL W/ BOTH ENDS RETURNED TO WALL
- 9 3'-6" HT, METAL GUARD OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" Ø SPHERE
- 10 32" TUB / SHOWER TYP.
- 11 SHELF AND POLE
- 12 2'-0" HT 1/2" TEMPERED GLASS GUARD ABOVE 1'-6" HT WOOD FRAMED PONY WALL W/ CEMENT PLASTER FINISH ON ALL SIDES, 3'-6" TOTAL HT MIN, NO OPENINGS
- 13 THIN SET TILE OVER 'POLYCOAT-AQUATIGHT' UNDERLAYMENT ICC ESR-2785, INSTALL PER MANUFACTURER SPECIFICATIONS SLOPE TO DRAIN 1/4" x FT MAX
- 14 PRE-MANUFACTURED GAS FIREPLACE PER MEP PLANS
- 15 3'-6" HT WOOD FRAMED GUARD W/ CEMENT PLASTER FINISH ON ALL SIDES, NO OPENINGS
- 16 BUILT IN BBQ W/ EXTERIOR CABINETRY AND SINK

**SOUTH TREMONT APARTMENTS**  
 1002 SOUTH TREMONT STREET  
 OCEANSIDE, CALIFORNIA 92054



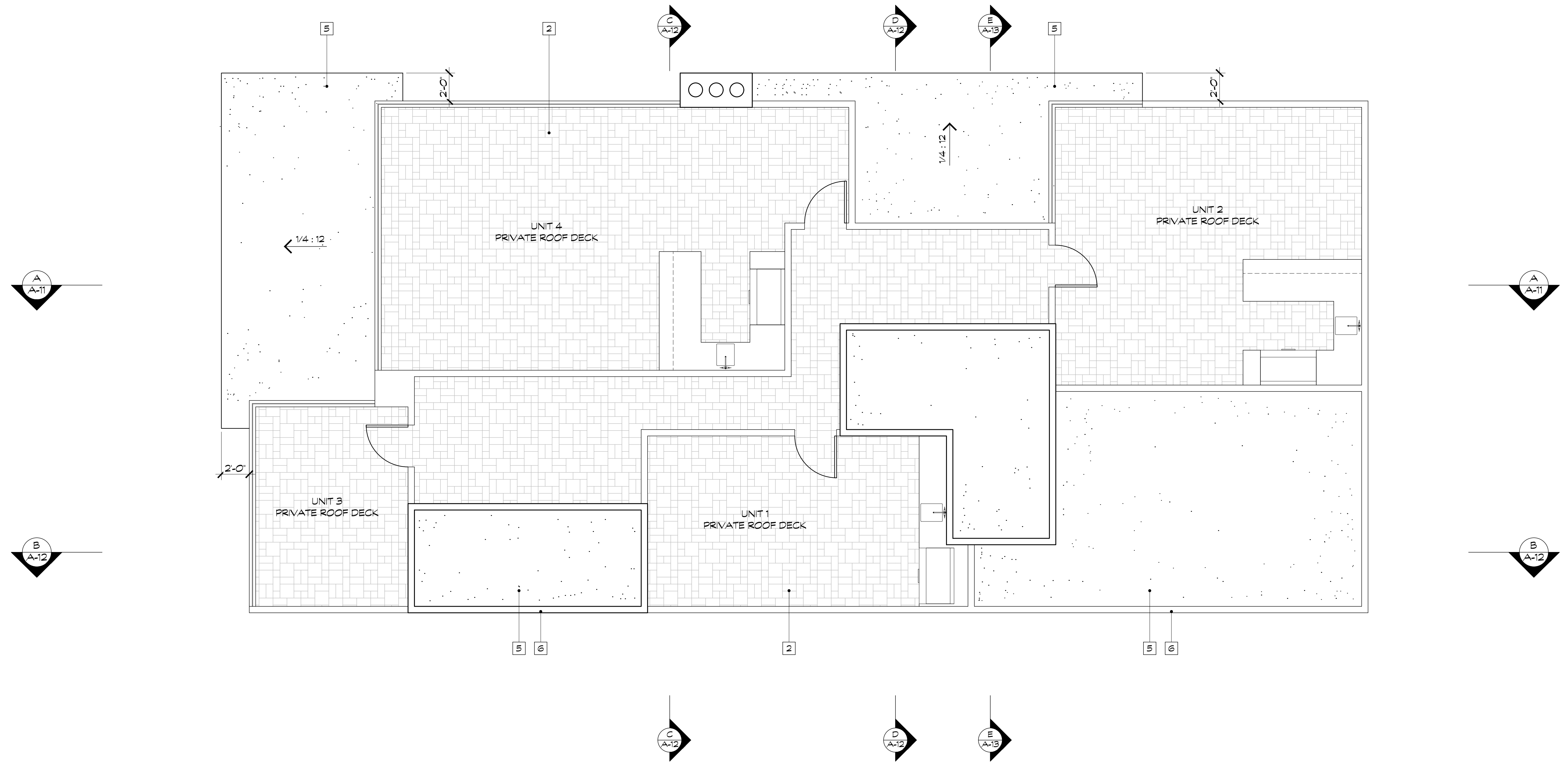
DESIGN DRAFTING CONSULTING PROJECT MANAGEMENT  
 1717 FIFTH AVENUE SAN DIEGO CALIFORNIA 92101  
 619.302.3857  
 oscar@ozdesignlab.com

ISSUE DATES	
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR

PROPOSED  
 ROOF DECK  
 PLAN



ISSUE DATES	
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR

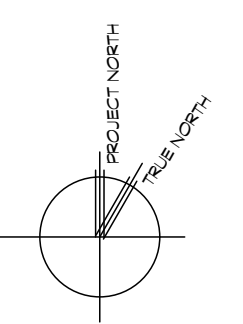


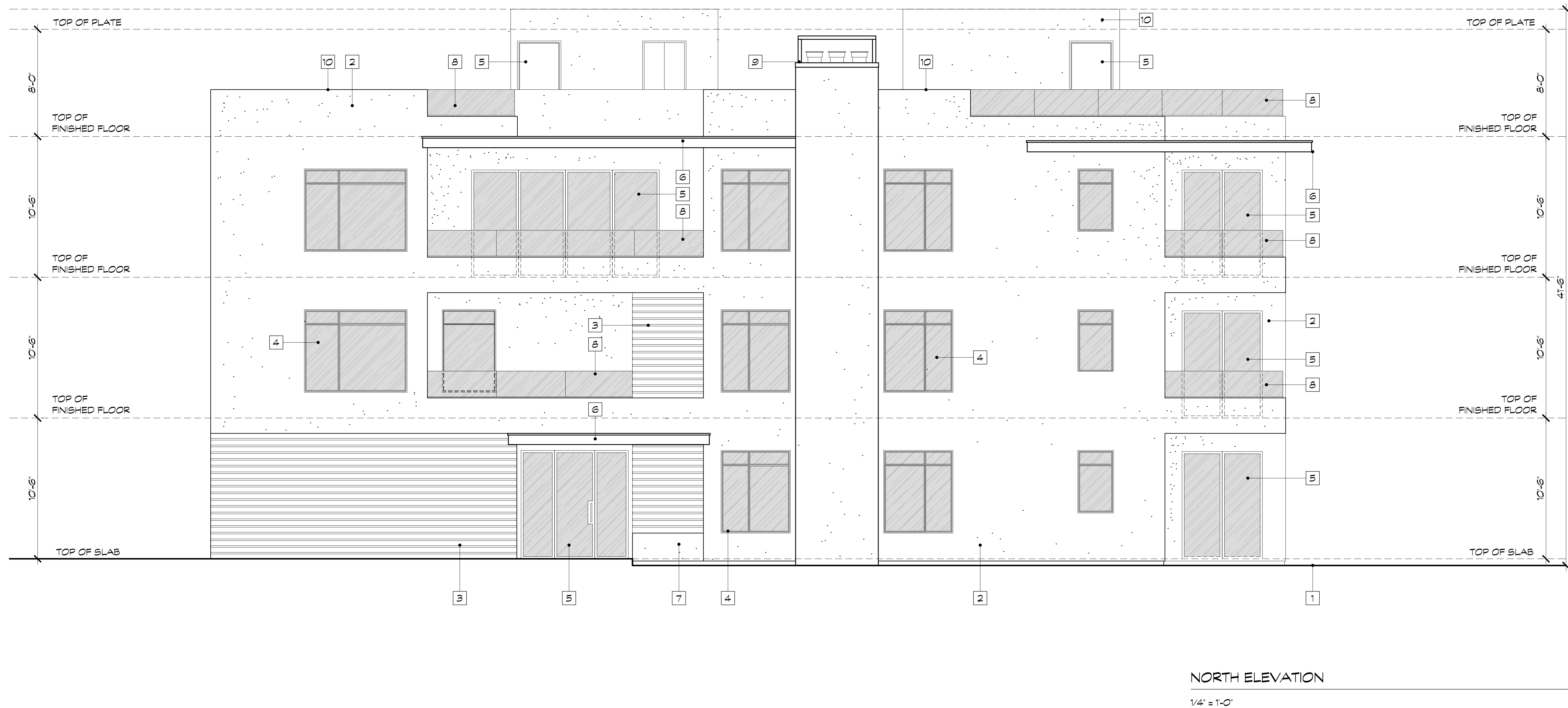
**ROOF PLAN**

1/4" = 1'-0"

**ROOF PLAN KEY NOTES**

- 1 PROJECTION BUILDING BEYOND
- 2 DECKING PER ROOF DECK PLAN
- 3 ROOF DRAIN WITH OVERFLOW SCUPPER
- 4 MECHANICAL EQUIPMENT PER MEP PLANS
- 5 TORCH DOWN BITUMINOUS MEMBRANE OVER 2 LAYERS OF 30# FELT CLASS 'A' ASSEMBLY
- 6 2x FRAMED PARAPET W/CEMENT PLASTER FINISH ON ALL SIDES W/METAL CAP SHEET ALONG ENTIRE PERIMETER





NORTH ELEVATION

1/4" = 1'-0"

**ELEVATION KEY NOTES**

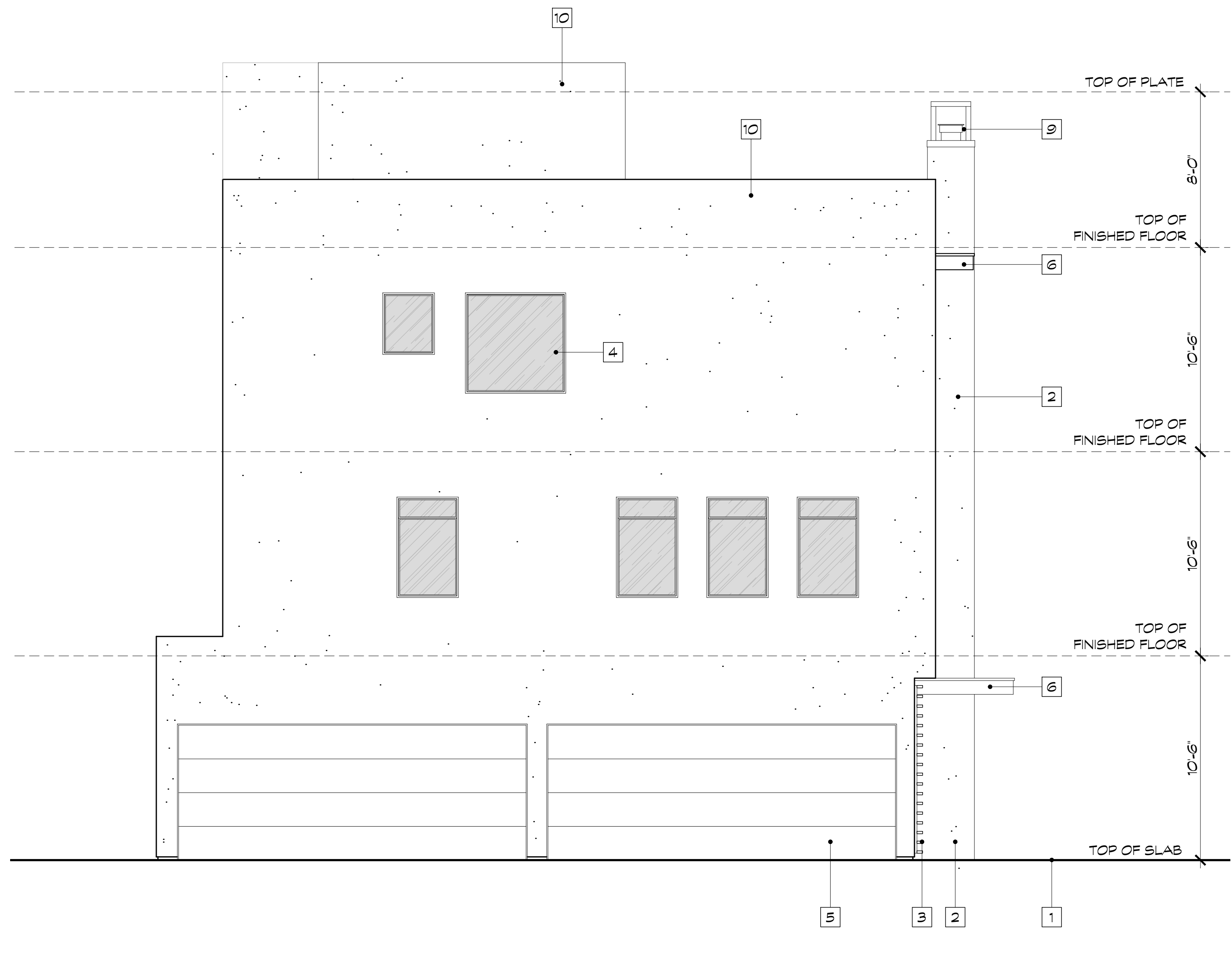
- 1 EXISTING & PROPOSED GRADE
- 2 CEMENT PLASTER FINISH
- 3 DECORATIVE WOOD SCREEN ATTACHED TO WALL
- 4 WINDOW PER SCHEDULE
- 5 DOOR PER SCHEDULE
- 6 WOOD FRAMED EAVE W/ CEMENT PLASTER FINISH AND 1x TRIM
- 7 2'-0" HT WOOD FRAMED GARDEN WALL W/ CEMENT PLASTER FINISH ON ALL SIDES
- 8 2'-0" HT TEMPERED GLASS GUARD ABOVE 1'-6" WOOD FRAMED PONY WALL W/ CEMENT PLASTER FINISH ON ALL SIDES, 3'-6" TOTAL HT MIN, NO OPENINGS
- 9 CHIMNEY W/ DECORATIVE METAL SHROUD
- 10 2x FRAMED PARAPET W/CEMENT PLASTER FINISH ON ALL SIDES W/METAL CAP SHEET ALONG ENTIRE PERIMETER



**SOUTH TREMONT APARTMENTS**  
 1002 SOUTH TREMONT STREET  
 OCEANSIDE, CALIFORNIA 92054

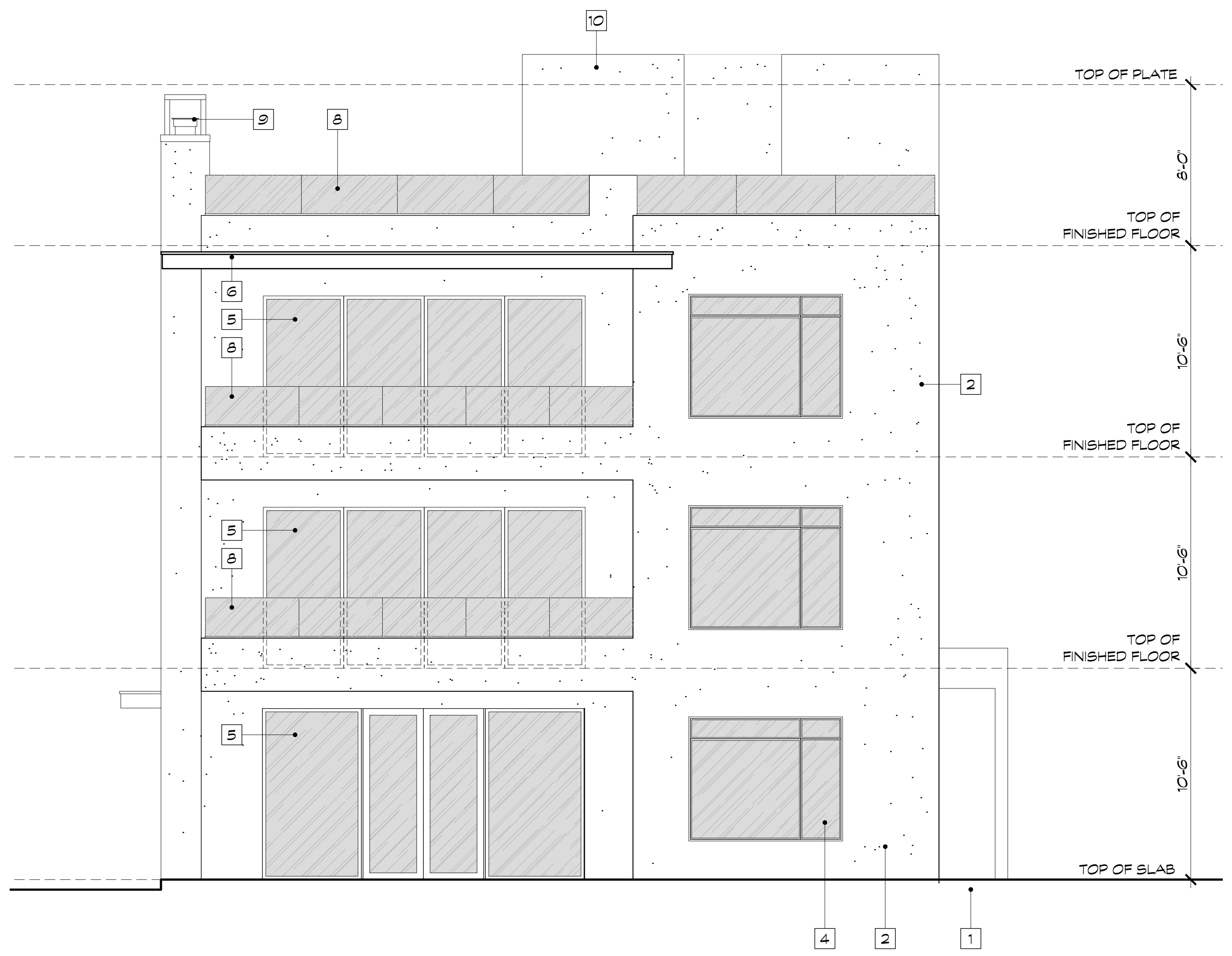
ISSUE DATES	DESCRIPTION
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR

NORTH ELEVATION



EAST ELEVATION

1/4" = 1'-0"



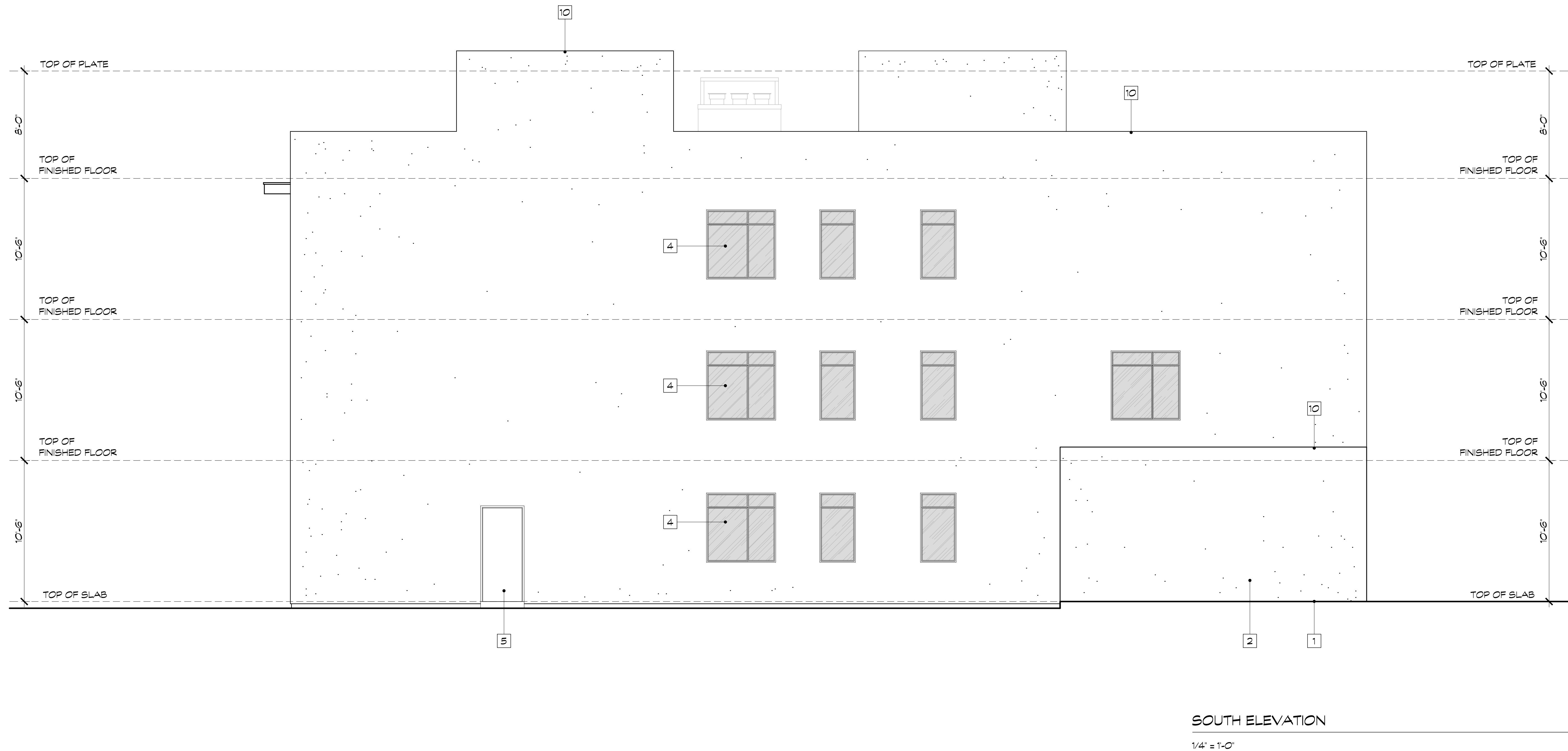
WEST ELEVATION

1/4" = 1'-0"

ELEVATION KEY NOTES

- 1 EXISTING & PROPOSED GRADE
- 2 CEMENT PLASTER FINISH
- 3 DECORATIVE WOOD SCREEN ATTACHED TO WALL
- 4 WINDOW PER SCHEDULE
- 5 DOOR PER SCHEDULE
- 6 WOOD FRAMED EAVE W/ CEMENT PLASTER FINISH AND 1x TRIM
- 7 2'-0" HT WOOD FRAMED GARDEN WALL W/ CEMENT PLASTER FINISH ON ALL SIDES
- 8 2'-0" HT TEMPERED GLASS GUARD ABOVE 1-6" WOOD FRAMED PONY WALL W/ CEMENT PLASTER FINISH ON ALL SIDES, 3-6" TOTAL HT MIN, NO OPENINGS
- 9 CHIMNEY W/ DECORATIVE METAL SHROUD
- 10 2x FRAMED PARAPET W/CEMENT PLASTER FINISH ON ALL SIDES W/METAL CAP SHEET ALONG ENTIRE PERIMETER

ISSUE DATES	DESCRIPTION
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR



**ELEVATION KEY NOTES**

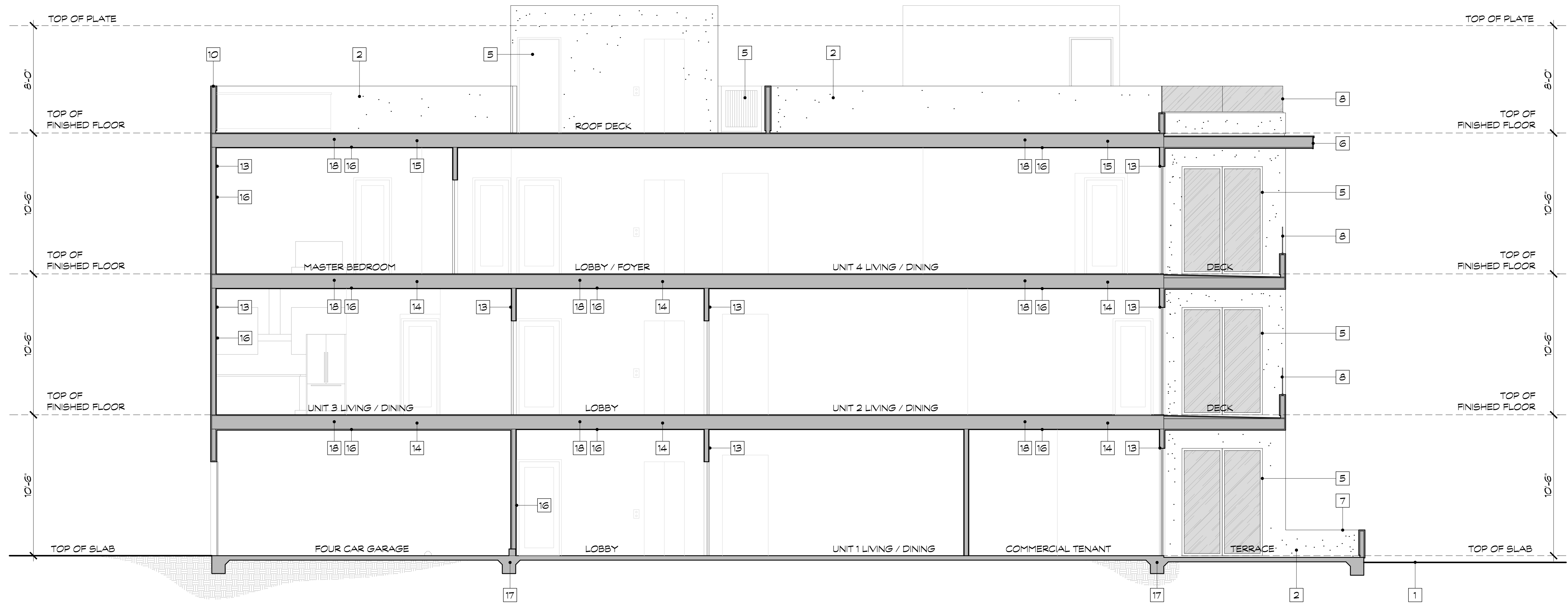
- 1 EXISTING & PROPOSED GRADE
- 2 CEMENT PLASTER FINISH
- 3 DECORATIVE WOOD SCREEN ATTACHED TO WALL
- 4 WINDOW PER SCHEDULE
- 5 DOOR PER SCHEDULE
- 6 WOOD FRAMED EAVE W/ CEMENT PLASTER FINISH AND 1x TRIM
- 7 2'-0" HT WOOD FRAMED GARDEN WALL W/ CEMENT PLASTER FINISH ON ALL SIDES
- 8 2'-0" HT TEMPERED GLASS GUARD ABOVE 1'-6" WOOD FRAMED PONY WALL W/ CEMENT PLASTER FINISH ON ALL SIDES, 3'-6" TOTAL HT MIN, NO OPENINGS
- 9 CHIMNEY W/ DECORATIVE METAL SHROUD
- 10 2x FRAMED PARAPET W/CEMENT PLASTER FINISH ON ALL SIDES W/METAL CAP SHEET ALONG ENTIRE PERIMETER



**SOUTH TREMONT APARTMENTS**  
 1002 SOUTH TREMONT STREET  
 OCEANSIDE, CALIFORNIA 92054

ISSUE DATES	
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR

SOUTH ELEVATION



**SECTION A - A**

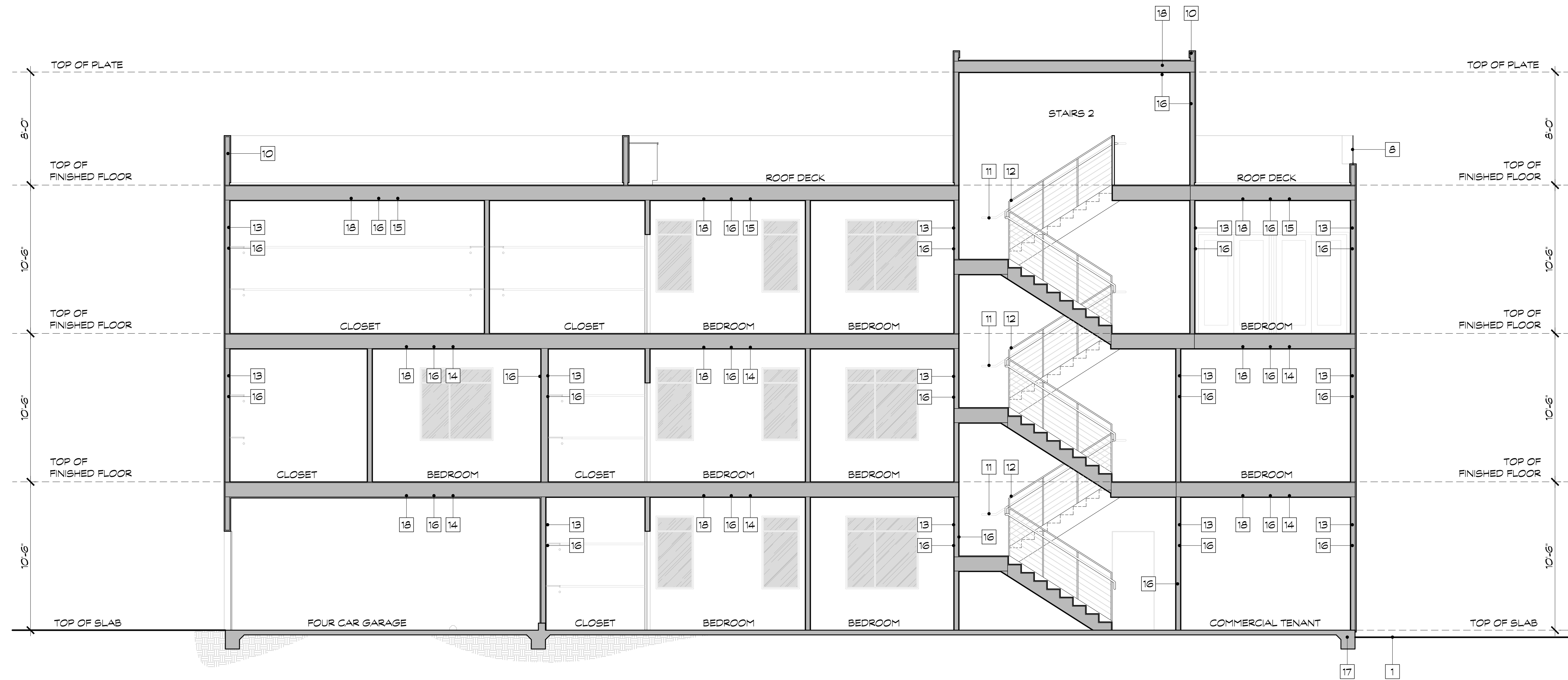
1/4" = 1'-0"

**SECTIONS KEY NOTES**

- |    |  |    |   |
|----|--|----|---|
| 1  | EXISTING & PROPOSED GRADE  | 11 | 3'-0" HT, 1 1/2" Ø METAL HANDRAIL W/ BOTH ENDS RETURNED TO WALL             |
| 2  | CEMENT PLASTER FINISH  | 12 | 3'-6" HT, METAL GUARD OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" Ø SPHERE |
| 3  | DECORATIVE WOOD SCREEN ATTACHED TO WALL  | 13 | R-15 BATT INSULATION  |
| 4  | WINDOW PER SCHEDULE  | 14 | R-19 BATT INSULATION  |
| 5  | DOOR PER SCHEDULE  | 15 | R-38 BATT INSULATION  |
| 6  | WOOD FRAMED EAVE W/ CEMENT PLASTER FINISH AND 1x TRIM  | 16 | 5/8" GYP BOARD TYP.   |
| 7  | 2'-0" HT WOOD FRAMED GARDEN WALL W/ CEMENT PLASTER FINISH ON ALL SIDES   | 17 | FOUNDATION PER STRUCTURAL   |
| 8  | 2'-0" HT TEMPERED GLASS GUARD ABOVE 1-6" WOOD FRAMED PONY WALL W/ CEMENT PLASTER FINISH ON ALL SIDES, 3-6" TOTAL HT MIN, NO OPENINGS | 18 | FRAMING PER STRUCTURAL  |
| 9  | CHIMNEY W/ DECORATIVE METAL SHROUD   |    |   |
| 10 | 2x FRAMED PARAPET W/CEMENT PLASTER FINISH ON ALL SIDES W/METAL CAP SHEET ALONG ENTIRE PERIMETER                                      |    |   |

ISSUE DATES	
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR

SECTION A - A



SECTION B - B

1/4" = 1'-0"

SECTIONS KEY NOTES

- |    |  |    |   |
|----|--|----|---|
| 1  | EXISTING & PROPOSED GRADE  | 11 | 3'-0" HT, 1 1/2" Ø METAL HANDRAIL W/ BOTH ENDS RETURNED TO WALL             |
| 2  | CEMENT PLASTER FINISH  | 12 | 3'-6" HT, METAL GUARD OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" Ø SPHERE |
| 3  | DECORATIVE WOOD SCREEN ATTACHED TO WALL  | 13 | R-15 BATT INSULATION  |
| 4  | WINDOW PER SCHEDULE  | 14 | R-19 BATT INSULATION  |
| 5  | DOOR PER SCHEDULE  | 15 | R-38 BATT INSULATION  |
| 6  | WOOD FRAMED EAVE W/ CEMENT PLASTER FINISH AND 1x TRIM  | 16 | 5/8" GYP BOARD TYP.   |
| 7  | 2'-0" HT WOOD FRAMED GARDEN WALL W/ CEMENT PLASTER FINISH ON ALL SIDES   | 17 | FOUNDATION PER STRUCTURAL   |
| 8  | 2'-0" HT TEMPERED GLASS GUARD ABOVE 1'-6" WOOD FRAMED PONY WALL W/ CEMENT PLASTER FINISH ON ALL SIDES, 3'-6" TOTAL HT MIN, NO OPENINGS | 18 | FRAMING PER STRUCTURAL  |
| 9  | CHIMNEY W/ DECORATIVE METAL SHROUD   |    |   |
| 10 | 2x FRAMED PARAPET W/CEMENT PLASTER FINISH ON ALL SIDES W/METAL CAP SHEET ALONG ENTIRE PERIMETER  |    |   |

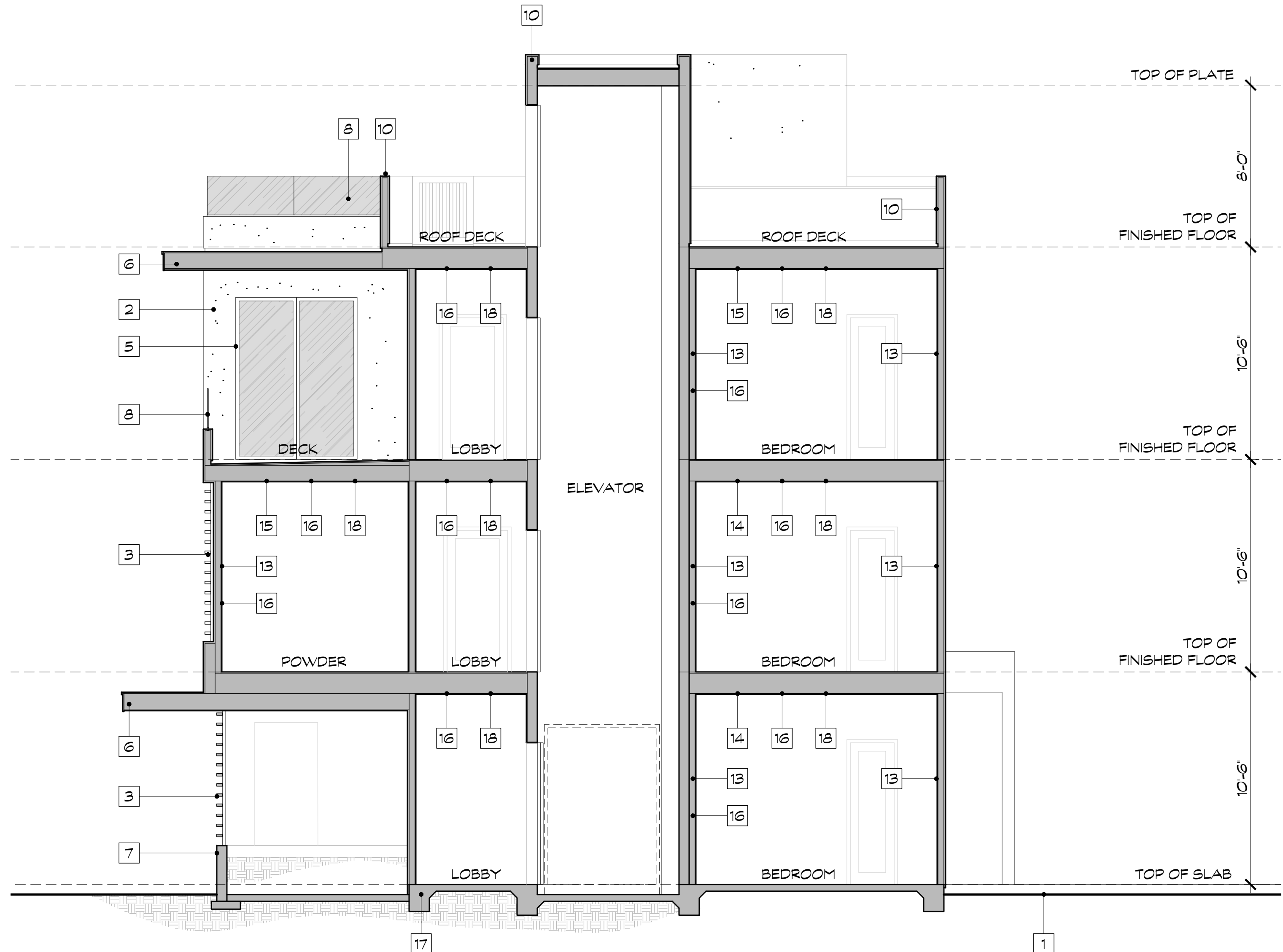


OZ DESIGN LAB  
 DESIGN DRAFTING CONSULTING PROJECT MANAGEMENT  
 1717 FIFTH AVENUE SAN DIEGO CALIFORNIA 92101  
 619.302.3857  
 oscar@ozdesignlab.com

**SOUTH TREMONT APARTMENTS**  
 1002 SOUTH TREMONT STREET  
 OCEANSIDE, CALIFORNIA 92054

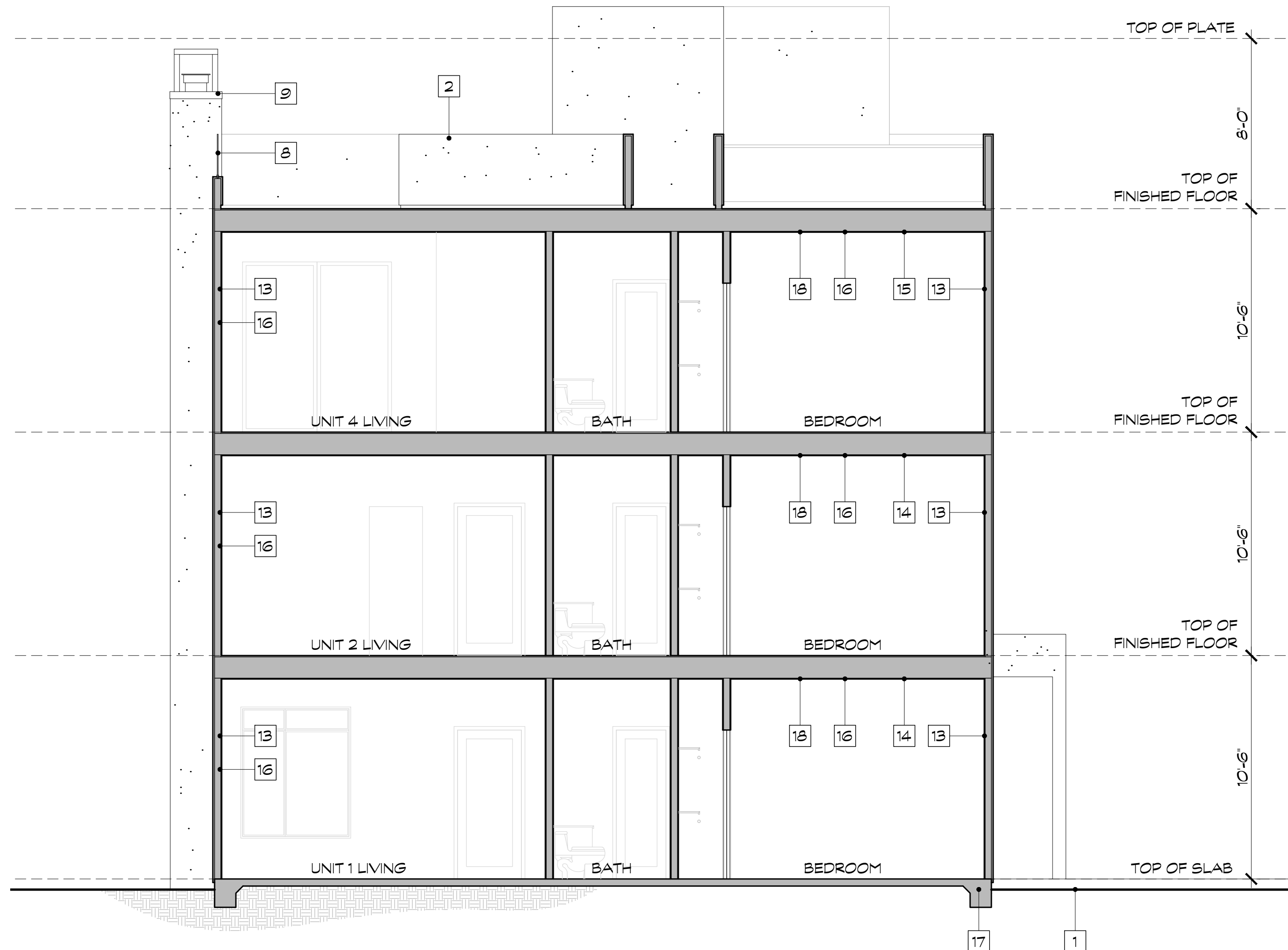
ISSUE DATES	
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR

SECTION B - B



SECTION D - D

1/4" = 1'-0"



SECTION C - C

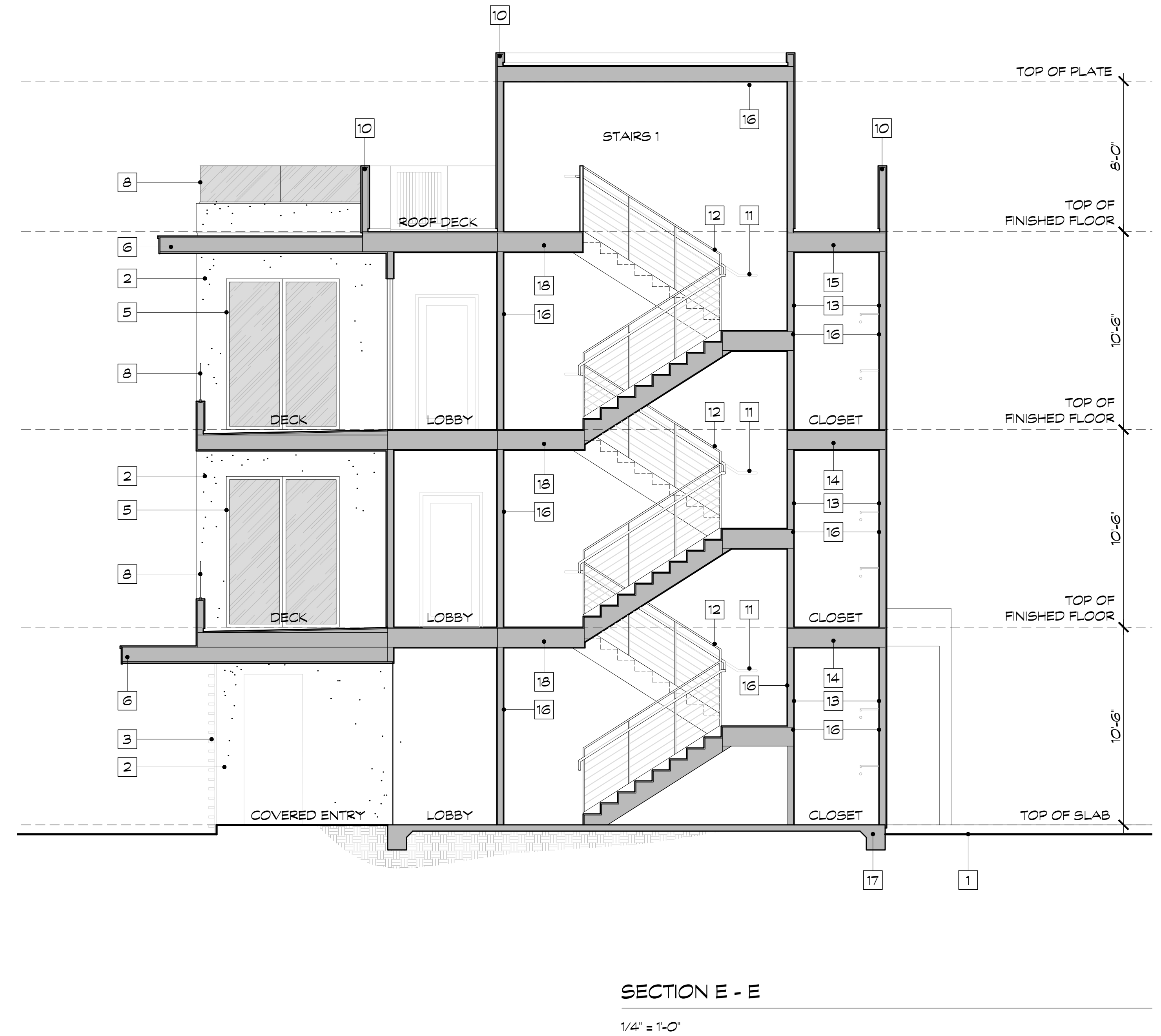
1/4" = 1'-0"

SECTIONS KEY NOTES

- |    |  |    |   |
|----|--|----|---|
| 1  | EXISTING & PROPOSED GRADE  | 11 | 3'-0" HT, 1 1/2" Ø METAL HANDRAIL W/ BOTH ENDS RETURNED TO WALL             |
| 2  | CEMENT PLASTER FINISH  | 12 | 3'-6" HT, METAL GUARD OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" Ø SPHERE |
| 3  | DECORATIVE WOOD SCREEN ATTACHED TO WALL  | 13 | R-15 BATT INSULATION  |
| 4  | WINDOW PER SCHEDULE  | 14 | R-19 BATT INSULATION  |
| 5  | DOOR PER SCHEDULE  | 15 | R-38 BATT INSULATION  |
| 6  | WOOD FRAMED EAVE W/ CEMENT PLASTER FINISH AND 1x TRIM  | 16 | 5/8" GYP BOARD TYP.   |
| 7  | 2'-0" HT WOOD FRAMED GARDEN WALL W/ CEMENT PLASTER FINISH ON ALL SIDES   | 17 | FOUNDATION PER STRUCTURAL   |
| 8  | 2'-0" HT TEMPERED GLASS GUARD ABOVE 1'-6" WOOD FRAMED PONY WALL W/ CEMENT PLASTER FINISH ON ALL SIDES, 3'-6" TOTAL HT MIN, NO OPENINGS | 18 | FRAMING PER STRUCTURAL  |
| 9  | CHIMNEY W/ DECORATIVE METAL SHROUD   |    |   |
| 10 | 2x FRAMED PARAPET W/CEMENT PLASTER FINISH ON ALL SIDES W/METAL CAP SHEET ALONG ENTIRE PERIMETER  |    |   |

ISSUE DATES	DESCRIPTION
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR

ISSUE DATES	PROGRESS SET
01.07.21	PROGRESS SET
03.22.21	SUBMITTAL SET
06.09.21	REVISED GROUND FLOOR

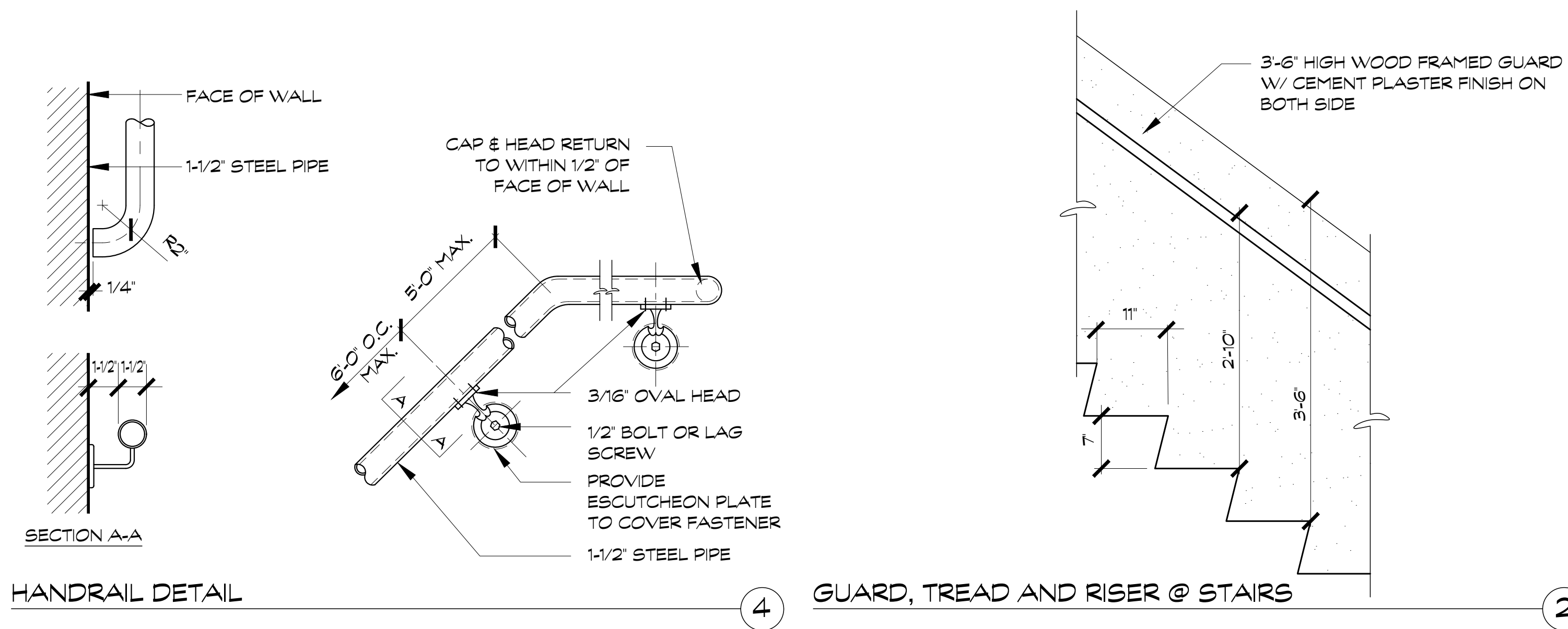


SECTION E - E

1/4" = 1'-0"

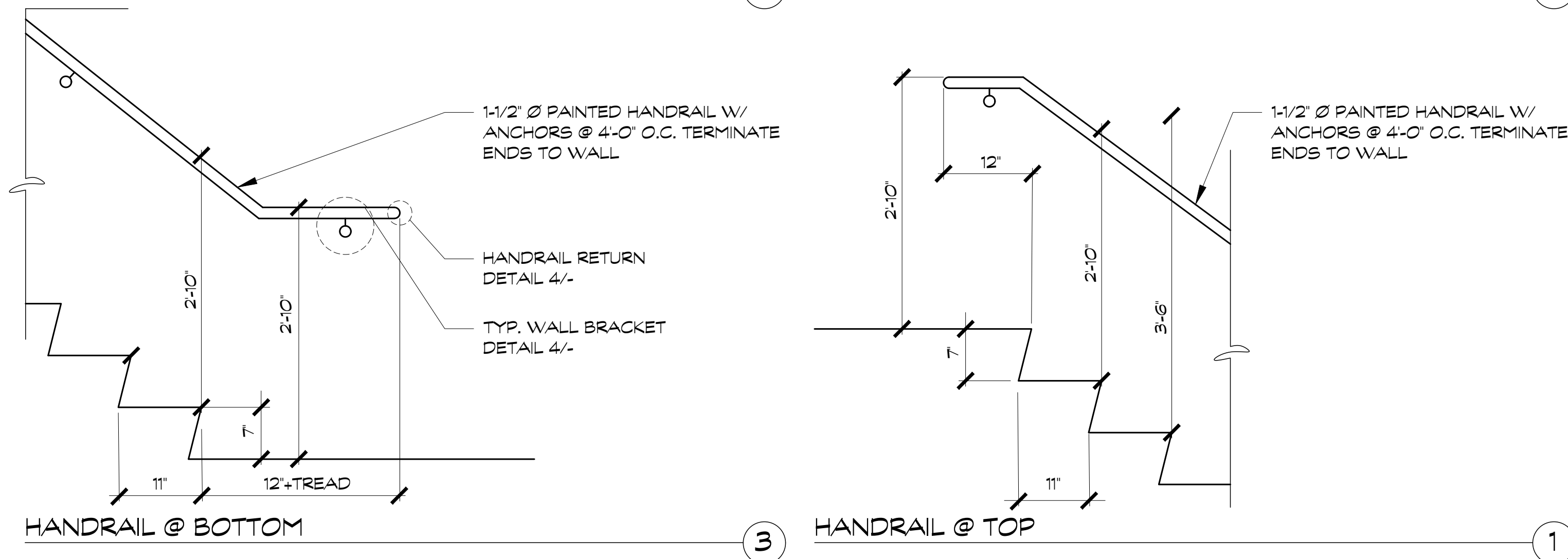
**SECTIONS KEY NOTES**

- |    |   |    |   |
|----|---|----|---|
| 1  | EXISTING & PROPOSED GRADE   | 11 | 3'-0" HT, 1 1/2" Ø METAL HANDRAIL W/ BOTH ENDS RETURNED TO WALL             |
| 2  | CEMENT PLASTER FINISH   | 12 | 3'-6" HT, METAL GUARD OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" Ø SPHERE |
| 3  | DECORATIVE WOOD SCREEN ATTACHED TO WALL   | 13 | R-15 BATT INSULATION  |
| 4  | WINDOW PER SCHEDULE   | 14 | R-19 BATT INSULATION  |
| 5  | DOOR PER SCHEDULE   | 15 | R-38 BATT INSULATION  |
| 6  | WOOD FRAMED EAVE W/ CEMENT PLASTER FINISH AND 1x TRIM   | 16 | 5/8" GYP BOARD TYP.   |
| 7  | 2'-0" HT WOOD FRAMED GARDEN WALL W/ CEMENT PLASTER FINISH ON ALL SIDES  | 17 | FOUNDATION PER STRUCTURAL   |
| 8  | 2'-0" HT TEMPERED GLASS GUARD ABOVE 1-6" WOOD FRAMED PONY WALL W/ CEMENT PLASTER FINISH ON ALL SIDES, 3'-6" TOTAL HT MIN, NO OPENINGS | 18 | FRAMING PER STRUCTURAL  |
| 9  | CHIMNEY W/ DECORATIVE METAL SHROUD  |    |   |
| 10 | 2x FRAMED PARAPET W/ CEMENT PLASTER FINISH ON ALL SIDES W/ METAL CAP SHEET ALONG ENTIRE PERIMETER                                     |    |   |



HANDRAIL DETAIL

GUARD, TREAD AND RISER @ STAIRS



HANDRAIL @ BOTTOM

HANDRAIL @ TOP