



Planning Division  
Development Services Department  
300 North Coast Highway | Oceanside, CA 92054  
(760) 435-4373 | [PlanningStaff@OceansideCA.org](mailto:PlanningStaff@OceansideCA.org)

*Staff Reviewers: Please complete the  
Developer's Conference comment  
sheet template and attach to the  
TRAKiT record by the end of day on  
the day before the meeting.*

## OCEANSIDE DEVELOPER'S CONFERENCE\* AGENDA

**Wednesday, November 08, 2023**

**Meeting 1:** 9:30 a.m. – 10:30 a.m.

**Project Description:** Proposed development of a 2-lot residential subdivision on 1.26 acres located at 1825 Avocado Rd. New water and sewer services are also proposed.

**Project Number:** ADM23-00040

**Assessor Parcel Number(s):** 154-230-13-00

**Contact Person:** David Caron

**Email:** [dave@civillandworks.com](mailto:dave@civillandworks.com)

**Zoning:** RE-B

**Land Use:** EB-R

**Neighborhood Area:** Fire Mountain

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**Meeting 2:** N/A

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*\* The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*

# ITEM 1





# Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division  
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

## General Information

Project/Property Address: 1825 Avocado Road, Oceanside, CA  
Assessor's Parcel Number: 154-230-13 Lot Area (acres or SF): 1.26 AC  
Existing Use: Residential  
Brief Description of Proposal:  
parcel map into 2 parcels

## Property Owner & Applicant Information

Owner Name: Tanner Gudauskas  
Phone Number & E-Mail Address: 949-310-1163 tanner.gudauskas@gmail.com  
Applicant Name: Civil Landworks Corps, David Caron  
Phone Number & E-Mail Address: 760-908-8745 ext 5 dave@civillandworks.com

### To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf:

Signature of Property Owner  
(or attach a Letter of Authorization)

### Requested Meeting Date/Time (please provide 2 options)

1<sup>st</sup> choice date: Time preference: 9:30 am ~~X~~ 10:30 am either  
2<sup>nd</sup> choice date: Time preference: 9:30 am 10:30 am either

### Requested Divisions to Attend (Planning attends all meetings)

Building Fire Water Engineering Transportation Solid Waste Other

### Email the following PDF documents to [PlanningStaff@oceansideca.org](mailto:PlanningStaff@oceansideca.org):

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

### To be completed by City staff:

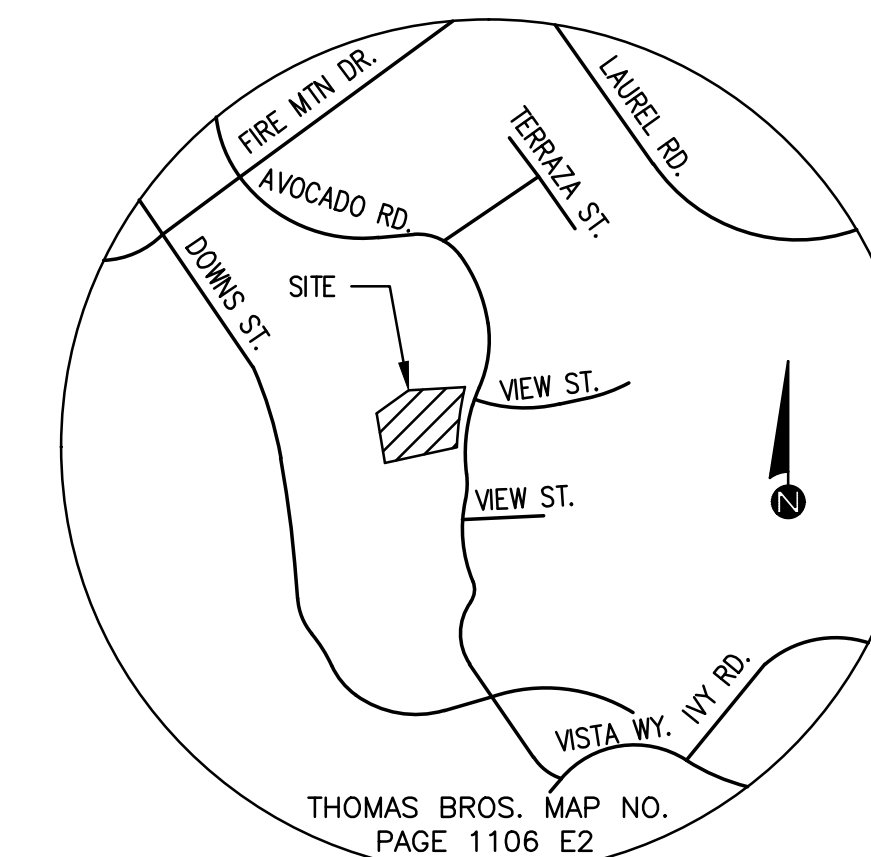
Assigned meeting date:

Time:

Assigned Project Planner:

**LEGEND**

PROPERTY BOUNDARY LINE	---
ADJOINER BOUNDARY LINE	---
STREET CENTERLINE	—+—
EASEMENT LINE	---
EXISTING CONTOUR	---738---
SPOT ELEVATION	FS=738
PROPOSED CONTOUR (MAJOR)	—738—
PROPOSED CONTOUR (MINOR)	—738—



**OWNER:**  
TANNER GJDAUSKAS  
1825 AVOCADO ROAD  
OCEANSIDE, CA 92054

**SITE ADDRESS:**  
1825 AVOCADO ROAD  
OCEANSIDE, CA 92054

**VICINITY MAP**  
N.T.S.

**LEGAL DESCRIPTION:**

THAT PORTION OF LOT 5 IN BLOCK "B" OF NORTH CARLSBAD ANNEX, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1888, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 1, 1926.

**ASSESSOR'S PARCEL NO.:**

154-230-13

**TOPOGRAPHY:**

THE BENCHMARK FOR THIS SURVEY IS A CITY OF OCEANSIDE VERTICAL CONTROL MONUMENT, STATION NO. 1021 BEING A 3.5" BRASS DISC MARKED "RCE 32247" AS SHOWN ON RECORD OF SURVEY NO. 21787.

ELEVATION = 134.88 FEET (NAVD '88).

**EASEMENT NOTES:**

- ④ EASEMENT FOR RIGHT AND PRIVILEGE TO PLACE AND MAINTAIN AN ANCHOR TO SUPPORT A LINE OF POLES AND WIRES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO CONSOLIDATED GAS AND ELECTRIC COMPANY, BY INSTRUMENT RECORDED JULY 3, 1929 IN BOOK 1653, PAGE 170 OF DEEDS.

**ZONING**

SINGLE-FAMILY RESIDENTIAL RE-B

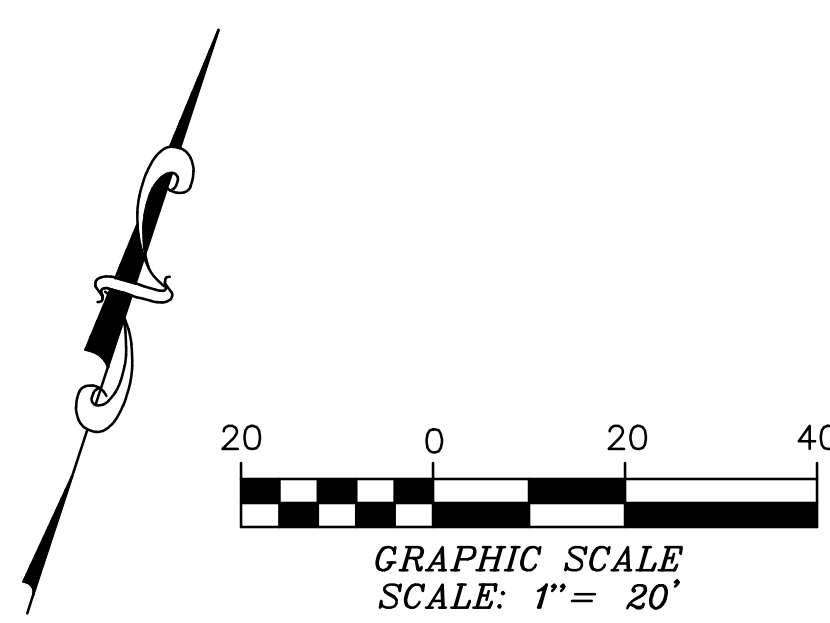
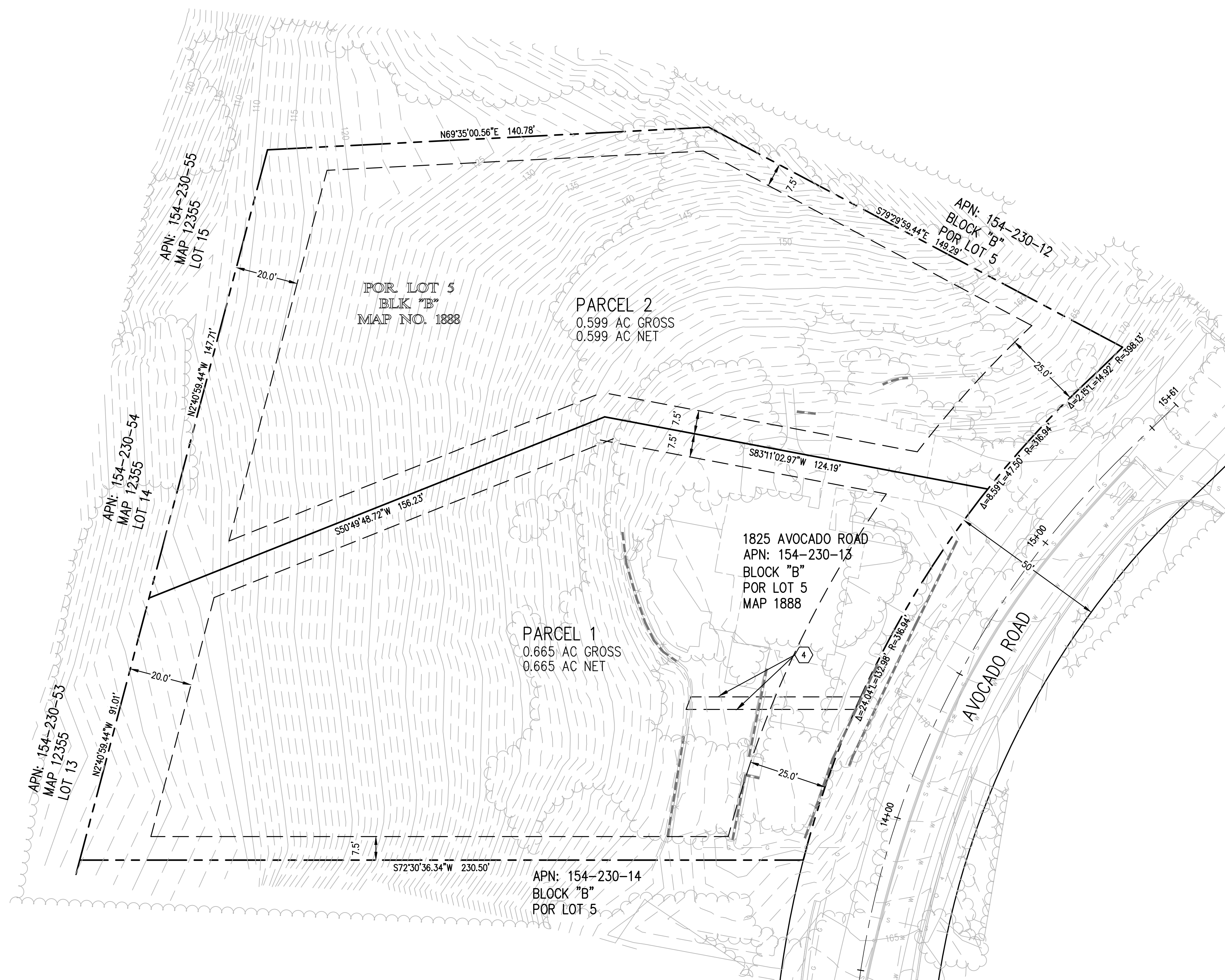
WATER TO BE PROVIDED BY OCEANSIDE WATER DISTRICT

SEWER TO BE PROVIDED BY OCEANSIDE WATER DISTRICT

MINIMUM LOT SIZE: 10,000 SQ. FT

**SETBACKS:**

FRONT	25 FT
REAR	20 FT
SIDE	7.5 FT



**ENGINEER**

DAVID V. CARON  
CIVIL LANDWORKS CORP.  
110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058  
760-908-8745



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110 COPPERWOOD WAY, SUITE P, OCEANSIDE, CA 92058  
PH: 760-908-8745 • info@civillandworks.com

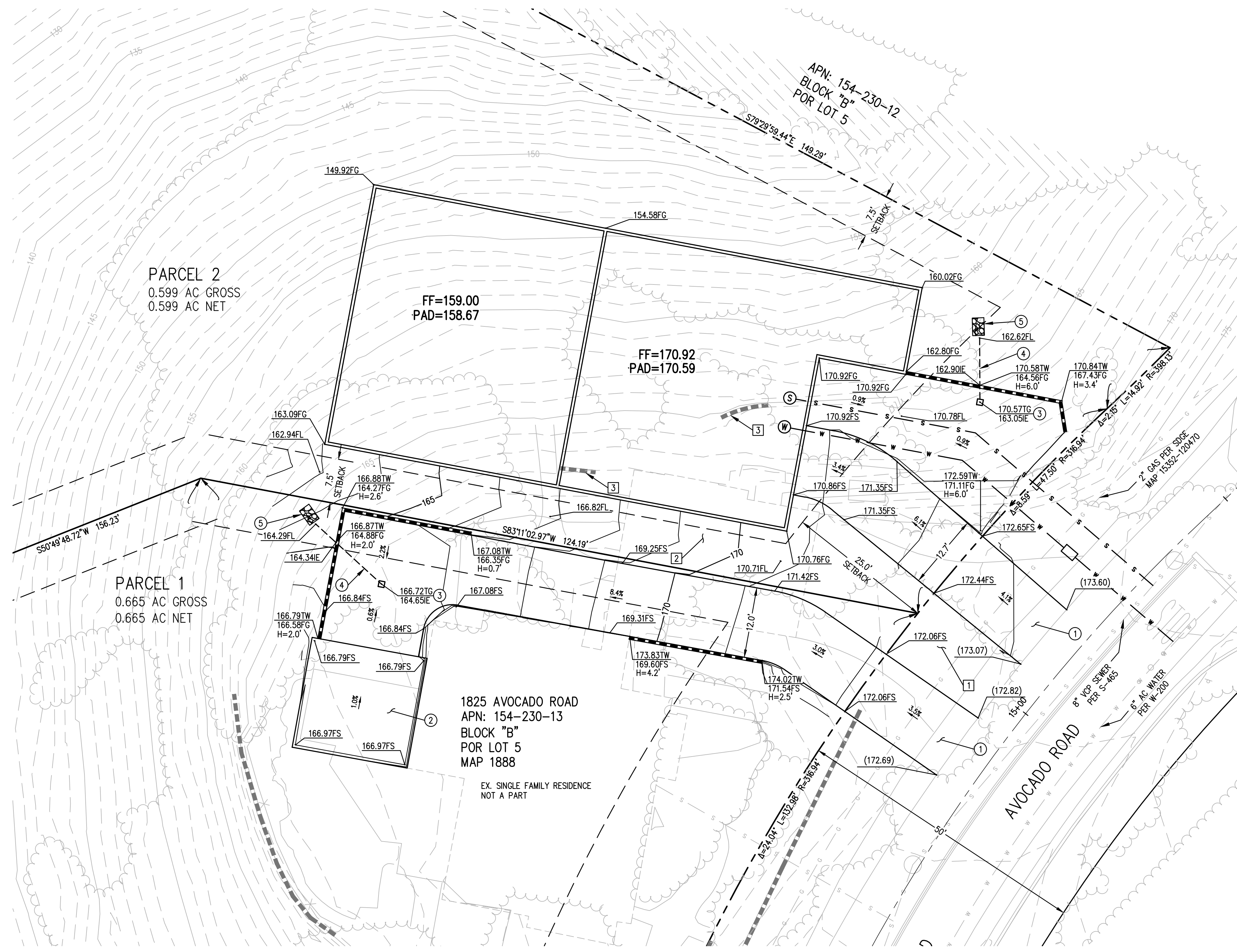
**EARTHWORK DATA:**

CUT = 370 C.Y.      FILL = 750 C.Y.  
 REMEDIAL = 0 C.Y.      IMPORT = 380 C.Y.

THESE QUANTITIES DO NOT INCLUDE ANY LOSSES DUE TO SHRINKAGE, SUBSIDENCE, OVEREXCAVATION, OR ANY SPECIAL REQUIREMENTS THAT MAY BE SPECIFIED IN THE PRELIMINARY SOILS REPORT. THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID.

**SITE DATA:**

SITE AREA: 55,064 SF  
 AREA DISTURBED BY PROJECT: 8,570 SF  
 EXISTING PERVIOUS: 50,130 SF  
 EXISTING IMPERVIOUS: 4,934 SF  
 PROPOSED IMPERVIOUS: 5,981 SF  
 PROPOSED PERVIOUS: 2,589 SF



PARCEL 2  
 0.599 AC GROSS  
 0.599 AC NET

PARCEL 1  
 0.665 AC GROSS  
 0.665 AC NET

FF=159.00  
 PAD=158.67

FF=170.92  
 PAD=170.59

1825 AVOCADO ROAD  
 APN: 154-230-13  
 BLOCK "B"  
 POR LOT 5  
 MAP 1888

EX. SINGLE FAMILY RESIDENCE  
 NOT A PART

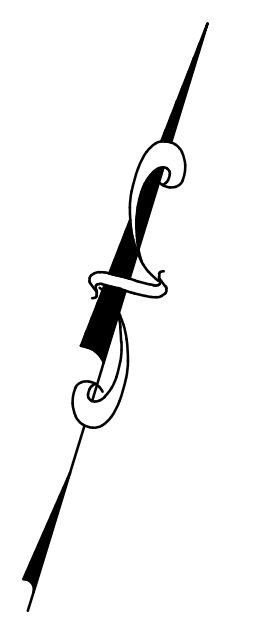
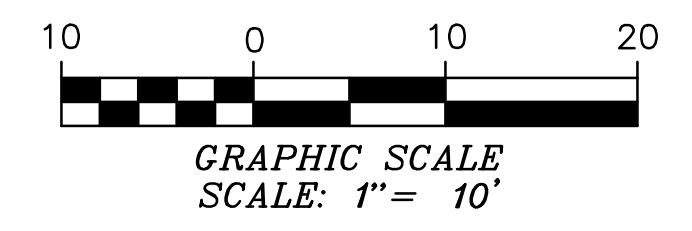
**CONSTRUCTION NOTES:**

- ① CONSTRUCT 12' WIDE CONCRETE DRIVEWAY
- ② CONSTRUCT GARAGE PER SEPARATE PERMIT
- ③ CONSTRUCT 12"x12" CATCH BASIN
- ④ CONSTRUCT STORM PIPE
- ⑤ CONSTRUCT RIPRAP PER SDSRD D-40

**DEMOLITION NOTES:**

- ① REMOVE EX. DRIVEWAY
- ② REMOVE EX. GARAGE
- ③ REMOVE EX. WALL

**CAUTION!!**  
 EXISTING UNDERGROUND UTILITIES AND FACILITIES SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM AVAILABLE RECORDS WHICH IN MOST CASES ARE SCHEMATIC PLANS. THESE PLANS MAY NOT REFLECT ALL EXISTING UTILITIES. EXACT LOCATION AND DEPTH OF EXISTING UTILITIES ARE UNKNOWN. SUBCONTRACTOR TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF WORK, AND NOTIFY ENGINEER OF WORK OF ANY DISCREPANCIES.



**Civil Landworks**  
 110 COPPERWOOD WAY, SUITE P, OCEANSIDE, CA 92058  
 PH: 760-908-8745 • info@civillandworks.com

Development Services Department  
City of Oceanside  
Planning Division

**PROJECT:** Tentative Parcel Map  
1825 Avocado Rd., Oceanside, CA  
APN's: 154-230-13

Civil Landworks is representing the owners in the development of a two-lot residential subdivision. The project is located at 1825 Avocado Rd., Oceanside, CA. The project information is as follows:

- Project area is 1.26 AC
- Zoning is Single Family Residential RE-B
- Base Density is 1 acres gross, maximum potential density is 3.5 DU/acre.
- Two parcels are proposed
- A new water and sewer services are proposed.

Should you have any questions please contact us.

**Civil Landworks Corp.**



David Caron, PE  
Principal Engineer



## SITE LOCATION MAP

DATE: 10/6/2023  
 SCALE: AS SHOWN

**1825 AVOCADO ROAD**

DRAWN BY:  
**L. STRASMANN**



## SITE VICINITY MAP

DATE: 10/6/2023  
 SCALE: AS SHOWN

1825 AVOCADO ROAD

DRAWN BY:  
**L. STRASMANN**