



Planning Division
Development Services Department
300 North Coast Highway | Oceanside, CA 92054
(760) 435-4373 | PlanningStaff@OceansideCA.org

Staff Reviewers: Please complete the Developer's Conference comment sheet template and attach to the TRAKiT record by the end of day on the day before the meeting.

OCEANSIDE DEVELOPER'S CONFERENCE* AGENDA

Wednesday, December 13, 2023

Meeting 1: 9:30 a.m. – 10:30 a.m.

Project Description: Proposed mixed-use two-story development with 7 residential units above 4 commercial suites. The site is currently vacant at 1522 Mission Avenue.

Project Number: ADM23-00045

Assessor Parcel Number(s): 148-152-13-00

Contact Person: Pablo Paredes

Email: pablo@paredes.com

Zoning: CG

Land Use: GC

Neighborhood Area: Eastside Capistrano

Meeting 2: 10:30 a.m. – 11:30 a.m.

Project Description: Proposing to demolish two existing shade structures onsite and construct pre-fabricated modular structures for storage and tire changing services at 1426 South Coast Highway.

Project Number: ADM23-00047

Assessor Parcel Number(s): 152-200-02-00

Contact Person: Martin Polanco

Email: martin@waabistudio.com

Zoning: C2

Land Use: C-GC

Neighborhood Area: South Oceanside

** The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*

ITEM 1





Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

General Information

Project/Property Address: 1522 MISSION AVE

Assessor's Parcel Number: 148-152-13-00 Lot Area (acres or SF): 21718.26 SF

Existing Use: EMPTY

Brief Description of Proposal:

BUILD A MIXED USE TWO STORY STRUCTURE WITH SURFACE PARKING

Property Owner & Applicant Information

Owner Name: REGINALDO GAETA

Phone Number & E-Mail Address: 619 571 4170 X 105

Applicant Name: PABLO PAREDES, AIA

Phone Number & E-Mail Address: 858 736 5370 pablo@paredes.com

To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf:

Signature of Property Owner
(or attach a Letter of Authorization)

Requested Meeting Date/Time (please provide 2 options)

1st choice date: 10/16/23 Time preference: 9:30 am 10:30 am either

2nd choice date: 10/18/23 Time preference: 9:30 am 10:30 am either

Requested Divisions to Attend (Planning attends all meetings)

Building Fire Water Engineering Transportation Solid Waste Other _____

Email the following PDF documents to PlanningStaff@oceansideca.org:

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

To be completed by City staff:

Assigned meeting date: December 13, 2023 Time: 9:30am

Assigned Project Planner: Dane Thompson

MISSION CENTER

A CUSTOM MIXED USE BUILDING
DESIGN DEVELOPMENT PACKAGE

GENERAL NOTES

- These drawings have been prepared from the latest information available on existing conditions. Minor variations may occur in the actual construction. The contractor and sub-Contractor shall verify all existing conditions and dimensions on the drawings. Notify the Architect of any discrepancies prior to starting or ordering materials.
- Prior to excavation, contractor shall confirm location of underground utilities.
- In the event that unknown utilities or structures are found during construction at unexposed or exposed locations, the contractor shall stop work in that area and notify the Owner and utility company, immediately.
- All excavation and grading shall comply with OSHA and other governing regulations.
- The Contractor and Sub-Contractors work shall be in accordance with all applicable federal, state, and local building codes and agency standards.
- The Contractor and Sub-contractors shall be responsible for the appropriate "hook-up" to all utilities required to support the work.
- The contractor shall protect the adjacent properties, including, but not limited to pollution, trash, or damages due to demolition, excavation, construction and/or flooding originating on the site.
- Shoring shall be provided where demolition of support structures occurs.
- Interior finishes must conform to the requirements of chapter 8, 2022 BC. All decorative materials are required to be maintained in a flame-retardant condition.
- Different finishes at floor shall meet under the door, unless otherwise noted.
- All mechanical and electrical systems shall be installed in accordance with approved plans and governing codes. Specifications pursuant to this section shall be tested and approved to be in proper working condition to the satisfaction of the Building Official before issuance of the certificate of occupancy.
- These contract documents do not contemplate handling or treatment of asbestos and/or any hazardous waste materials. Should any hazardous materials be discovered, the Contractor shall notify the Owner at once by telephone and in writing.
- The Contractor shall install and maintain a phone at the job site for the duration of construction.
- Install Duroc Tile Backer Board behind all interior walls, countertops and ceilings to receive tile, as manufactured by United States Gypsum Industries, Inc. Install Durock according to the manufacturers recommended specifications.
- Provide solid blocking of all cabinets, countertops, mirrors, shelving, light fixtures, and all miscellaneous wall and all ceiling mounted or recessed items.
- Glass and glazing shall conform to the provisions of Section 716 of the 2022 CBC. All glazing panels adjacent to doors, and within 18" of walking surface shall be tempered.
- Prior to the start of any demolition or construction, the Contractor shall inspect and prepare an inventory of all items noted to be relocated or salvaged and verify that these items are in good working condition and able to be relocated. The Contractor shall present this inventory to the Owner and the Architect for their approval. The Contractor shall be held responsible for replacing any relocatable item damaged during the demolition process. Salvaged items shall be the Owner's choosing and shall be the Owner's property.
- Contractor shall coordinate soffit framing with the plan to allow adequate space for installation of light fixtures and mechanical equipment.
- Roofing shall be installed in accordance with manufacturers specific installation procedures. Provide all required sheet metal flashing and caulking. Contractor shall provide 40-year minimum warranty.
- Provide R-13 insulation, which shall be installed in all exterior walls and bathroom walls. Provide R-19 insulation between floors and R-30 in attic space.
- All thermometers shall be of the automatic changeover type to sequence heating or cooling. Set point range shall be up to 10 degrees fahrenheit between full heating and cooling. Adjustable temperature differential shall be one and one-half degrees fahrenheit.
- Equipment shall have the capacity of terminating all cooling at a temperature of not less than 78 degrees fahrenheit.
- At least one automatic space temperature control device shall be provided for each zone.
- All circuit breaker switched 120V AC light circuits, must use only type SWD circuit breakers.
- Electrical outlets located in wet areas, bathrooms and laundry rooms, at the exterior or within 6'-0" of the kitchen sink, shall be provided with ground fault interrupter switch (GFI).
- Soil compacting report shall be provided to the building inspector at the job site prior to placement of concrete for the new foundation if requested by the City.
- Provide emergency exit doors or windows from sleeping rooms. Net clear window opening area shall be not less than 5.7 sq. ft. (821 sq. in.) minimum. Net opening height dimension, 24" clear, minimum. Minimum net opening width dimension, 20" clear. Finished sill height maximum, 44" above floor.
- All wood within 6" of earth or 1" of concrete shall be redwood or pressure treated.
- Stairways and landings shall be constructed as required by 2022 CBC Section 1011.
- Wiring in plenums shall be in conduit or conform to NEC articles 300-21 and 300-22.
- All duct work shall be constructed, erected and tested in accordance with the most restrictive of local regulation procedures detailed ASHRAE handbook of fundamentals or the applicable standard adopted by the Sheet Metal and Air conditioning Contractors National Association.
- Bathroom & laundry ventilation shall be not less than 50 CFM.
- Hold down anchors to be tied in place prior to calling for foundation inspection.
- Floor sheathing shall be screwed and glued to floor joists. Existing and new floors where applicable.
- Provide water closet with a maximum flow of 2.0 gallons flush (GPF)
- No vent pipe or any projection shall project above 30'-0" from finish grade, new or pre-existing 5'-0" from building face. The highest point of the roof shall not exceed 30'-0".
- Provide bullnose corner bead at all drywall corners. Drywall finish shall be light knock down U.O.N.
- Attic / underfloor installation of HVAC unit must comply with Sections 304, 309, 319 & 320 U.M.C.
- No C.P.V.C. piping to be installed for potable water supply.
- Provide fire blocking at floor, ceiling, coves and mid-height of walls over 10'-0" in height.
- The highest point of the roof, equipment or any vent, pipe, antenna or other projection, shall not exceed 30' above grade.
- All plumbing fixtures and fittings will be water conserving and will comply with the 2022 CGBSC.
- Kitchen Faucets: Provide kitchen faucets with a maximum flow of 1.8 gallons per minute (GPM).
- Per 2022 CGBSC, plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC).
- An electronically signed and registered Installation Certificate(s) (CF2R) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered CF2R will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated CF1R. Certificate of Occupancy will not be issued until forms CF2R is reviewed and approved.
- An electronically signed and registered Installation Certificate(s) of Field Verification and Diagnostic Testing (CF3R) shall be posted at the building site by a certified HERS rater. A registered CF3R will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated CF2R. Certificate of Occupancy will not be issued until CF3R is reviewed and approved.
- Lighting in bathrooms shall have all high efficacy luminaire and at least one luminaire must be controlled by a vacancy sensor.
- Provide lavatory faucets with a maximum flow of 1.2 gallons per minute (GPM)
- Joints and openings, Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency. (Section 4.406.1)
- Duct openings and other related air distribution component openings shall be covered during construction. (Section 4.504.1)
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. (Section 4.504.2.1)
- Paints, stains and other coatings shall be compliant with VOC limits set in section Section 4.504.2.2 and Table 4.504.3 of CalGreen.
- Eighty percent of the floor area receiving resilient flooring shall comply with one or more of the following:
 - VOC-emission limits defined in the Collaborative for High Performance Products Database.
 - Products compliant with CHPS criteria certified under the Greenguard Children & School program.
 - Certification under the Resilient Floor Covering Institute (RFCI) Floor Score Program.
 - Meet the California Department of public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from indoor Sources Using Environmental Chambers, Version 1.1 February 2010 (also known as Specification 01350)
- Hardwood plywood, particle board, medium density fiberboard (MDF), composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxic Control Measure for Composite wood as specified 4.504.5 and table 4.504.5 of CALGREEN.
- Vapor retarder and capillary break is installed at slab on grade foundations. Show one of the following methods on the plans.
 - 4 inch thick base of 1/2 inch of larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design which address bleeding, shrinkage, and curing shall be used. For additional information, see ACI 302.2R-02.
 - A slab design specified by a licensed design professional. Section 4.505.2.1)
- Building materials with visible signs of water damage shall not be installed. Walls and floors framing shall not be enclosed when framing members exceed 19% moisture content.
- The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by either a probe type moisture meter.
- Exhaust fans which terminate outside the building are provided in every bathroom that contain a shower or tub. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent.
- Per 2022 Green code, Mechanical exhaust fans which exhaust directly from bathrooms shall comply with the following:
 - Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
 - Unless functioning as component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be controlled by adjustment between a relative humidity range of 50 to 80 percent."
- Provide an exterior landing or finished floor at the required egress doors that is not more than 1 1/2" inches below the top of the threshold (not more than 7.75 inches if the door does not swing over the landing or floor).
- Fire Sprinklers System to be an NFPA 13D system per CRC section 313
- The project proposes no work in the public right-of-way.

PROJECT DATA

1. OWNER'S NAME & ADDRESS	REGINALDO GAETA 1514 MISSION AVE OCEANSIDE, CA 92058
2. REQUIRED PERMITS / APPROVALS	Preliminary Review
3. LEGAL / A.P.N.	MM0040 BLK 526*LOT 2*SWLY 75 FT* 148-152-1300
4. CONSTRUCTION TYPE	VB - Sprinklered
5. OCCUPANCY TYPE	Residential, Mercantile
6. BUILDING CODE	The design is according to the 2022 California Residential Code and, when applicable, the 2022 California Building Code Project shall comply with the following codes: 2022 California Residential Code 2022 California Electrical Code 2022 California Mechanical Code 2022 California Plumbing Code 2022 California Building Energy Efficiency Standards 2022 California Green Building Code
7. ZONING DESIGNATION	CG
8. NUMBER OF STORIES	2 STORIES
9. MAX. BUILDING HEIGHT	50'-0" PROPOSED: 31'-2"
10. LOT SIZE	21,718.26 SF
11. GROSS FLOOR AREA / FAR ALLOWED	13194.05 /21718.26 = 0.61 1.00
12. EXISTING / PROPOSED USES	M, R-2, S-2
13. YEAR (E) STRUCTURE BUILT:	-
14. SOIL CONDITION	UNDISTURBED
15. FIRE SPRINKLERS	YES
16. SETBACKS:	FRONT: 15'-0" STREET SIDE: 10'-0" SIDE & REAR: 15'-0"
17. SCOPE OF WORK:	NEW 2 STORY MIXED USE BUILDING
18. SCHEDULE OF AREAS	ENCLOSED
	NEW
FIRST FLOOR	6,604.86 sf
SECOND FLOOR	6,267.42 sf
TOTAL	12,872.28 sf

PROJECT TEAM

OWNER REGINALDO GAETA 1514 MISSION AVE OCEANSIDE CA 92058 PHONE (619) 671 0170 X 105 CONTACT: ARMANDO CARMONA	CIVIL LTEC ENGINEERING CONSULTANTS - PHONE: (619) 542 7600 CONTACT: Luis E. Tamayo, PE ltamayo@tec-group.com
PROJECT MANAGER ARMANDO CARMONA CONTACT: Armando Carmona 466 3RD AVE CHULA VISTA, CA 91910 PHONE: (619) 425 2800 EMAIL: armandocarmonajr@hotmail.com	CIVIL LTEC ENGINEERING CONSULTANTS - PHONE: (619) 542 7600 CONTACT: Luis E. Tamayo, PE EMAIL: ltamayo@tec-group.com
ARCHITECT PABLO PAREDES, AIA CONTACT: Pablo Paredes 2933 K ST SAN DIEGO, CA 92102 PHONE: (858) 736 5370 EMAIL: pablo@paredes.com	ELECTRICAL, MECHANICAL & PLUMBING JULIAN'S DESIGN - PHONE: (619) 215 4275 CONTACT: Julian S. Orozco EMAIL: juliansdesign@yahoo.com
STRUCTURAL LAMAR ENGINEERING 217 LANDIS AVE. SAN DIEGO, CA 92106 CONTACT: Luis Labrada, PE PHONE: (619) 476 4045 EMAIL: llabrada@lamareng.com	LANDSCAPE ANGELINA SOTELO - PHONE: (619) 719 6756 CONTACT: Angelina Sotelo, ASLA EMAIL: ltamayo@tec-group.com
	RENDERINGS LUIS LERMA - PHONE: +52 (664) 204 1925 CONTACT: Luis Lerma EMAIL: luismanuelo@hotmail.com

SHEET INDEX

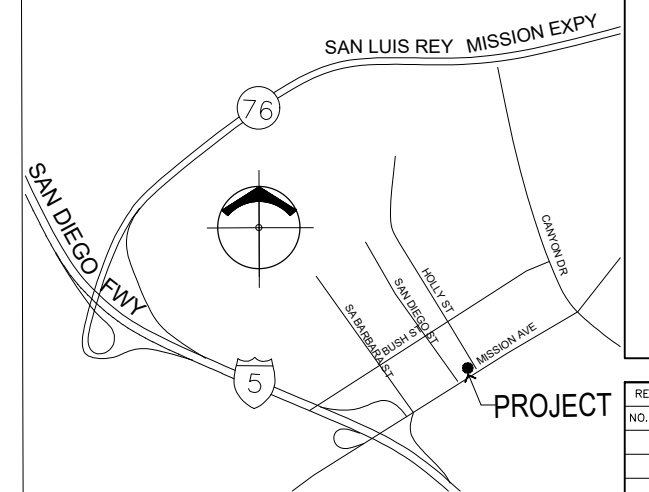
ARCHITECTURAL		
1	CD.1	GENERAL NOTES, LOCATION MAP, PROJECT DATA
2	CD.2	SITE PLAN
3	CD.3	FIRST LEVEL FLOOR PLAN
4	CD.4	FIRST LEVEL REFLECTED CEILING PLAN
5	CD.5	SECOND LEVEL FLOOR PLAN
6	CD.6	SECOND LEVEL REFLECTED CEILING PLAN
7	CD.7	ROOF PLAN
8	CD.8	ELEVATIONS SOUTH & EAST
9	CD.9	ELEVATIONS NORTH & WEST
10	CD.10	SECTIONS A & B
11	CD.11	SECTIONS C & D
12	CD.12	DOOR & WINDOW SCHEDULE
13	CD.13	INTERIOR ELEVATIONS
14	CD.14	INTERIOR ELEVATIONS
15	CD.15	APARTMENT ENLARGED PLAN

PABLO PAREDES AIA
ARCHITECT
CEL (858) 736 5370
2933 K ST, SAN DIEGO CA 92102
pablo@paredes.com



MISSION CENTER
1522 MISSION AVE
OCEANSIDE CA 92058

VICINITY MAP



PERSPECTIVES



REVISIONS		
NO.	DATE	ISSUE

PROJECT NO.

PP2305

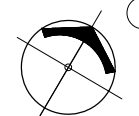
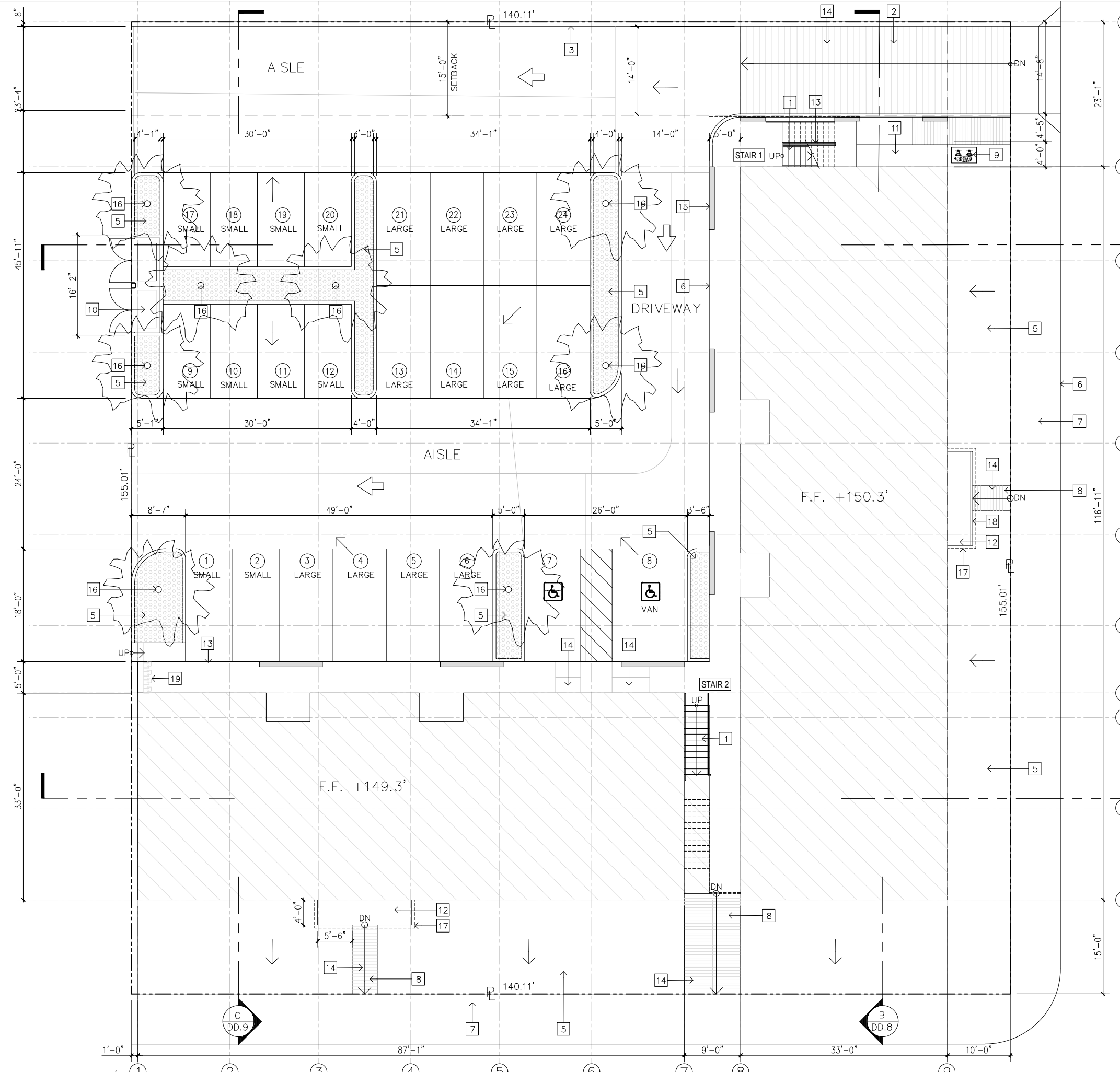
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10/10/2023

SHEET TITLE
COVER SHEET
INDEX/LOCATION
TEAM, DATA, NOTES

CD.1

SHEET 1 OF 15



SITE PLAN

SCALE: 1/16" = 1'-0"

HALF SCALE PLOT

HOLLY ST.

MISSION AVE.

LEGEND

	ENCLOSED BUILDING
	PLANTER
	ACCESSIBLE AISLE

SITE PLAN KEYNOTES

1	WOOD STAIRS
2	DRIVEWAY
3	CMU FENCE
4	-
5	PLANTER
6	(E) CURB
7	(E) SIDEWALK
8	WALKWAY
9	BACKFLOW PREVENTOR
10	TRASH BINS ENCLOSURE
11	JANITOR & STORAGE
12	LANDING
13	GUARDRAIL
14	RAMP
15	NEW CONCRETE WALL, TYP.
16	-
17	CANVAS CANOPY
18	TRENCH DRAIN
19	GAS METERS

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 ARCHITECT
 CEL (858) 736 5370
 2933 K ST. SAN DIEGO CA 92102
 pablo@paredes.com



MISSION CENTER
 1522 MISSION AVE
 OCEANSIDE CA 92058

REVISIONS

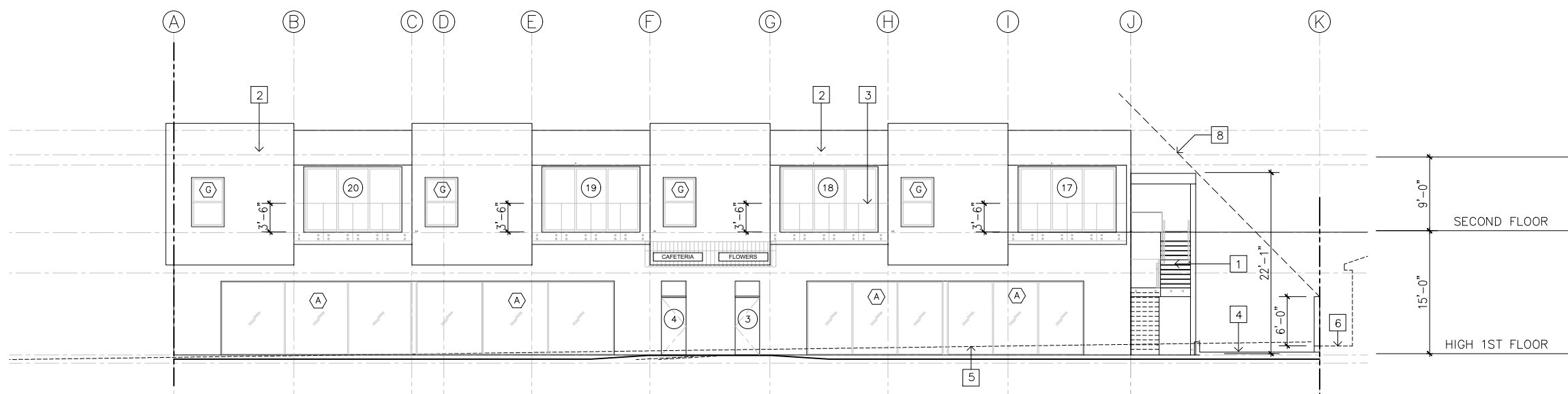
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PROJECT NO.
PP2305

DATE
10/10/2023

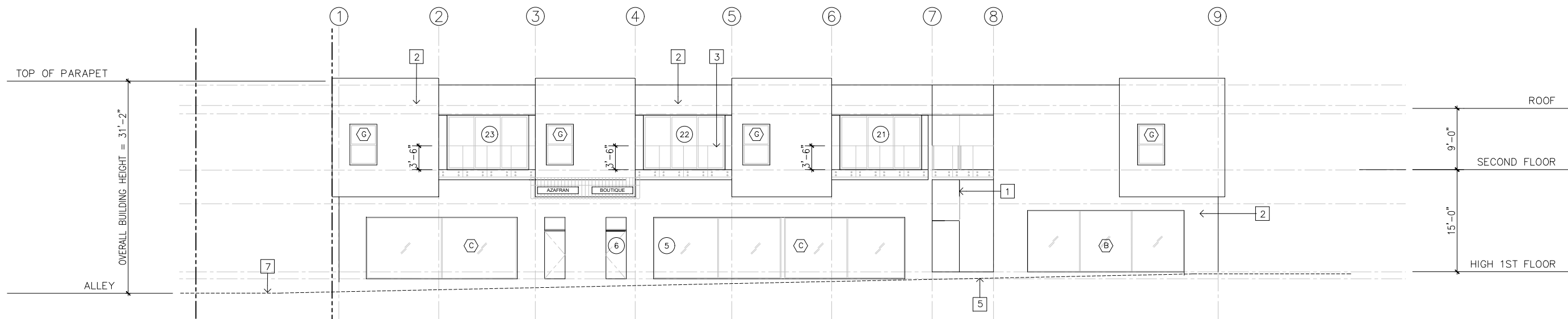
SHEET TITLE
SITE PLAN

CD.2
SHEET 2 OF 15



ELEVATION EAST

SCALE: 1/8" = 1'-0"

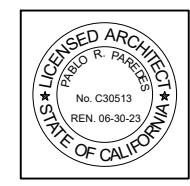


ELEVATION SOUTH

SCALE: 1/8" = 1'-0"

ELEVATIONS KEYNOTES	
1	WOOD STAIR
2	STUCCO
3	42" HIGH GLASS GUARDRAIL
4	DRIVEWAY
5	LINE OF SIDEWALK BEYOND
6	GRADE
7	ALLEY
8	VISIBILITY SETBACK
9	-
10	-

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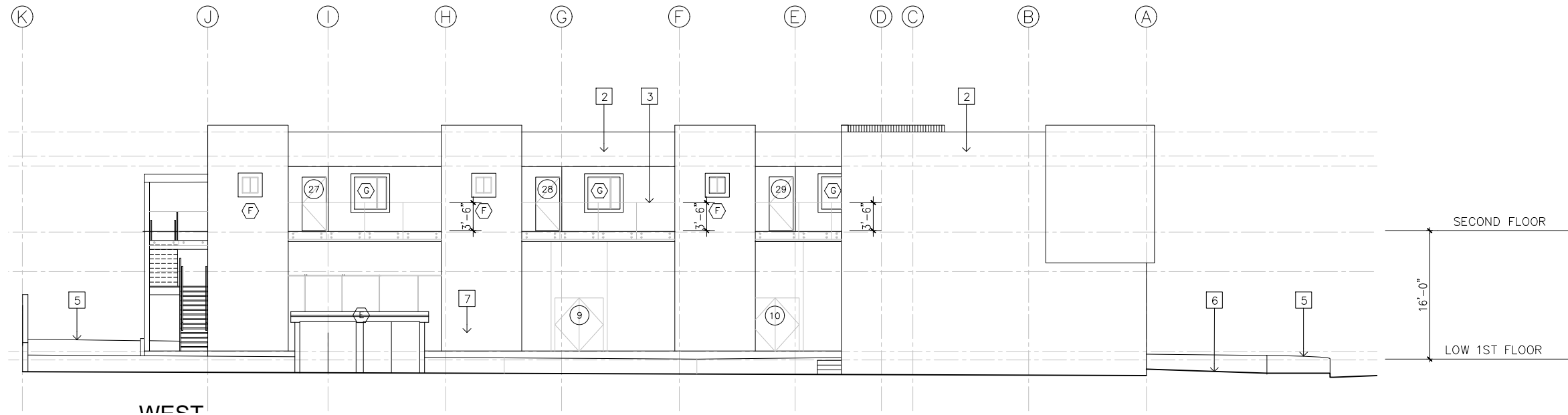


MISSION CENTER
 1522 MISSION AVE
 OCEANSIDE CA 92058

REVISIONS		
NO.	DATE	ISSUE

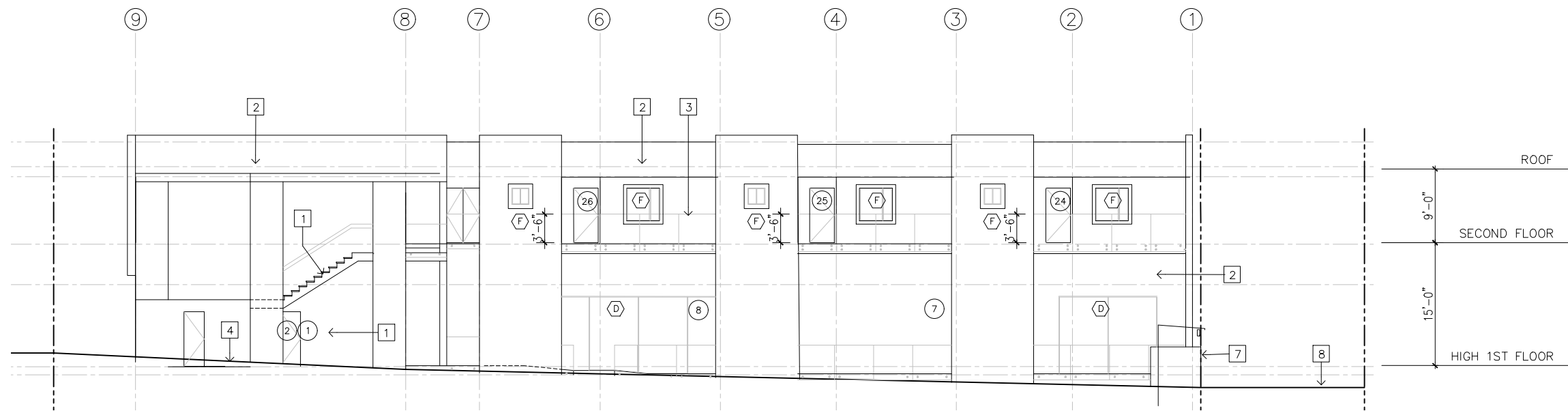
PROJECT NO.	PP2305
DATE	10/10/2023
SHEET TITLE	SOUTH & EAST ELEVATIONS

CD.8
 SHEET 8 OF 15



ELEVATION WEST

SCALE: 1/8" = 1'-0"



ELEVATION NORTH

SCALE: 1/8" = 1'-0"

ELEVATIONS KEYNOTES

- 1 WOOD STAIR
- 2 STUCCO
- 3 42" HIGH GLASS GUARDRAIL
- 4 DRIVEWAY
- 5 LINE OF SIDEWALK BEYOND
- 6 GRADE
- 7 TRASH ENCLOSURE
- 8 ALLEY
- 9 -
- 10 -

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MISSION CENTER
 1522 MISSION AVE
 OCEANSIDE CA 92058

REVISIONS		
NO.	DATE	ISSUE

PROJECT NO.
PP2305

DATE
10/10/2023

SHEET TITLE
NORTH & WEST
ELEVATIONS

CD.9
SHEET 9 OF 15

PABLO PAREDES, AIA
2933 K STEET, SAN DIEGO CA 92102
PHONE: (858) 736 5370

**MISSION CENTER
1522 MISSION AVE**

PROJECT DESCRIPTION

In a 21,718 sf empty lot at the corner of Mission Ave and Holly St, we are proposing the construction of a two story 12,872 sf mixed use building with 4 shops in the first floor, 7 two bedroom apartments in the second level and a 24 spaces parking lot in the rear.

The building will count with roof solar panels, a wheelchair lift, shadow trees and planters.

ITEM 2





Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

General Information

Project/Property Address: 1426 South Coast Highway

Assessor's Parcel Number: 152-200-02-00 Lot Area (acres or SF): 11,000 SF

Existing Use: Commercial/ Tires 4 Less

Brief Description of Proposal:
Proposed two new modular structures for storage and tire changing services

Property Owner & Applicant Information

Owner Name: Maria Del Carmen Cabral

Phone Number & E-Mail Address: (951)324-3145 Diana92562@gmail.com

Applicant Name: Martin Polanco

Phone Number & E-Mail Address: (760)708-8168 martin@waabistudio.com

To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf Maria Del Carmen Cabral

Signature of Property Owner
(or attach a Letter of Authorization)

9/25/23

Requested Meeting Date/Time (please provide 2 options)

1st choice date: 10/25/23 Time preference: 9:30 am 10:30 am either

2nd choice date: 11/08/23 Time preference: 9:30 am 10:30 am either

Requested Divisions to Attend (Planning attends all meetings)

Building Fire Water Engineering Transportation Solid Waste Other _____

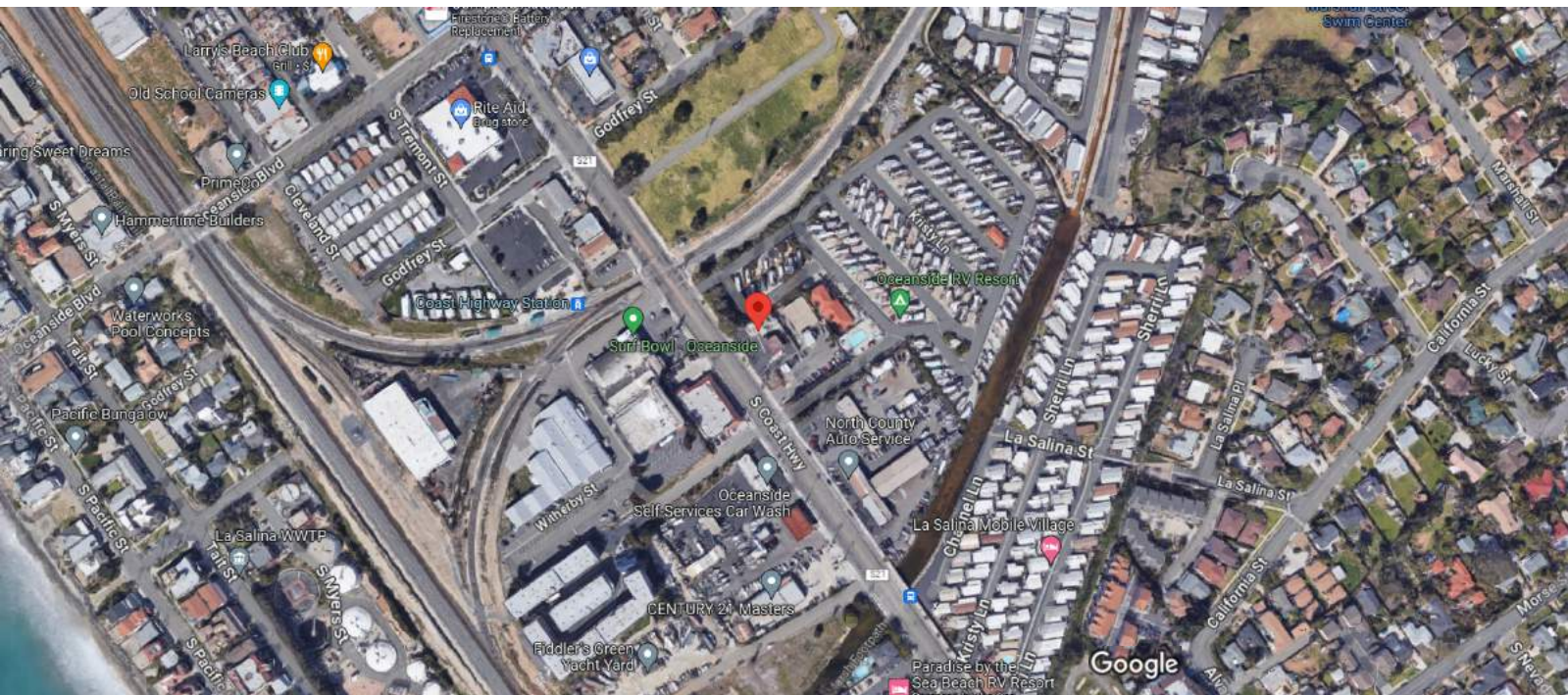
Email the following PDF documents to PlanningStaff@oceansideca.org:

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

To be completed by City staff:

Assigned meeting date: December 13, 2023 Time: 10:30am

Assigned Project Planner: Nathalie Vazquez



Imagery ©2023 Google, Imagery ©2023 Airbus, Data CSUMB SFML, CA OPC, Maxar Technologies, U.S. Geological Survey, USDA/FPAC/GE0, Map data ©2023 200 ft



1426 S Coast Hwy

Building



Directions



Save



Nearby



Send to phone



Share



1426 S Coast Hwy, Oceanside, CA 92054

Photos



At this place

Tires 4 Less

4.4 (94)

Tire shop · Floor 1

Closed · Opens 8:30 AM Fri



1426 S COAST HWY
OCEANSIDE, CA

GENERAL NOTES

- CONTRACTOR SHALL, AS PART OF THIS CONTRACT, FURNISH ALL INSURANCE REQUIRED BY THE OWNER AND FURNISH ALL MATERIAL, LABOR TRANSPORTATION AND EQUIPMENT AND PROPERLY INSTALL ALL WORK SPECIFIED HEREIN, SHOWN ON THE DRAWINGS, OR REASONABLY IMPLIED TO COMPLETE THE CONSTRUCTION. INCLUDED AS PART OF THE WORK OF THESE SECTIONS, NOT NOT NECESSARILY LIMITED BY THEM, ARE THE FOLLOWING: ALL MATERIALS, LABOR, TOOLS AND EQUIPMENT REQUIRED TO PROPERLY EXECUTE AND COMPLETE HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINISHING OF HIS WORK IN THE MANNER AND FORM PRESCRIBED BY THE PLANS AND SPECIFICATIONS. REPORT DESCRENCIES OR ERRORS AND OMISSIONS IN THE PLANS AND SPECIFICATIONS FOR THE WORK PRIOR TO SUBMITTING BID.
- CONTRACTORS ARE TO PROTECT ALL PROPERTY AND THE WORK OF ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES WHICH GOVERN THIS AREA.
- ALL CONSTRUCTION AND INSTALLATION SHALL COMPLY ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES WHICH GOVERN THIS AREA.
- CONTRACTORS SHALL INDIVIDUALLY WARRANT FOR ONE YEAR ALL MATERIALS AND WORKMANSHIP EXCEPT AS OTHERWISE AGREES. IN CASE OF CONFLICT, NOTES AND SPECIFIC DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE "GENERAL NOTES AND SPECIFICATIONS" AND OVER TYPICAL DETAILS.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
- ITEMS SPECIFIED ON PLANS AND SPECIFICATIONS REPRESENT THE TYPE AND QUALITY REQUIRED. SUBCONTRACTORS MAY SUBSTITUTE "EQUAL" ITEMS IN THEIR BID WHEN APPROVED BY THE OWNER AND ARCHITECT.
- CONTRACTORS SHALL, UPON COMPLETION OF THIS WORK, CLEAN AND CLEAR THE AREA OF ALL DEBRIS OR ANY OTHER MATTER CAUSED BY HIS OPERATION.
- THE OWNER RESERVES THE RIGHT TO CHANGE, INCREASE OR REDUCE THE WORK AS MAY BE NECESSARY.
- CONTRACTOR SHALL NOT MAKE CHANGES NOR DO EXTRA WORK WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR HIS REPRESENTATIVE.
- THE ARCHITECT WILL IN NO WAY BE RESPONSIBLE FOR THE WAY IN WHICH FIELD WORK IS PERFORMED, SAFETY IN, ON OR AROUND THE JOBSITE, METHODS OF PERFORMANCE OR TIMELINESS OF PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT ANY DISCREPENCY OR OMISSION HE MAY DISCOVER.
- FENCES AND FREE STANDING MASONRY WALLS UP TO 36" IN HEIGHT DO NOT REQUIRE A BUILDING PERMIT. ALL THOSE OVER 36" IN HEIGHT REQUIRED A SEPARATE BUILDING PERMIT.
- SIGNS REQUIRE A SEPARATE PERMIT.
- WHERE CONTINUOUS OR SPECIAL INSPECTION IS REQUIRED BY THESE PLANS, A REGISTERED DEPUTY INSPECTOR APPROVED BY AND RESPONSABLE TO THE ARCHITECT AND BUILDING DEPARTMENT SHALL BE EMPLOYED BY THE OWNER.
- THESE DRAWINGS SHOW ONLY REPRESENTATIVE AND TYPICAL DETAILS TO ASSIST THE CONTRACTOR. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. ALL ATTACHMENTS, CONNECTIONS, FASTENINGS, ETC. SHALL BE PROPERLY SECURED IN CONFORMANCE WITH BEST PRACTICE, AND CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THE SAME. ALL SPECIFICATIONS AND DETAILS INCLUDED ON THESE DRAWINGS ARE INTENDED TO INDICATE A PARTICULAR LEVEL OF QUALITY FOR THE PROJECT. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL INSTALL ALL MATERIALS AND SYSTEMS IN STRICT ACCORDANCE WITH EACH SPECIFIC MANUFACTURERS INSTALLATION INSTRUCTIONS. ALL MANUFACTURERS RECOMMENDATIONS FOR MATERIAL INSTALLATION SHALL TAKE PRECEDENCE OVER ANY METHOD IMPLIED IN THESE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO COMMENCING WORK AND NOTIFY ARCHITECT OF ANY DISCREPENCIES.
- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. DO NOT SCALE ANY DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPENCIES.
- THE BUILDING INSPECTOR WILL RECHECK FOR EXPANSIVE SOILS AND/OR GRADING REQUIREMENTS AT THE FIRST INSPECTION

SHEET INDEX

- S-4 STRUCTURE 2 DETAILS
- 1 - GENERAL
 - A000 TITLE SHEET
 - A001 ABBREVIATIONS & LEGEND
 - A002 GENERAL NOTES
 - A003 ACCESSIBILITY DETAILS
 - A004 ACCESSIBILITY DETAILS + NOTES
 - A005 ACCESSIBILITY DETAILS
 - A006 EGRESS PLAN
- 2 - ARCHITECTURAL
 - A100 SITE PLAN
 - A101 EXISTING + DEMO PLAN
 - A103 RCP
 - A201 ELEVATIONS
 - A301 SECTIONS
 - A500 WINDOW + DOOR SCHEDULE
- 3 - STRUCTURAL
 - S-1 STRUCTURE 1 PLANS
 - S-2 STRUCTURE 1 DETAILS
 - S-3 STRUCTURE 2 PLANS

PROJECT TEAM

OWNER:	MARIA DEL CARMEN CABRAL 28981 THORNHILL DRIVE SUN CITY, CA 92586 951-324-3145
DESIGNER:	WAABI STUDIO MARTIN POLANCO SD, CA 92113 760.708.8168 MARTIN@WAABISTUDIO.COM
STRUCTURAL:	INTERSTATE STEEL STRUCTURES 831 S. STATE ST. SAN JACINTO, CA 92583 1-888-654-2435
CONTRACTOR:	BAUTISTA REMODELING AND DESIGN #1080488 FRANCISCO BAUTISTA 1130 CLEO CT ESCONDIDO, CA 92027 760-277-8156 BAUTISTAREMODELINGANDDESIGN@GMAIL.COM

GOVERNING CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA GREEN BUILDING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 BUILDING ENERGY EFFICIENCY STANDARDS

DEFERRED

- FIRE SPRINKLERS
-
-
-

SCOPE OF WORK

- DEMO OF CANOPIES
- (N) PREFABRICATED STRUCTURES, 1061 SF & 504 SF
- ELECTRICAL LIGHTING ONLY
- NO MECHANICAL OR PLUMBING FOR (N) STRUCTURES

SITE DATA

PROJECT ADDRESS:	1426 S COAST HWY OCEANSIDE CA 92586
LOT SIZE:	11,000 SF
APN:	152-200-02-00
LEGAL DESCRIPTION:	TR 622 BLK 14*POR*
SUBDIVISION:	--

ZONING DATA

ZONING DESIGNATION: C2 - GENERAL COMMERCIAL

OVERLAY DESIGNATIONS: ---

BASE FAR: - (--- SF)

OCCUPANCY: S-1, B

EXISTING USE: B, COMMERCIAL

PROPOSED USE: NO CHANGES

FRONT YARD SETBACK: 5'-0" FEET

SIDE YARD SETBACK: NOT REQUIRED

STREET SIDE YARD SETBACK: 5'-0" FEET

REAR YARD SETBACK: NOT REQUIRED

MAX. ALLOWABLE HEIGHT: 45'-0" FEET

BUILDING DATA

CONSTRUCTION TYPE: VB

YEAR BUILT: 2010

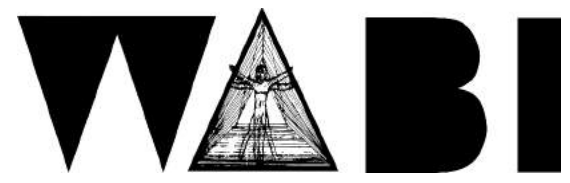
EXISTING # OF STORIES: 1

PROPOSED # OF STORIES: NO CHANGES

MAX. ALLOWABLE HEIGHT: 45'-0" FEET

PROPOSED HEIGHT: 14'-0" FEET (TOP OF RIDGE)

FIRE SPRINKLERS: NO



WAABI STUDIO

WILLING ABLE BODIES INTERACT

SD, CA 92113
760.708.8168
martin@waabistudio.com

PROJECT:

**TIRES 4 LESS
STORAGE UNITS**

1426 S COAST HWY
OCEANSIDE, CA

VICINITY MAP:

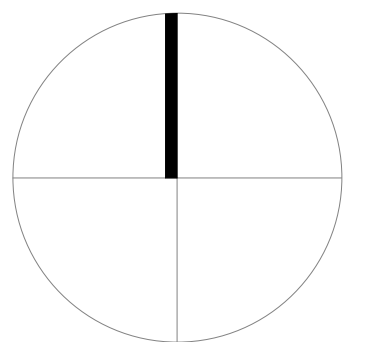


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ISSUE DATE:

PROJECT STATUS:

Project Status

SCALE:

AS INDICATED

SHEET NAME:

TITLE SHEET

SHEET NUMBER:

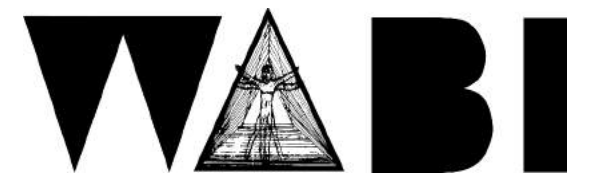
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ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	HVAC	HEATING, VENTILATING AND AIR CONDITIONING
ADD	ADDITIONAL	IN	INCH
ADJ	ADJUSTABLE	INCAN	INCADESCENT
AFF	ABOVE FINISH FLOOR	INCL	INCLUDING
ALUM	ALUMINIUM	INS	INSULATION
APPX	APPROXIMATELY	INT	INTERIOR
BC	BRICK COURSE	JT	JOINT
BD	BOARD	LAM	LAMINATED
BLDG	BUILDING	LAV	LAVATORY
BLK	BLOCK	LP	LOW POINT
BLKG	BLOCKING	LTG	LIGHTING
BM	BEAM	MAT	MATERIAL
BOT	BOTTOM	MAX	MAXIMUM
BUR	BUILT-UP ROOFING	MECH	MECHANICAL
CEM	CEMENT	MFR	MANUFACTURER
CI	CAST IRON	MIN	MINIMUM
CIP	CAST-IN-PLACE	MISC	MISCELLANEOUS
CJ	CONTROL JOINT	MTL	METAL
CLG	CEILING	NIC	NOT IN CONTRACT
CLR	CLEARANCE	NO	NUMBER
CLO	CLOSET	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
COL	COLUMN	OHD	OVERHEAD DOOR
COMP	COMPRESSIBLE	OPNG	OPENING
CONC	CONCRETE	PC	PRECAST
CONST	CONSTRUCTION	PGL	PLATE GLASS
CONT	CONTINUOUS	PL	PLATE
CPT	CARPET	PLAM	PLASTIC LAMINATE
CRS	COURSES	PLUM	PLUMBER
CT	CERAMIC TILE	PT	PAINT
DET	DETAIL	PTN	PARTITION
DF	DRINKING FOUNTAIN	QTY	QUANTITY
DIA	DIAMETER	R	RADIUS OR RISER
DN	DOWN	RA	RETURN AIR
DR	DOOR	RD	ROOF DRAIN
DWG	DRAWING	REINF	REINFORCING
EA	EACH	REQD	REQUIRED
EJ	EXPANSION JOINT	RM	ROOM
EL	ELEVATION	RO	ROUGH OPENING
ELEV	ELEVATOR	SC	SOLID CORE
ENC	ENCLOSURE	SECT	SECTION
EQ	EQUAL	SHT	SHEET
EQUIP	EQUIPMENT	SIM	SIMILAR
ERD	ELECTRICAL WATER COOLER	SPEC	SPECIFICATIONS
EXIST	EXISTING	SQ	SQUARE
EXP	EXPANSION	SSTL	STAINLESS STEEL
EXT	EXTERIOR	STA	STATION
FD	FLOOR DRAIN	STD	STANDARD
FDN	FOUNDATION	STL	STEEL
FE	FIRE EXTINGUISHER	STOR	STORAGE
FEC	FIRE EXTINGUISHER CABINET	STRUC	STRUCTURAL
FFT	FINISHED FLOOR TRANSITION	SUSP	SUSPENDED
FHC	FIRE HOSE CABINET	T	TREAD
FIN	FINISH	THK	THICKNESS
FIXT	FIXTURE	TO	TOP OF
FLR	FLOOR	TOF	TOP OF FOOTING
FLUOR	FLUORESCENT	TOR	TOP OF RAIL
FOC	FACE OF FINISH	TOS	TOP OF STEEL
FOF	FACE OF FINISH	TOW	TOP OF WALL
FOM	FACE OF MASONRY	TYP	TYPICAL
FR	FIRE-RATED	UNO	UNLESS NOTED OTHERWISE
FT	FEET	VCT	VYNIL
FTG	FOOTING	VERT	VERTICAL
FUB	FLOOR UTILITY BOX	VIF	VERIFY IN FIELD
GA	GAUGE	VP	VEENER PLASTER
GALV	GALVANIZED	VWC	VINYL WALL COVERING
GC	GENERAL CONTRACTOR	W/	WITH
GL	GLASS	WC	WATER CLOSET
GWB	GYPSUM WALLBOARD	WD	WOOD
GYP	GYPSUM	WDW	WINDOW
HC	HOLLOW CORE	W/O	WITHOUT
HDW	HARDWARE	WPR	WATERPROOFING
HGT	HEIGHT		
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HP	HIGH POINT		
HTR	HEATER		

DRAWING SYMBOLS

	CENTER LINE
	PROPERTY LINE
	PROPERTY SETBACK LINE
	COLUMN GRID AND BUBBLE
	EXTERIOR BUILDING ELEVATION
	BUILDING SECTION
	DETAIL SECTION
	ENLARGED DETAIL REFERENCE
	INTERIOR ELEVATION
	WINDOW TAG
	DOOR TAG
	PARTITION TYPE
	ROOM NAME & NUMBER
	REVISION CLOUD & DELTA #
	SLOPE DIRECTION
	SPOT ELEVATION ABOVE SEA LEVEL
	NORTH ARROW



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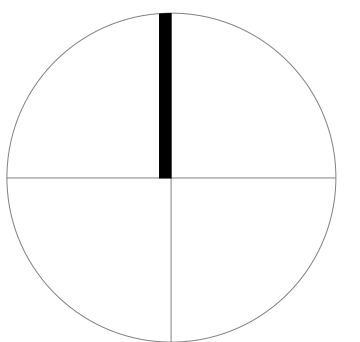
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AS INDICATED

SHEET NAME:
**ABBREVIATIONS
& LEGEND**

SHEET NUMBER:

A001

ELECTRICAL NOTES

- ALL NEW OUTLETS ARE AFCI (ARQ-FAULT CIRCUITINTERRUPTER TYPE)
- ALL 125 VOLT 15 AND 20 AMPERE RECEPTACLES ARE TAMPER RESISTANT RECEPTACLES
- SMOKE ALARMS ARE TO BE INTERCONNECTED AND HARD-WIRED WITH BATTERY BACK-UP.
- CARBON MONOXIDE ALARMS ARE TO BE INTERCONNECTED AND HARD-WIRED WITH BATTERY BACK-UP.
- THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC R314.3.4
- ALL INTERIOR/EXTERIOR LIGHTING SOURCES SHALL HAVE AN ILLUMINATION CAPACITY OF NOT LESS THAN ONE FOOR CANDLE.
- ENVIORMENTAL AIR DUCTS AND EXHAUST TERMINATIONS SHALL TERMINATE NO LESS THAN 3' FEET FROM A PROPERTY LINES AND 3' FROM OPENINGS INTO THE BUILDING.
- LIGHTING IN BATHROOMS SHALL HAVE ALL HIGH EFFICACY LUMINAIRE AND AT LEAST ONE LUMINAIRE MUST BE CONTROLLED BY A VACANCY SENSOR.
- KITCHENS: ALL THE INSTALLED WATTAGE IOF LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER. UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY.
- OTHER ROOMS: ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER.
- OUTDOOR LIGHTING: ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES AND MUST BE CONTROLLED BY A MANUAL ON/OFF SWITCH, AND CONTROLLED BY ONE OF THESE AUTOMATIC CONTROL TYPES: PHOTOCONTROL AND MOTION SENSOR, OR ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM (EMCS).
- SMOKE ALARMS AND SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
- SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN A 3-FOOT HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY OTHER SECTIONS OF THE CRC.
- SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN A 36-INCH HORIZONTAL PATH FROM THE SUPPLY REGISTERS OF A FORCED AIR HEATING OR COOLING SYSTEM AND SHALL BE INSTALLED OUTSIDE OF THE DIRECT AIRFLOW OF THOSE REGISTERS.
- SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH THE BATTERY BACKUP AND LOW BATTERY SIGNAL.
- SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SHALL BE LISTED IN ACCORDANCE WITH UL 217.
- COMBINATION SOMKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.
- SMOKE ALARM SYSTEM AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.

TITTLE 24 NOTES

- LIGHTING IN BATHROOMS SHALL HAVE ALL HIGH EFFICACY LUMINAIRE AND AT LEAST ONE LUMINAIRE MUST BE CONTROLLED BY A VACANCY SENSOR.
- KITCHENS: ALL THE INSTALLED WATTAGE OF LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER. UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY.
- OUTDOOR LIGHTING: ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO THE OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH, AND CONTROLLED BY ONE OF THESE AUTOMATIC CONTROL TYPES: PHOTOCONTROL AND A MOTION SENSOR, OR ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM (EMCS).
- OTHER ROOMS: ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER.
- AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED AND APPROVED AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED AND APPROVED.

CALGREEN NOTES

- ALL PLUMBING FICTURES AND FITTINGS WILL BE WATER CONSERVING.
- PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM).
- PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE (GPM).
- PROVIDE WATER CLOSET WITH A MAXIMUM FLOW OF 1.28 GALLONS FLUSH (GPF).
- PERMANENT VACCUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBS.
- PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC).
- MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING: 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.

FIRE NOTES

- DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC 3315.1.
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE COSTRUCTED OF NON-COMBUSTIBLE MATERIALS. [CRC R337.5.4; SDMC 14.9.0327 (E)(1)]
- DRIP EDGE FLASHING USED AT THE FREE EDGE OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE. [SDMC 14.9.0327 (g)]
- GLAZING FRAMES MADE OF VYNIL MATERIALS SHALL HAVE WELDED CORNERS, METAL RENINFORCEMENTS IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWDA/101/1.S2 STRUCTURAL REQUIREMENTS. [SDMC 14.9.0327 (g)]



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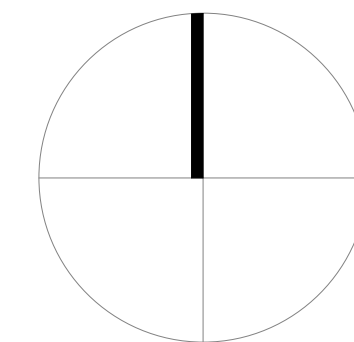
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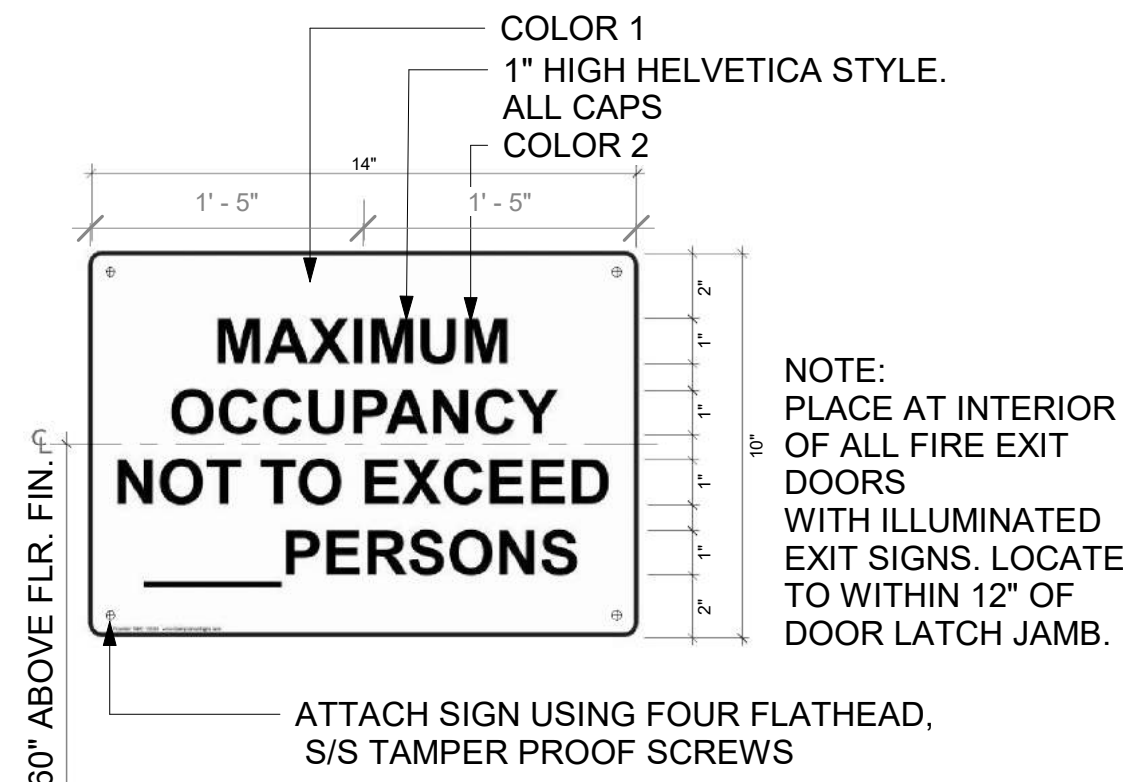
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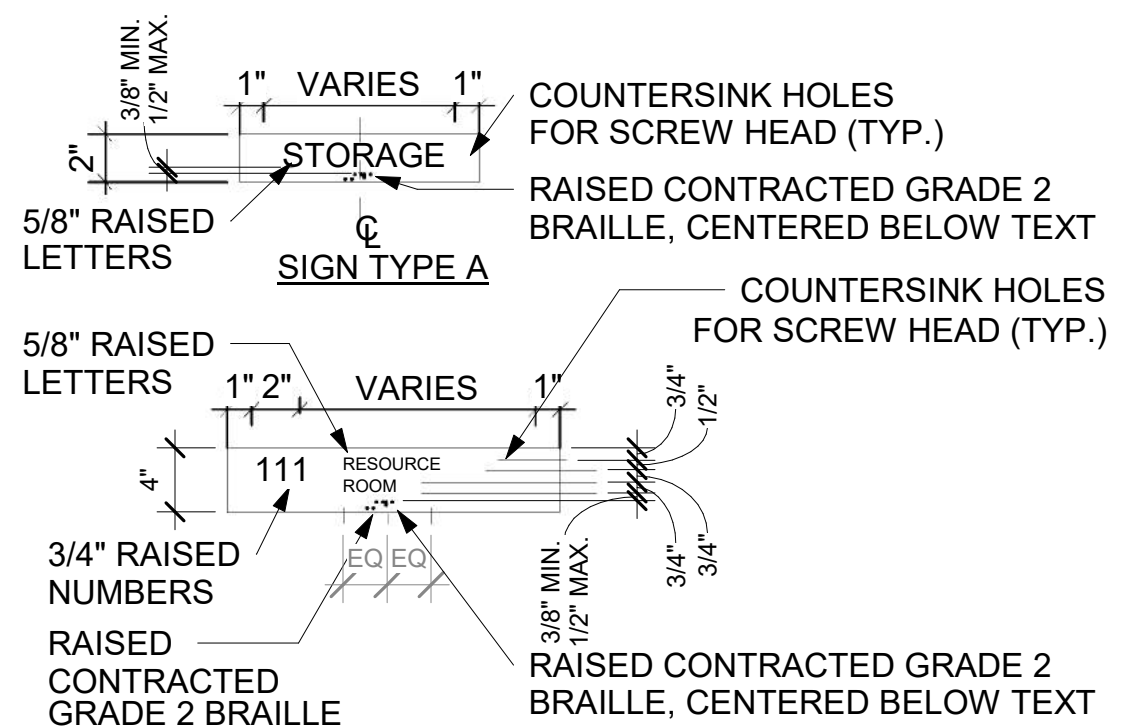
GENERAL NOTES

SHEET NUMBER:

A002



7 OCCUPANT LOAD SIGNAGE 1
1" = 1'-0"

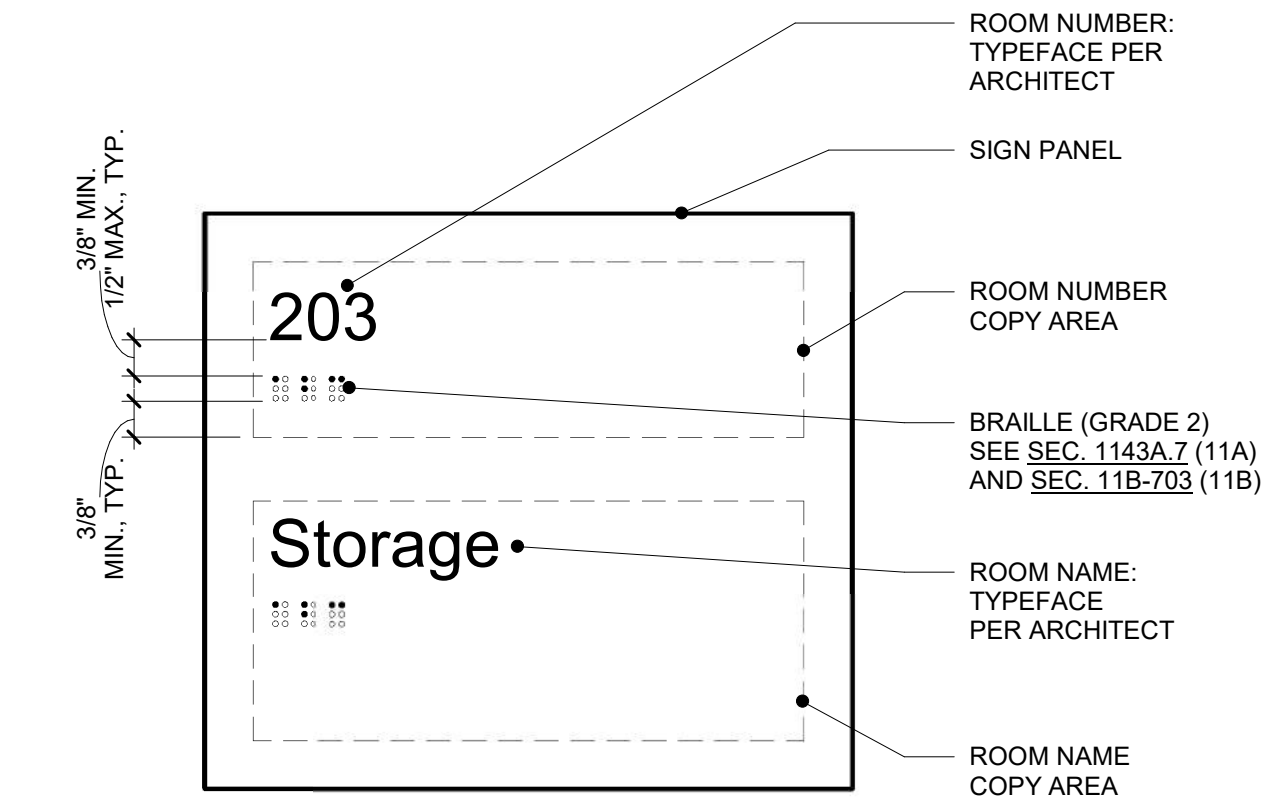


8 SIGN TYPES 1
1" = 1'-0"

TACTILE EXIT SIGNS CBC 1011.3 SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:

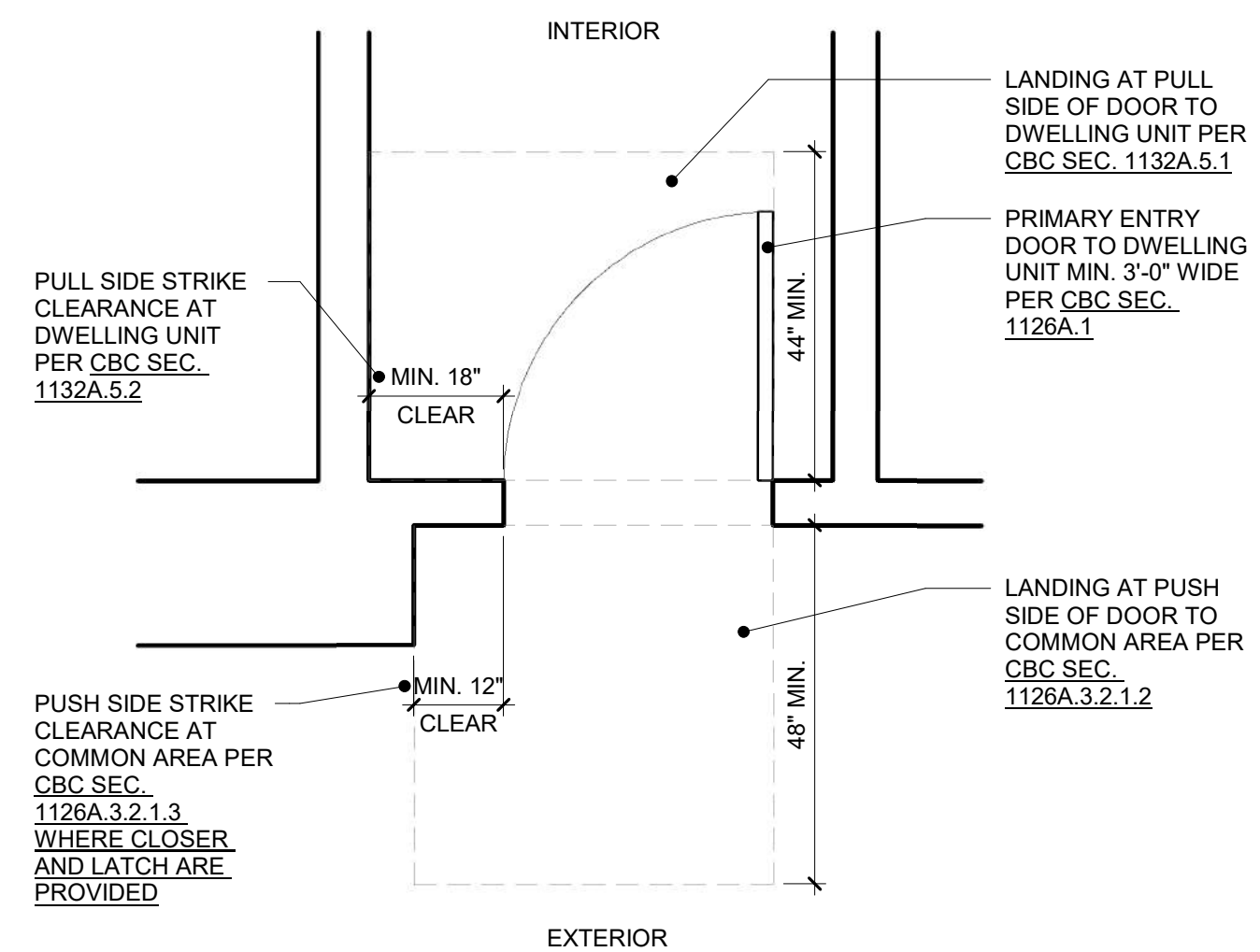
1. EACH GRADE-LEVEL EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT WITH THE WORD "EXIT."
2. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:
A. "EXIT STAIR DOWN"
B. "EXIT RAMP DOWN"
C. "EXIT STAIR UP"
D. "EXIT RAMP UP"
3. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE THAT DOES NOT UTILIZE A STAIR OR NON-ACCESSIBLE RAMP, OR AN EXIT PASSAGEWAY SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
4. EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
5. EACH EXIT DOOR THROUGH A HORIZONTAL EXIT SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "TO EXIT."
6. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC SEC. 1117B.5.8. THE SIGN SHALL BE LOCATED ON WALL ADJACENT TO LATCH OUTSIDE OF THE DOOR OR NEAREST ADJACENT WALL, PREFERABLY ON RIGHT. MOUNTING HEIGHT IS 60" A.F.F. TO CENTERLINE OF SIGN. SIZE TO BE 6"X6".
7. SIGN AND NUMERAL STYLE: HELVETICA REGULAR SIGN FACE: COLOR TO BE DETERMINED BY ARCHITECT. TYPICAL ALL PLASTIC SIGNS.
8. VERIFY ACTUAL TEXT AND ROOM NUMBERS WITH OWNER.
9. CONTRACTOR TO PROVIDE ALL INTERIOR SIGNAGE AS INDICATED IN DRAWINGS
10. BRAILLE: CONTRACTED GRADE 2 BRAILLE. TACTILE IS REQUIRED WHENEVER BRAILLE IS REQUIRED.
11. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

9 SIGNAGE REQUIREMENTS 1
1" = 1'-0"

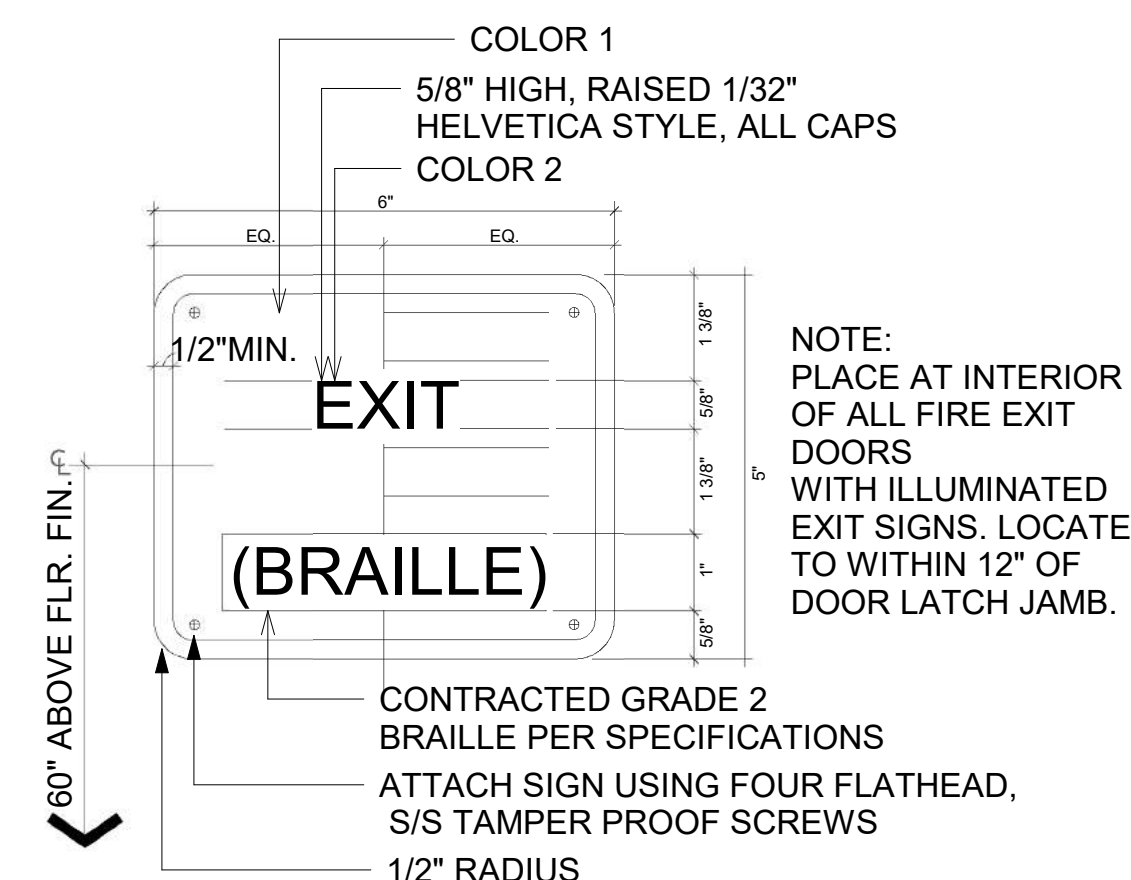


NOTES:
SIGNS SHALL MEET REQUIREMENTS IN SEC. 1143A FOR 11A AND SEC. 11B-703 FOR 11B.
VISUAL CHARACTERS SHALL BE 40 INCHES MINIMUM ABOVE THE FINISH FLOOR.
MATERIAL/COLORS OF PANEL AND COPY PER ARCHITECT.

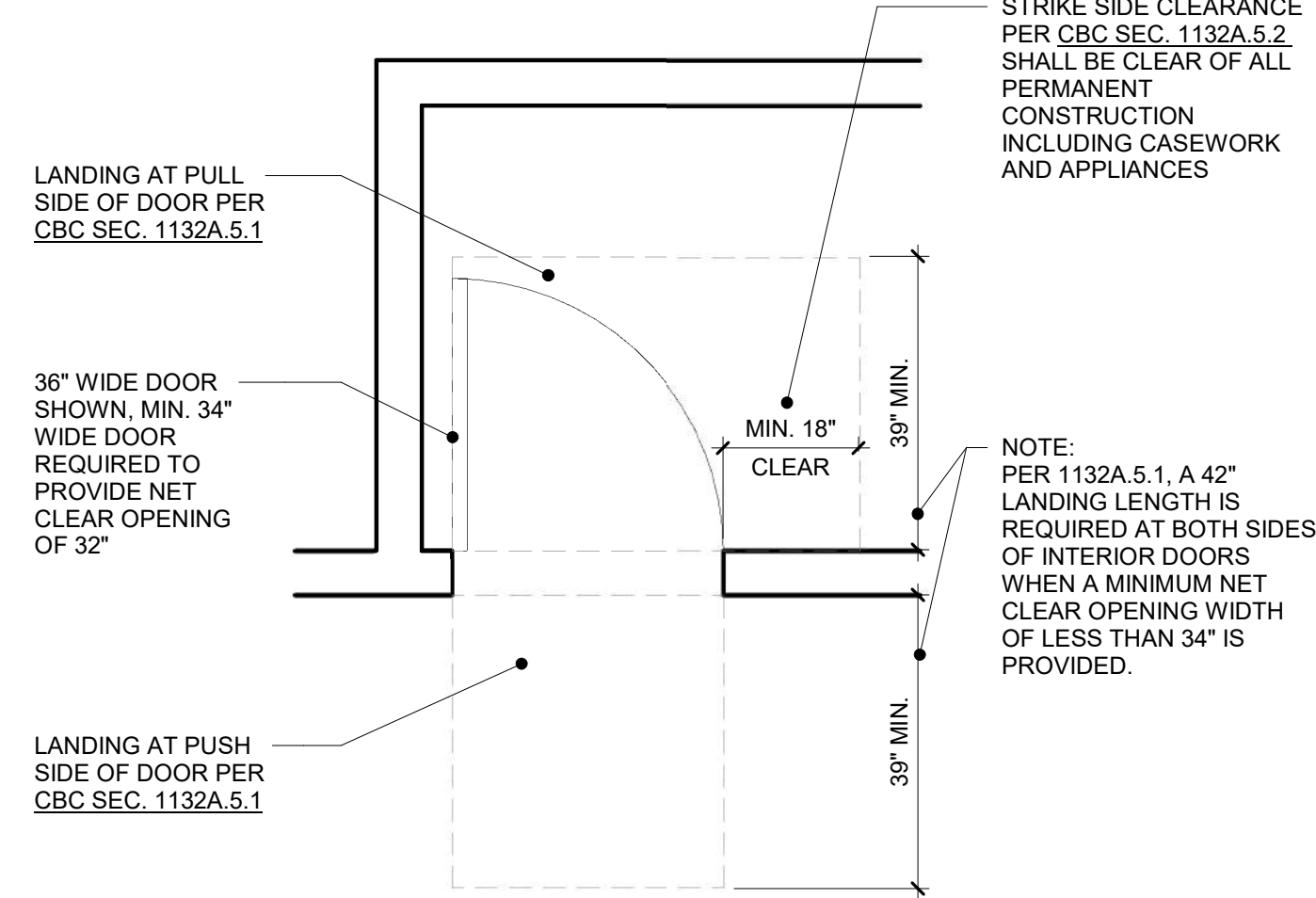
16 Signage Tactile Room Identification (CBC 11A&11B) 1
6" = 1'-0"



13 Door Dwelling Unit Entry (CBC 11A) 1
1/2" = 1'-0"

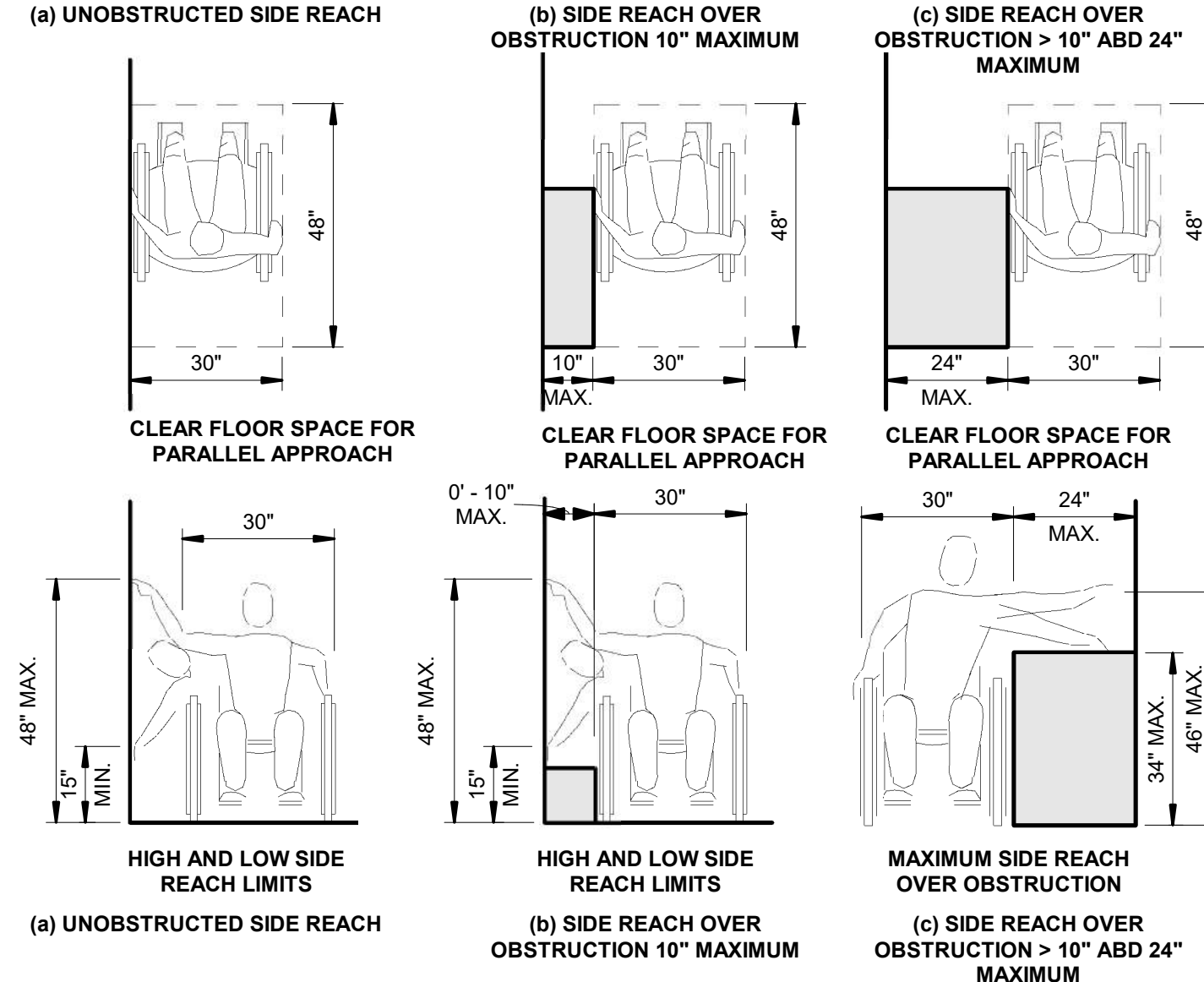


5 TACTILE EGRESS SIGNAGE 1
1" = 1'-0"

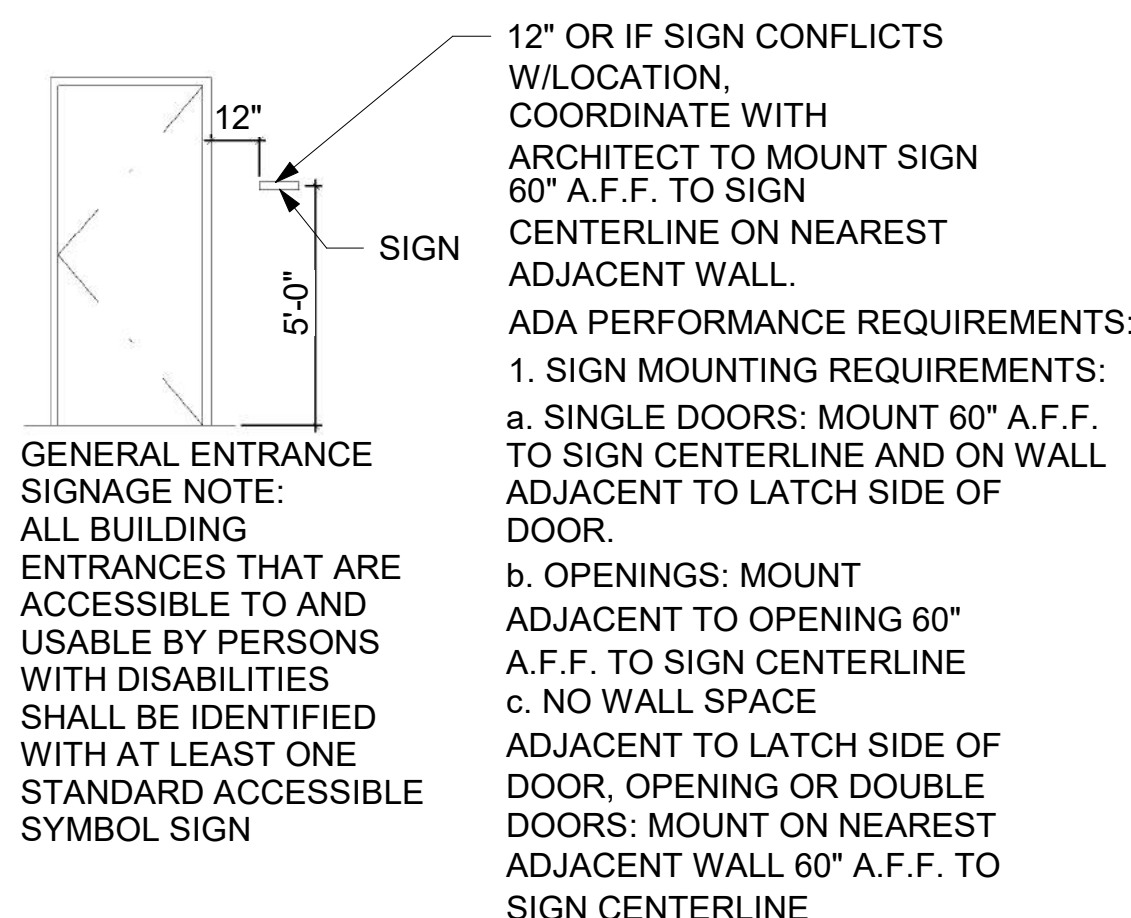


14 Door Dwelling Unit Interior (CBC 11A) 1
1/2" = 1'-0"

CBC FIGURE 11A-1J - SIDE REACH



3 Side Reach (CBC 1138A.3.2)
3/8" = 1'-0"



4 SIGNAGE MOUNTING DETAIL 1
1" = 1'-0"

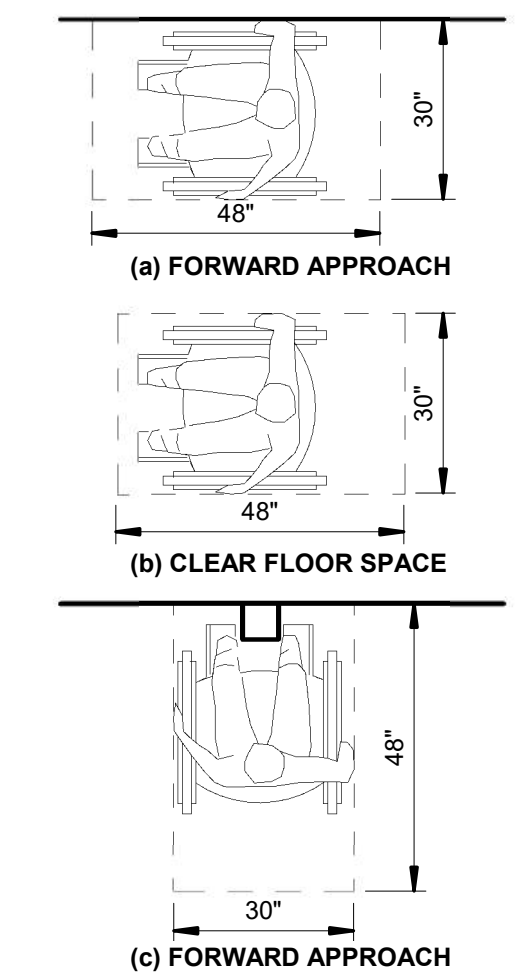
1138A.4.2 CLEAR FLOOR SPACE. CLEAR FLOOR SPACE COMPLYING WITH SECTION 1138A.1.4 (SEE SECTION BELOW) THAT ALLOWS A FORWARD OR PARALLEL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT ALL CONTROLS AND OPERATING MECHANISMS.

1138A.4.3 HEIGHT. CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED NO HIGHER THAN 48 INCHES, AND NO LOWER THAN 15 INCHES, A.F.F. MEASURED TO THE CENTER OF THE GRIP. IF THE REACH IS OVER AN OBSTRUCTION (FOR EXAMPLE, WASHER OR DRYER) CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED WITHIN THE REACH RANGES SPECIFIED IN SECTION 1138A.3. SEE 9/A054

1138A.4.4 OPERATION. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS AND OPERATING MECHANISMS SHALL BE NO GREATER THAN 5 POUNDS (22.2 N).

1138A.1.4.1 SIZE AND APPROACH. THE MINIMUM CLEAR FLOOR OR GROUND SPACE SHALL BE 30 INCHES BY 48 INCHES. THE MINIMUM CLEAR FLOOR OR GROUND SPACE MAY BE POSITIONED FOR FORWARD OR PARALLEL APPROACH TO AN OBJECT (SEE FIGURE 11A-1G (INCLUDED IN THIS DETAIL)). CLEAR FLOOR OR GROUND SPACE MAY BE PART OF THE KNEE AND TOE SPACE REQUIRED UNDER SOME OBJECTS UNLESS OTHERWISE SPECIFIED.

CBC FIGURE 11A-1G MINIMUM CLEAR FLOOR SPACE FOR WHEELCHAIRS



6 Size & approach & Controls and operating mechanisms (CBC 1138A.4 & 1138A.1.4)
3/8" = 1'-0"

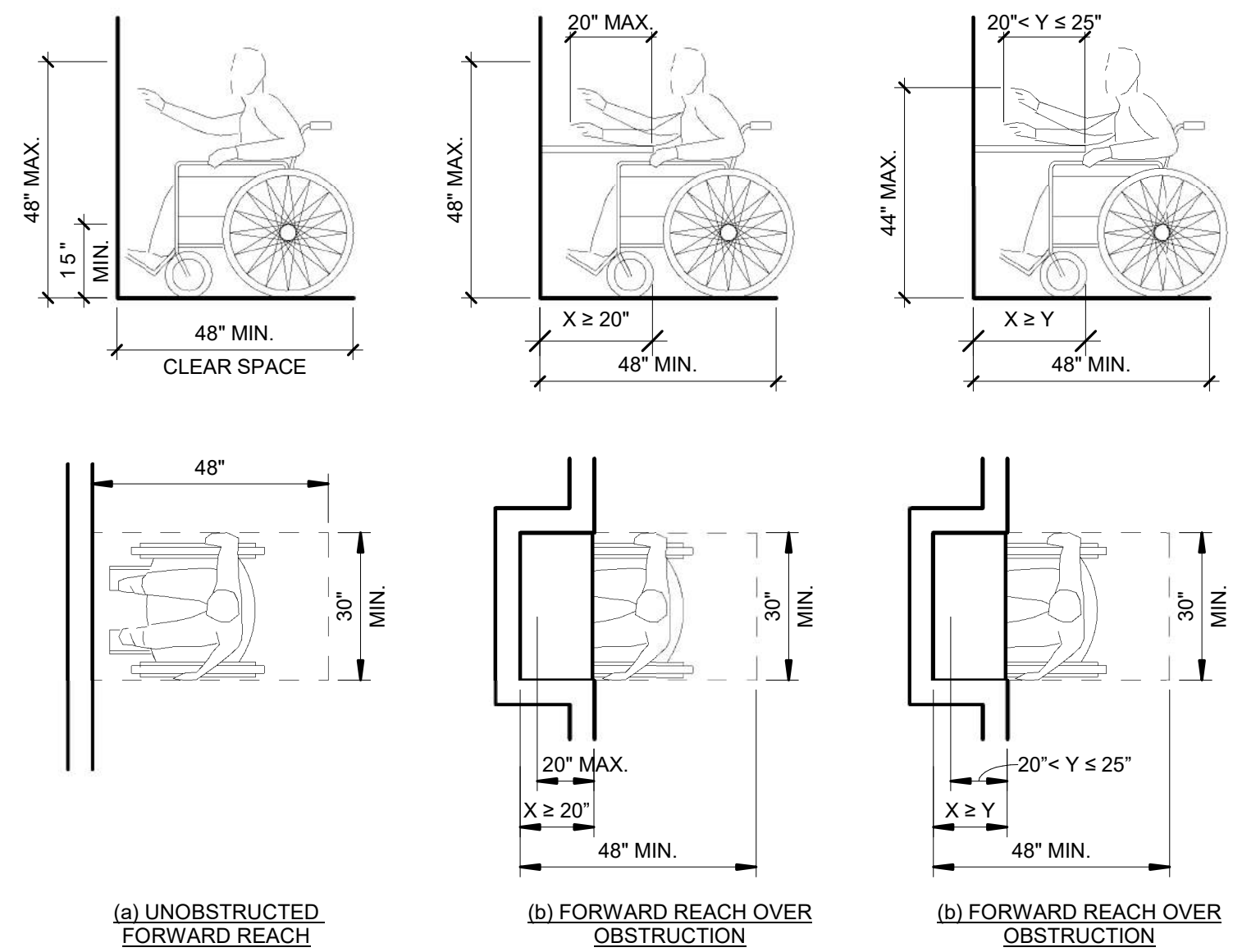
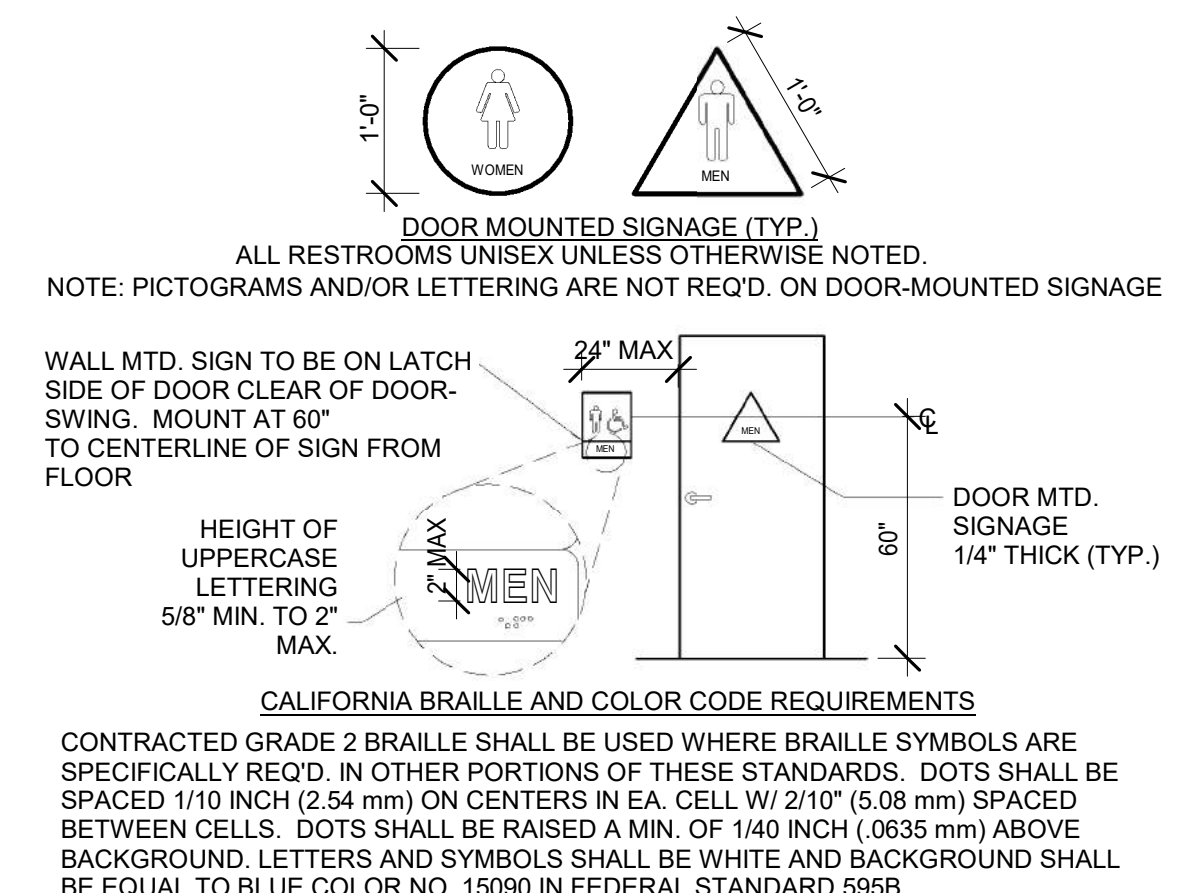


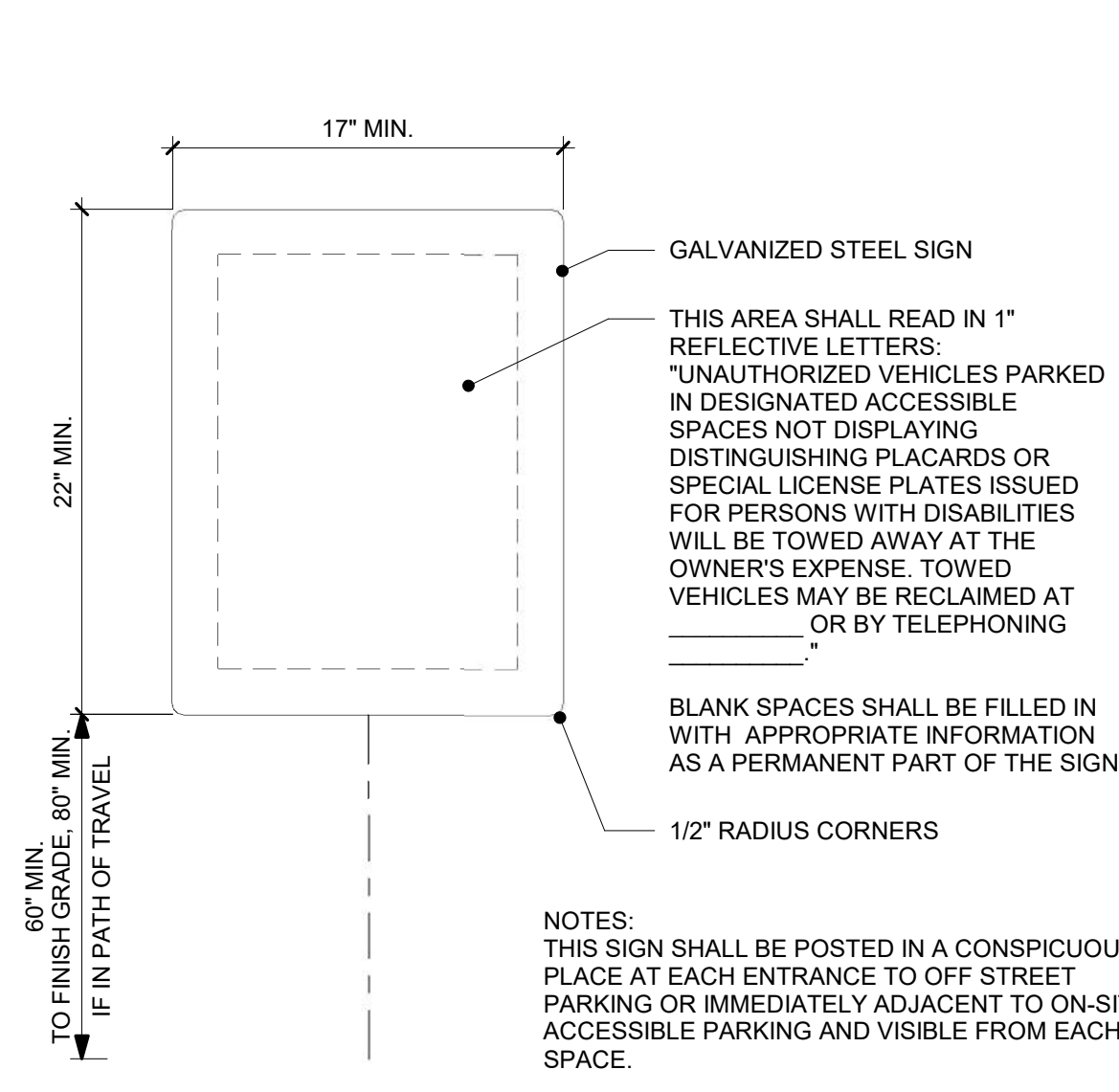
FIGURE 11A-1I - FORWARD REACH

2 Forward Reach (CBC 1138A.3.1)
3/8" = 1'-0"

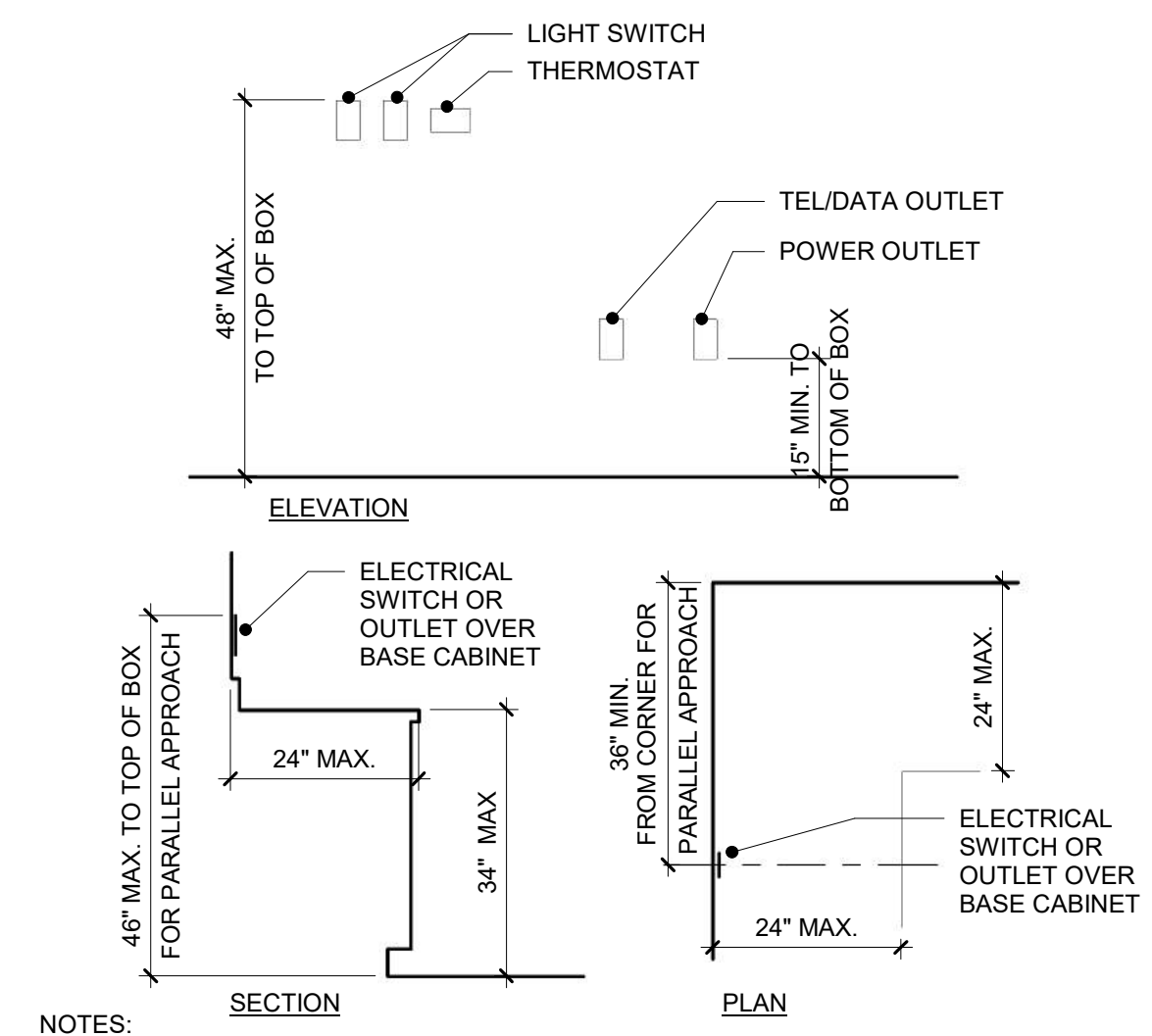


1 SANITARY SIGNAGE 1
1/2" = 1'-0"

Original tracings are the property of Designers &/or Engineer. Reproduction of these plans in any form except for this specific job will subject party violating this ownership to Civil Court action. Changes made on Project by any party other than Designers &/or Engineer will relieve Designers of the entire building or the specific portion thereof. Building Contractor shall verify all dimensions on job prior to beginning construction and shall immediately report any and all discrepancies to Designers &/or Engineers.

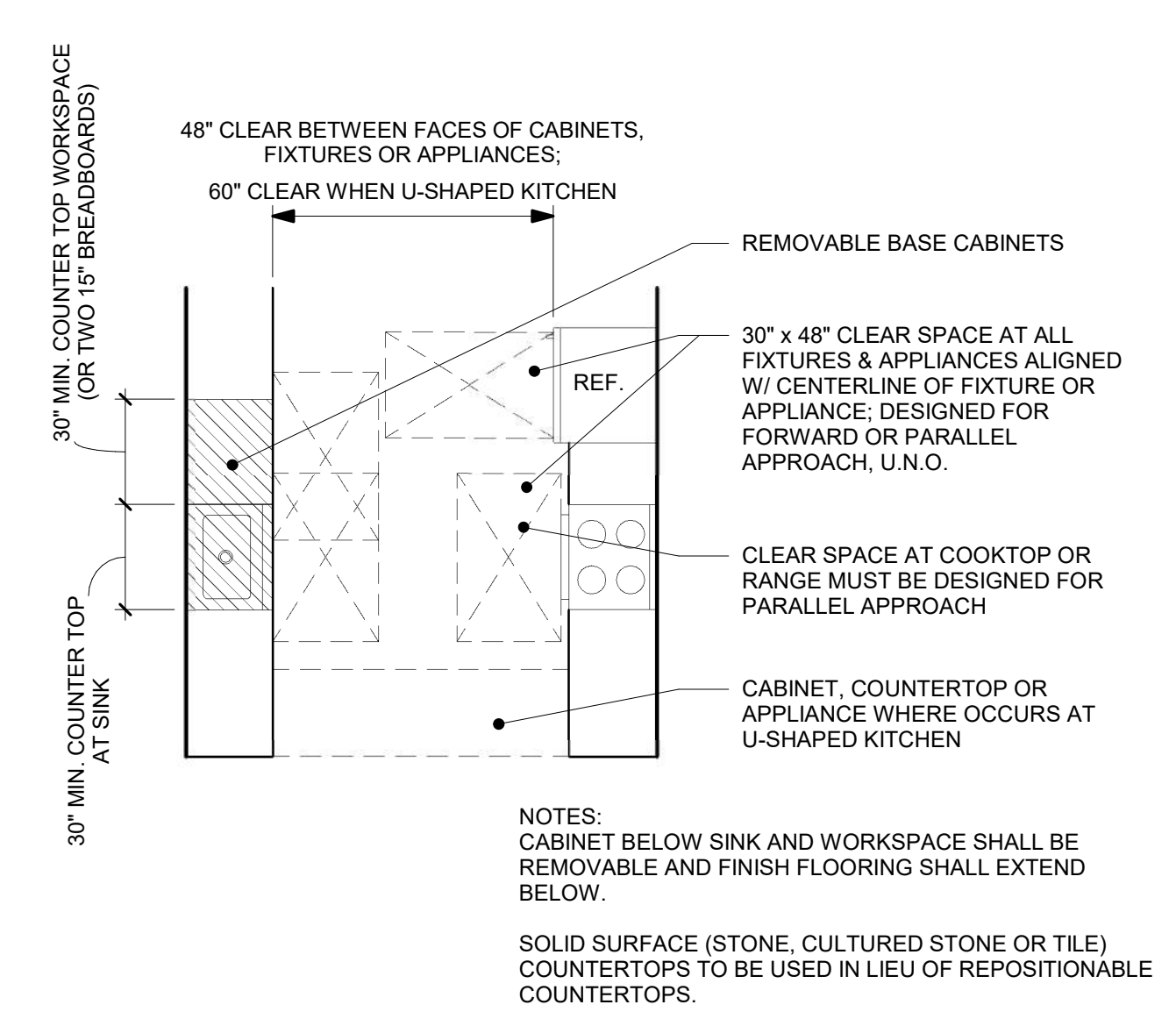


7 Parking Tow-Away Sign (CBC 11A&11B)1
1 1/2" = 1'-0"

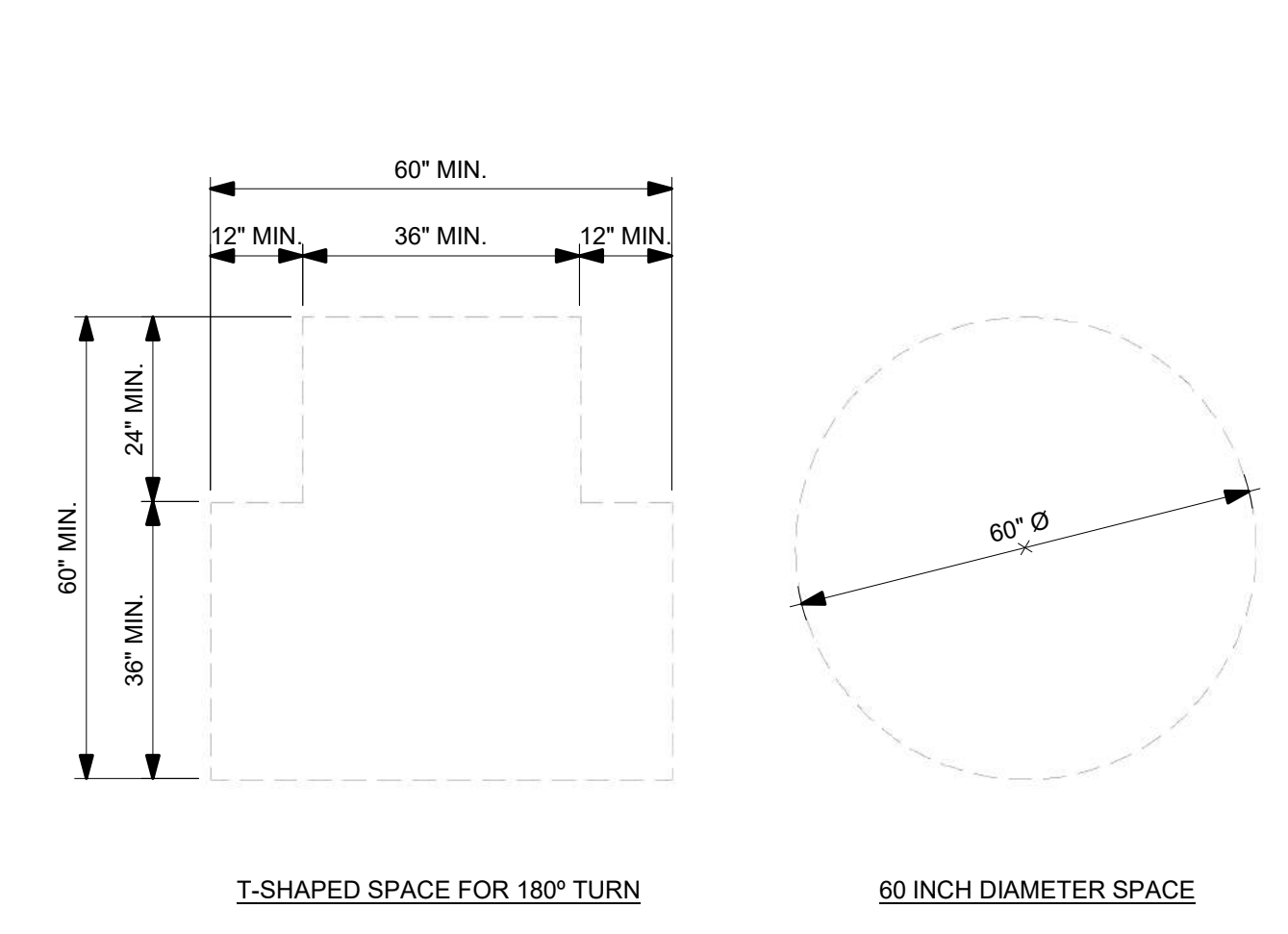


20 Switch Locations (CBC 11A&11B)1
1/2" = 1'-0"

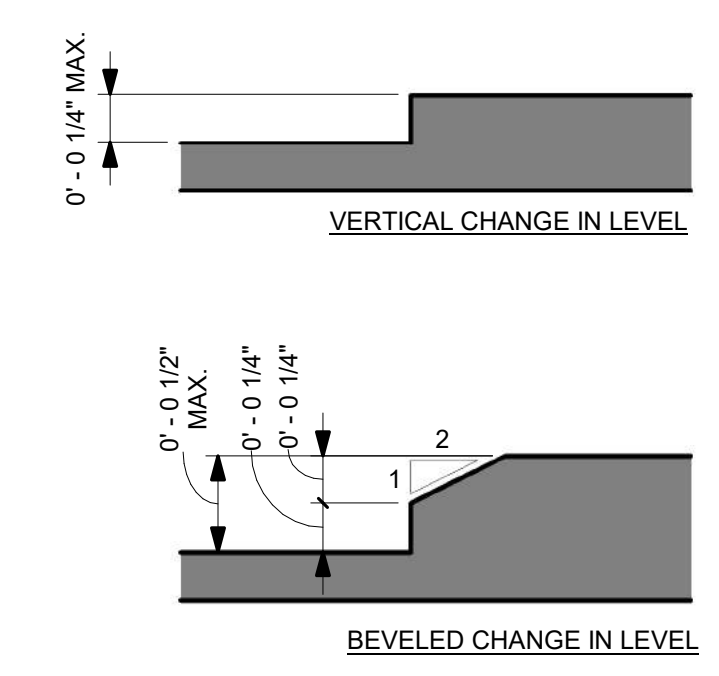
NOTES:
LOCATE ELECTRICAL OUTLETS, SWITCHES AND CONTROLS WITHIN ADAPTABLE DWELLING UNITS TO COMPLY WITH CBC SEC. 1136A.1&2, WITHIN COMMON AREAS FOR RESIDENT USE PER CBC SEC. 1142A.1&2 AND WITHIN COMMON AREAS FOR PUBLIC USE PER CBC SEC. 11B-308.



3 Adaptable Unit - Kitchen (CBC 11A)1
1/4" = 1'-0"

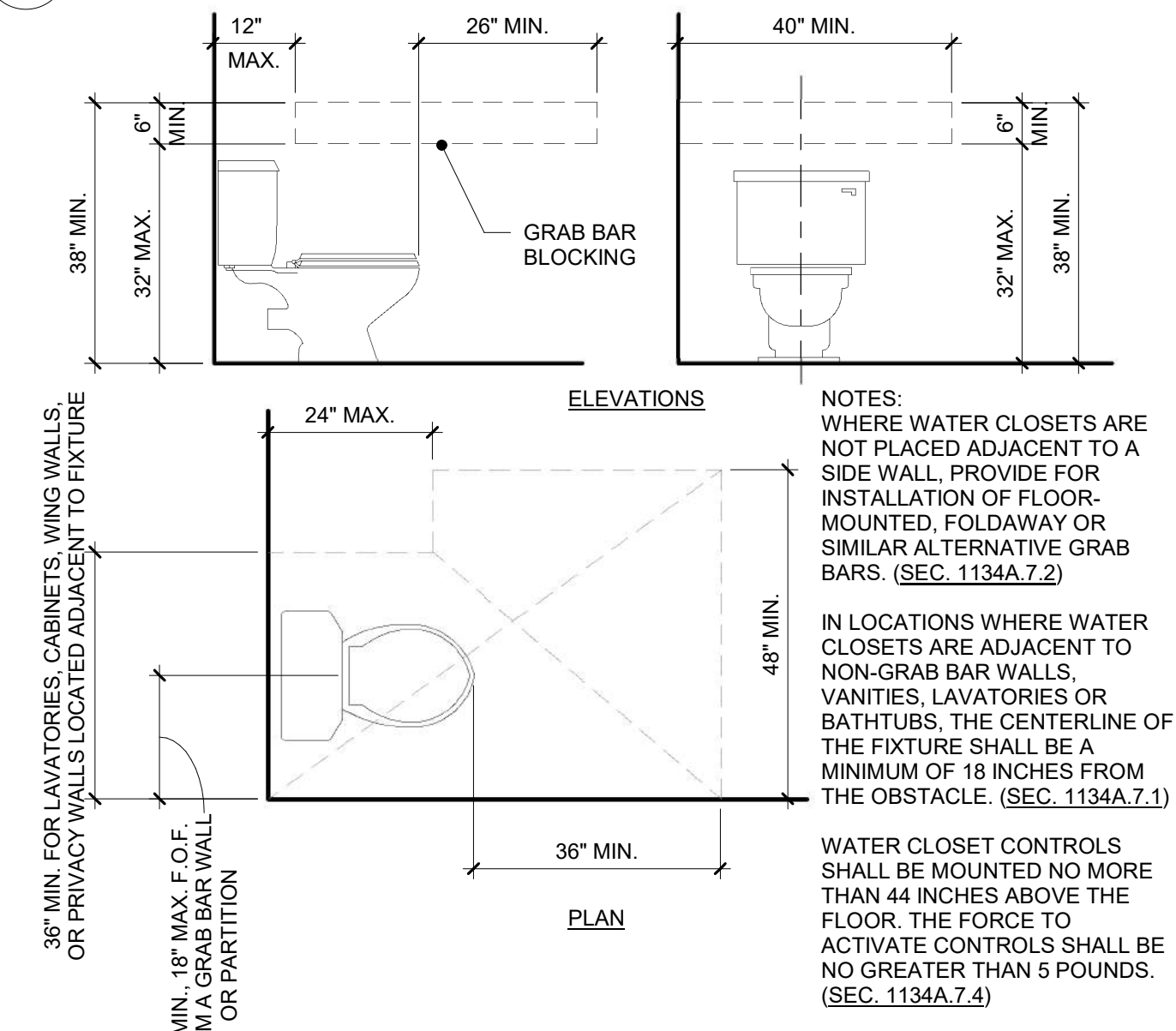


1 Wheelchair Turning Space (11A&11B)1
1/2" = 1'-0"

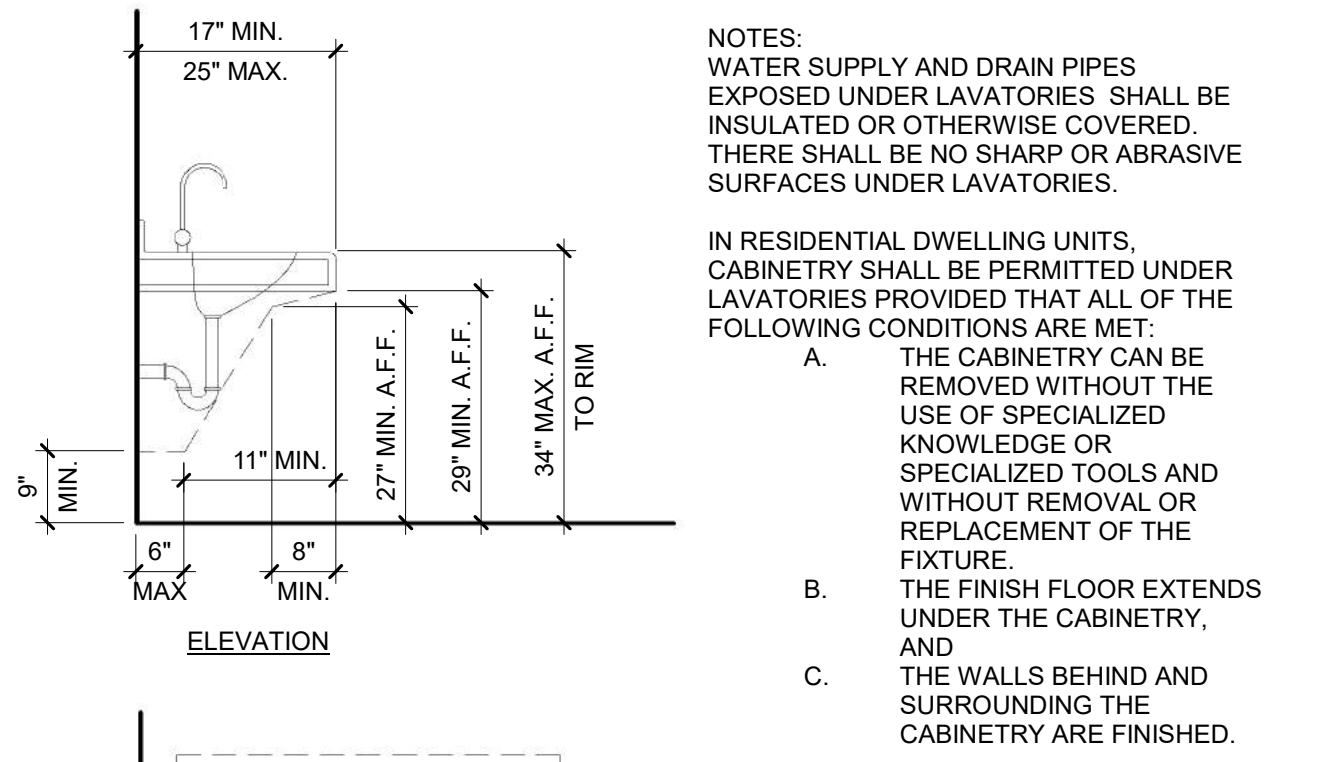


5 FLOOR HEIGHTS THRESHOLD1
1/2" = 1'-0"

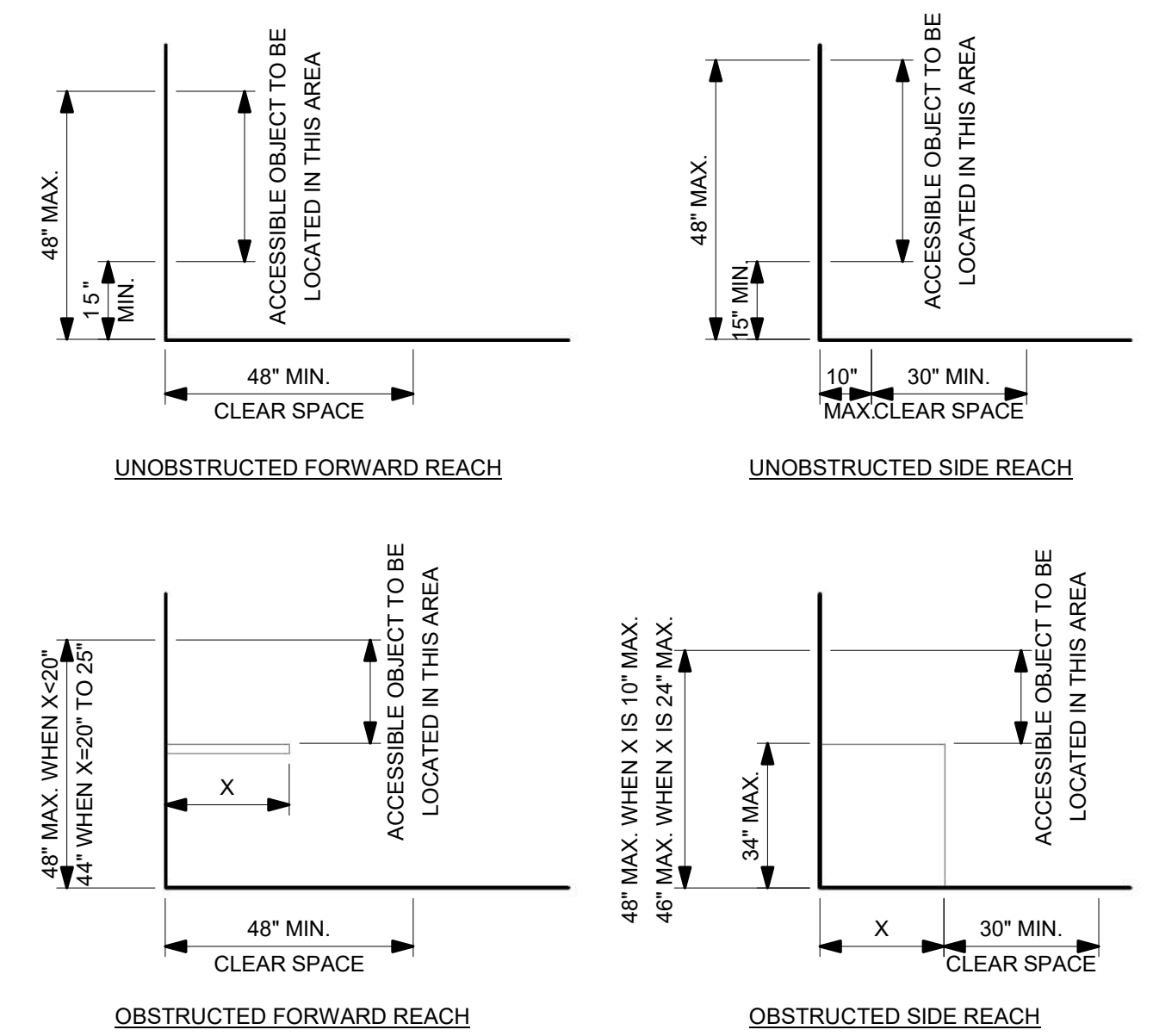
NOTES:
CHANGES IN ELEVATION GREATER THAN 1/2 INCH ARE NOT ACCEPTABLE.



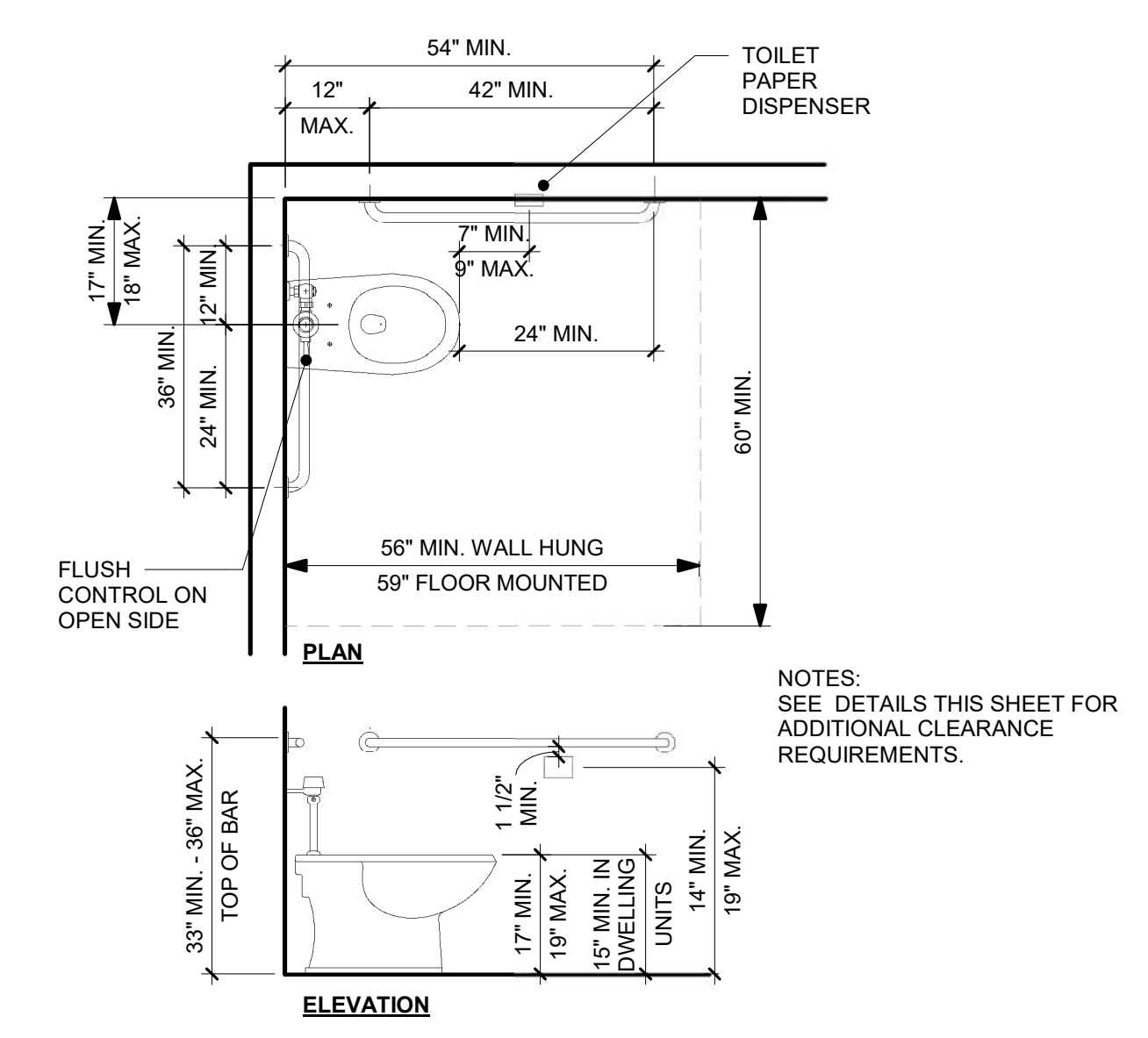
17 Restroom Res. Water Closet (CBC 11A)1
1/2" = 1'-0"



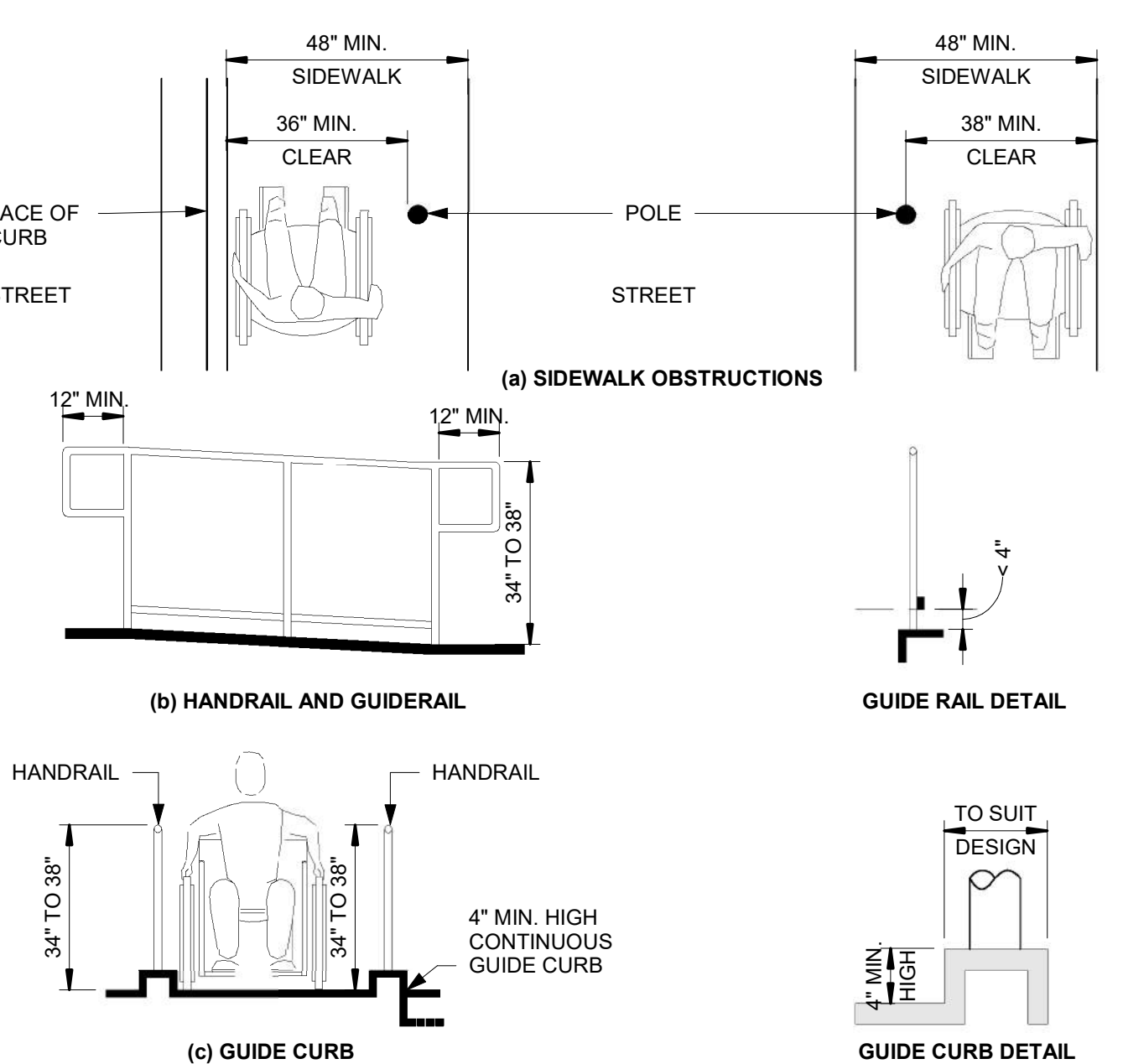
15 Restroom Lavatory (CBC 11A&11B)1
1/2" = 1'-0"



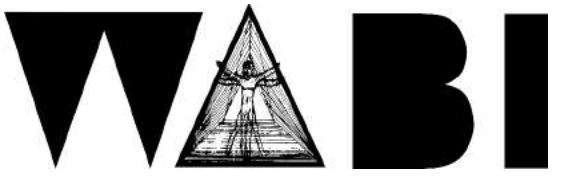
2 Reach Ranges (CBC 11A&11B)1
3/8" = 1'-0"



6 Restroom Water Closet (CBC 11A&11B)1
1/2" = 1'-0"



4 CBC Figure 11A-5A Ramps & Sidewalks
3/8" = 1'-0"



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PROJECT:
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 STORAGE UNITS**

1426 S COAST HWY
 OCEANSIDE, CA
 VICINITY MAP:

PLAN KEYNOTES

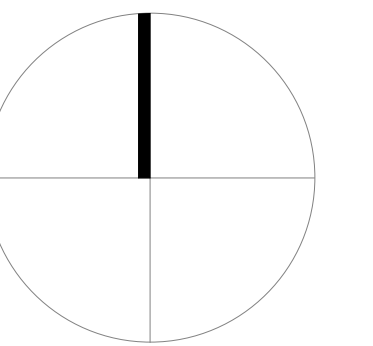
- EXISTING 1-HR RATED
- EGRESS PATH OF TRAVEL
- (E) TACTILE EXIT SIGN PER 11A004
- FIRE EXTINGUISHER
- FIRE EXITS SIGNAGE

STAMP:

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NO.	REVISION	DATE

NORTH:



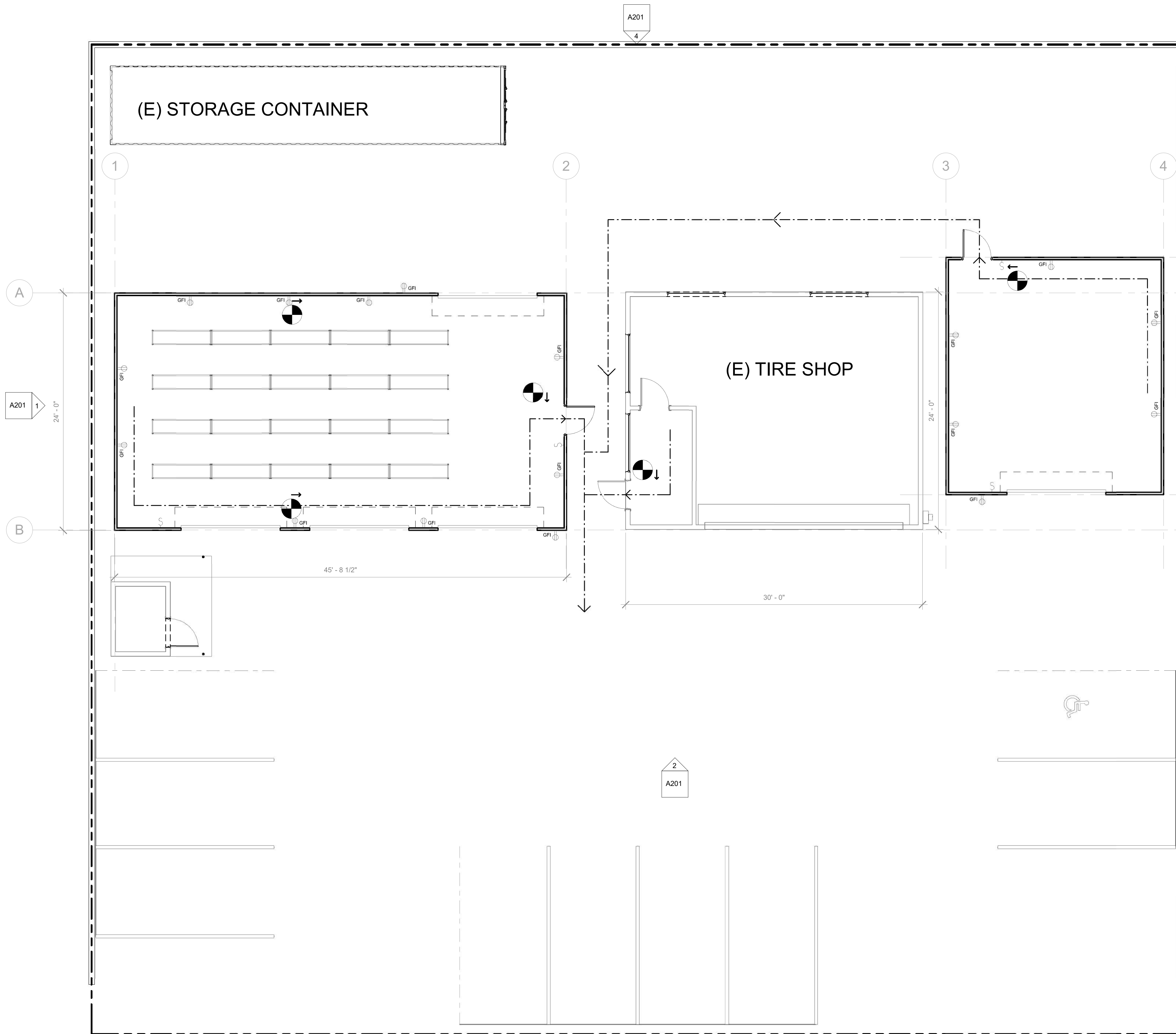
OWNER:
 TIRES 4 LESS
 JOB NUMBER:
 Project Number
 PRJ/PNTS/BLD:
 Checker
 ISSUE DATE:

PROJECT STATUS:
 Project Status
 SCALE:
 AS INDICATED

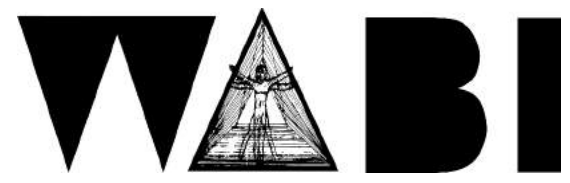
SHEET NAME:
EGRESS PLAN

SHEET NUMBER:

A006



① EGRESS PLAN
 3/16" = 1'-0"



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PROJECT:

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OCEANSIDE, CA

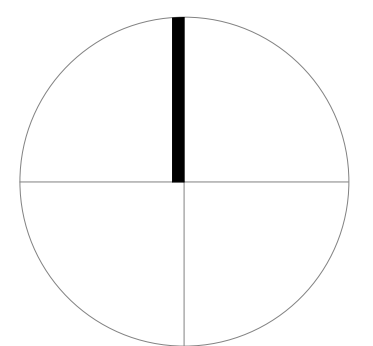
VICINITY MAP:

STAMP:

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NORTH:



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JOB NUMBER:

Project Number

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PROJECT STATUS:

Project Status

SCALE:

AS INDICATED

SHEET NAME:

SITE PLAN

SHEET NUMBER:

A100

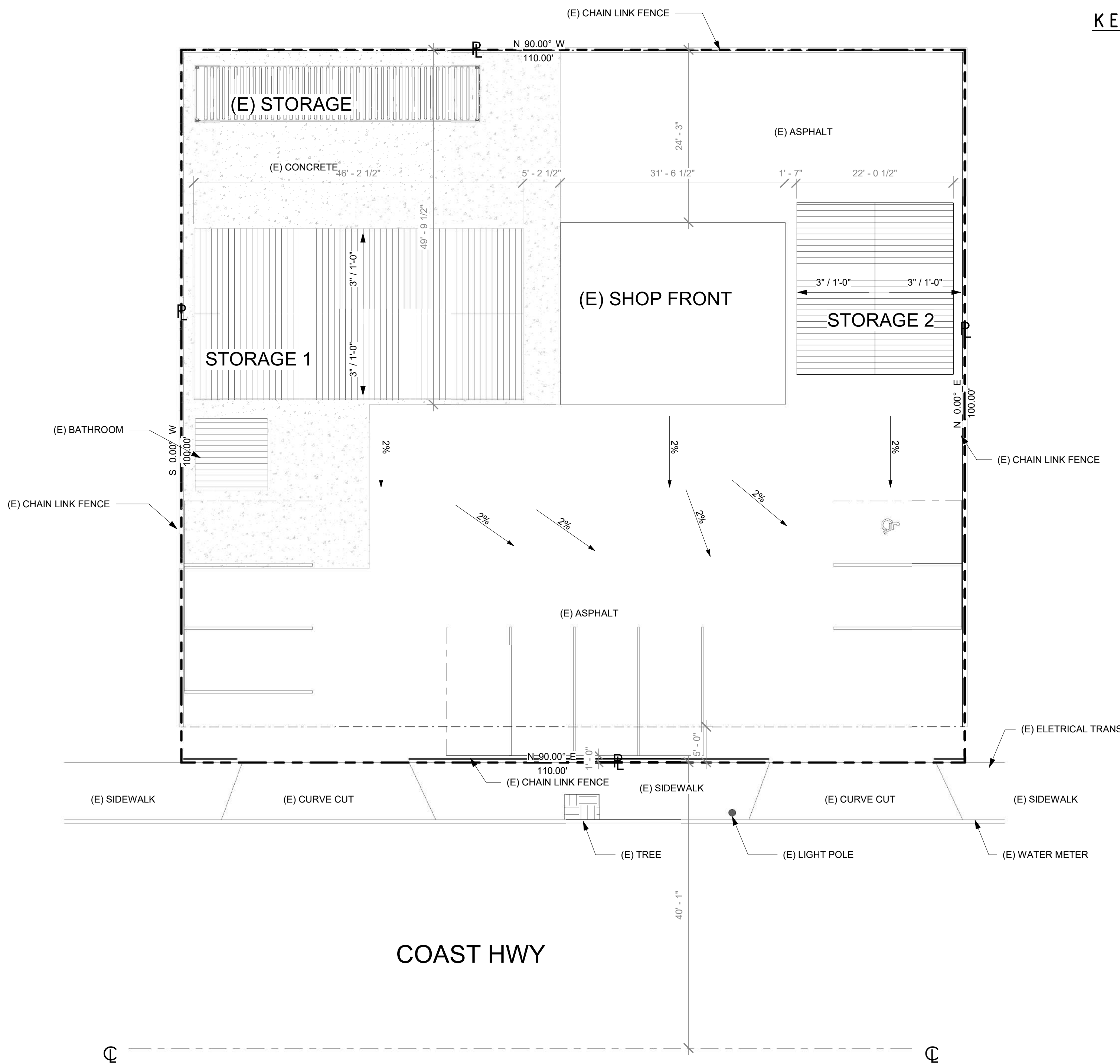
KEYNOTES

BMP NOTES

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING /IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN AND/OR WATER POLLUTION CONTROL PLAN (WPCCP) FOR CONSTRUCTION LEVEL BMPS AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POSTCONSTRUCTION BMPS. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMPS SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPS AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY ANY AND ALL WASTE MATERIAL, SEDIMENT AND DEBRIS FROM EACH ON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR-ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
- CONTRACTOR SHALL BE RESPONSIBLE AND TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
- AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPS RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPS DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPS SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPS AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT. TEMPORARY CONSTRUCTION ENTRANCE AND EXISTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-1 OR CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.
 - NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL"



1 SITE PLAN

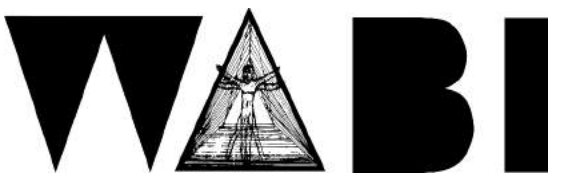
1" = 10'-0"

SITE PLAN NOTES

- THE PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT OF WAY.

SITE PLAN DRAWING LEGEND

	PROPERTY LINE
	SETBACK LINE
	IMAGINARY FIRE LINE SEPARATION
	CENTER LINE
	X% DRAINAGE DIRECTION
	PROJECT AREA
	(E) TO REMAIN AREA



WAABI STUDIO

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PROJECT:

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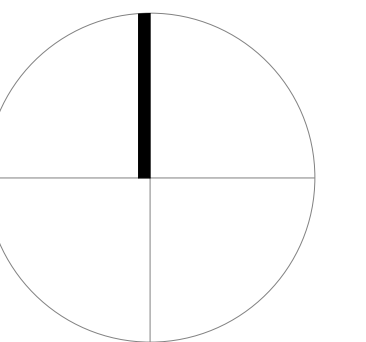
1426 S COAST HWY
OCEANSIDE, CA
VICINITY MAP:

STAMP:

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NORTH:



OWNER:

TIRES 4 LESS

JOB NUMBER:

Project Number

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ISSUE DATE:

PROJECT STATUS:

Project Status

SCALE:

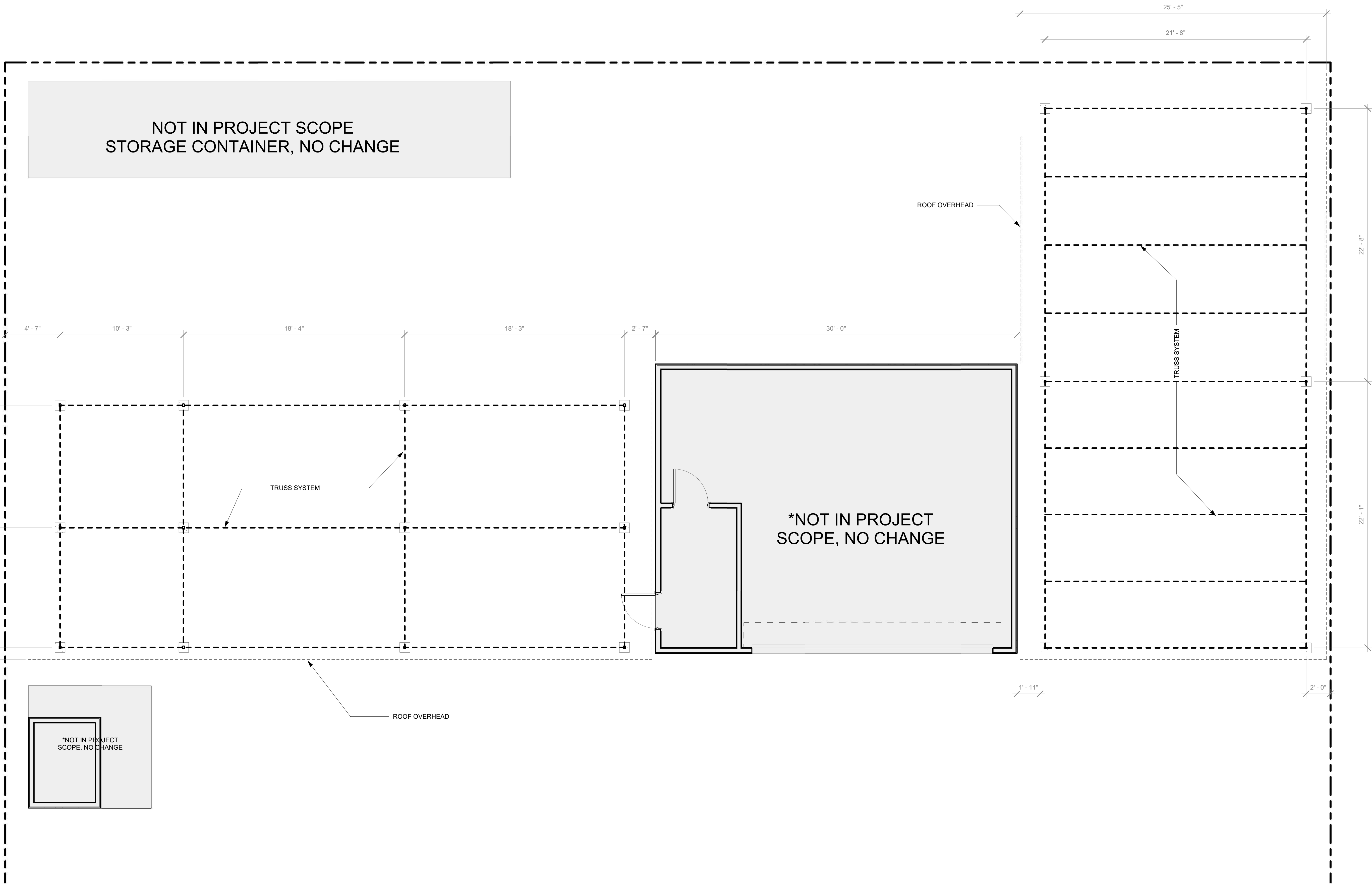
AS INDICATED

SHEET NAME:

**EXISTING + DEMO
PLAN**

SHEET NUMBER:

A101



NOTES:

1. MAXIMUM TRAVEL DISTANCE TO AN EXIT SHALL NOT EXCEED 300' FOR (B OCC.), 250' FOR (F1, A & E OCC.). - SECTION 1016
2. THE LENGTH OF COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 100' IN FIRE SPRINKLED BUILDING. - SECTION 1014.3
3. ACCESS TO EXITS MAY GO THROUGH FLYERS, LOBBIES, AND RECEPTION ROOMS. - SECTION 1014.2
4. WHERE ACCESS TO ONLY ONE EXIT IS REQUIRED FROM A SPACE, EXIT ACCESS MAY OCCUR THROUGH AN INTERVENING ROOM, WHICH IN TURN PROVIDES DIRECT ACCESS TO AN EXIT OR CORRIDOR THAT PROVIDES DIRECT ACCESS TO AN EXIT. - SECTION 1014.2.1
5. ALL EXIT DOORS, EXISTING OR NEW, SERVING 'A' OCCUPANCIES OF 50 OR MORE OCCUPANTS SHALL BE EQUIPPED WITH PANIC HARDWARE. -CBC 2013, SECTION 1008.1.10
6. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100' FROM THE NEAREST VISIBLE SIGN. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF APPROACH. - SECTION 1011.1
7. EMERGENCY LIGHTING SHALL COMPLY WITH CBC 1006.3
8. ENTIRE BUILDING IS EQUIPPED WITH EXISTING FIRE SPRINKLERS IN ACCORDANCE WITH CBC 903.3.1.1
9. EACH EXIT DISCHARGES ON AN UNOCCUPIED SPACE OF NOT LESS THAN 20' IN WIDTH THAT ADJOINS A STREET OR PUBLIC WAY. -SECTION 1028.3

OCCUPANT LOAD FACTOR PER CBC 10 TABLE 1004.5			
OCCUPANCY TYPE	AREA	OCC. LOAD FACTOR	OCC. LOAD
OFFICE	73 SF	150	1
DISPLAY	591 SF	300	2
STORAGE	1,565 SF	300	6

DOOR NOTES

1. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS OF ALL INTERIOR HINGED DOORS AND GATES, SLIDING OR FOLDING DOORS, AND EXTERIOR HINGED DOORS MUST BE 5 POUNDS MAXIMUM. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS OF REQUIRED FIRE DOOR SHALL NOT EXCEED 15 POUNDS. [CBC 11B-404-2.9]
2. ALL HARDWARE IS TO BE OPERABLE WITH ONE HAND WITHOUT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. [CBC 11B-404.2.7; 11B-309.4]
3. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
4. ALL HARDWARE IS TO BE OPERABLE WITH ONE HAND WITHOUT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST
5. DOORS TO UNISEX (SINGLE-USER OR FAMILY) TOILET ROOMS AND UNISEX (SINGLE-USER OR FAMILY) BATHING ROOMS MUST HAVE PRIVACY LATCHES.



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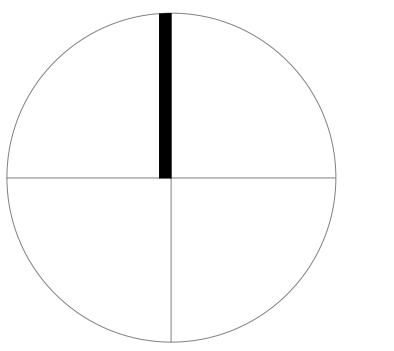
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VICINITY MAP:

STAMP:

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NO.	REVISION	DATE
1		
2		

NORTH:



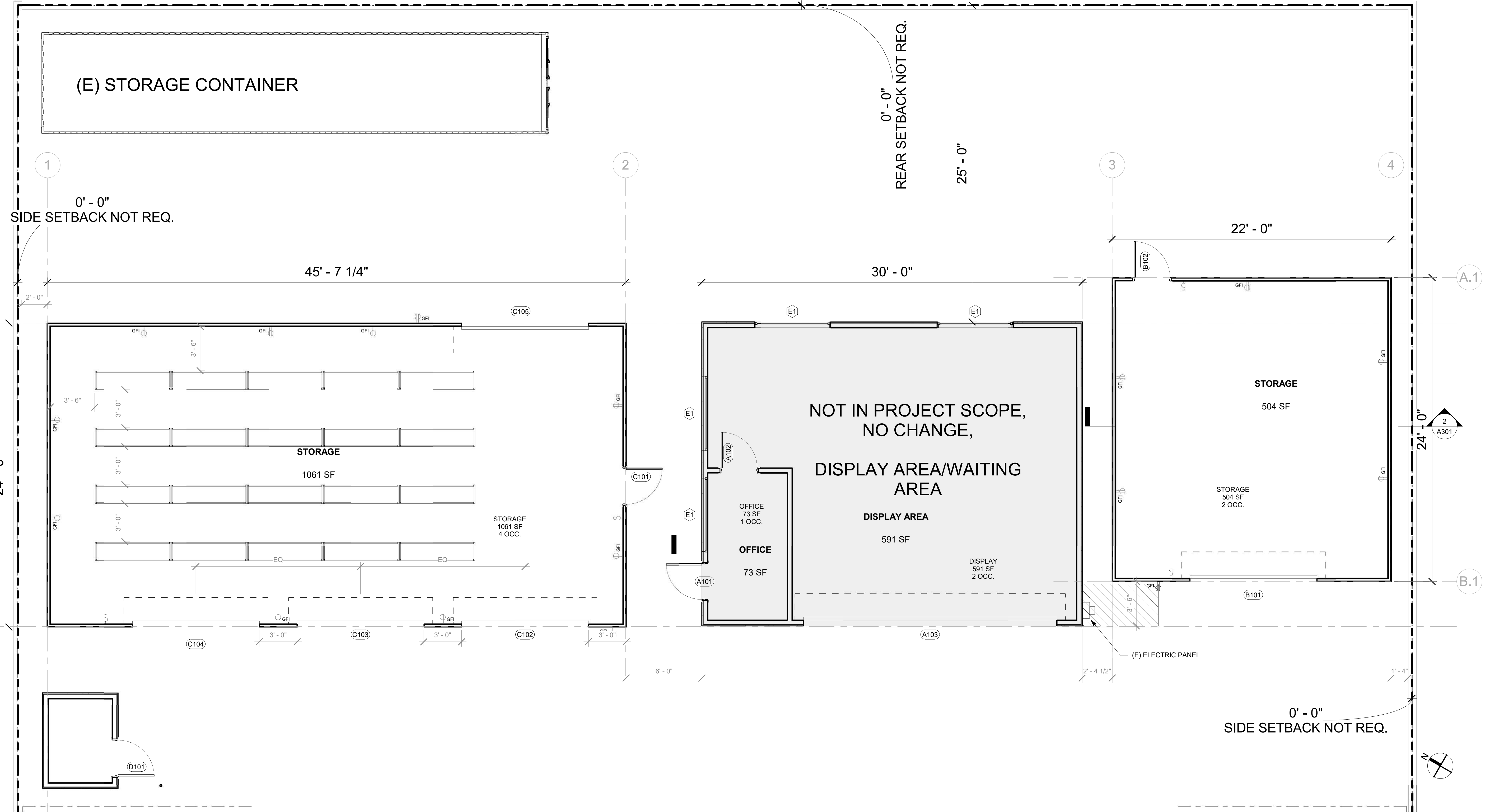
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JOB NUMBER:
Project Number
PRJ/PNTS/BLD:
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ISSUE DATE:

PROJECT STATUS:
Project Status
SCALE:
AS INDICATED

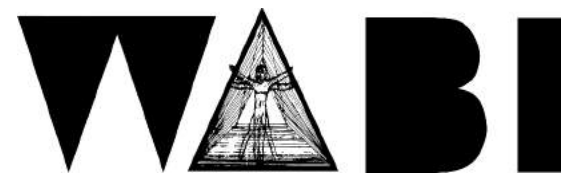
SHEET NAME:
**PROPOSED
STRUCTURES**

SHEET NUMBER:

A102



Level 1
1/4" = 1'-0"



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PROJECT:
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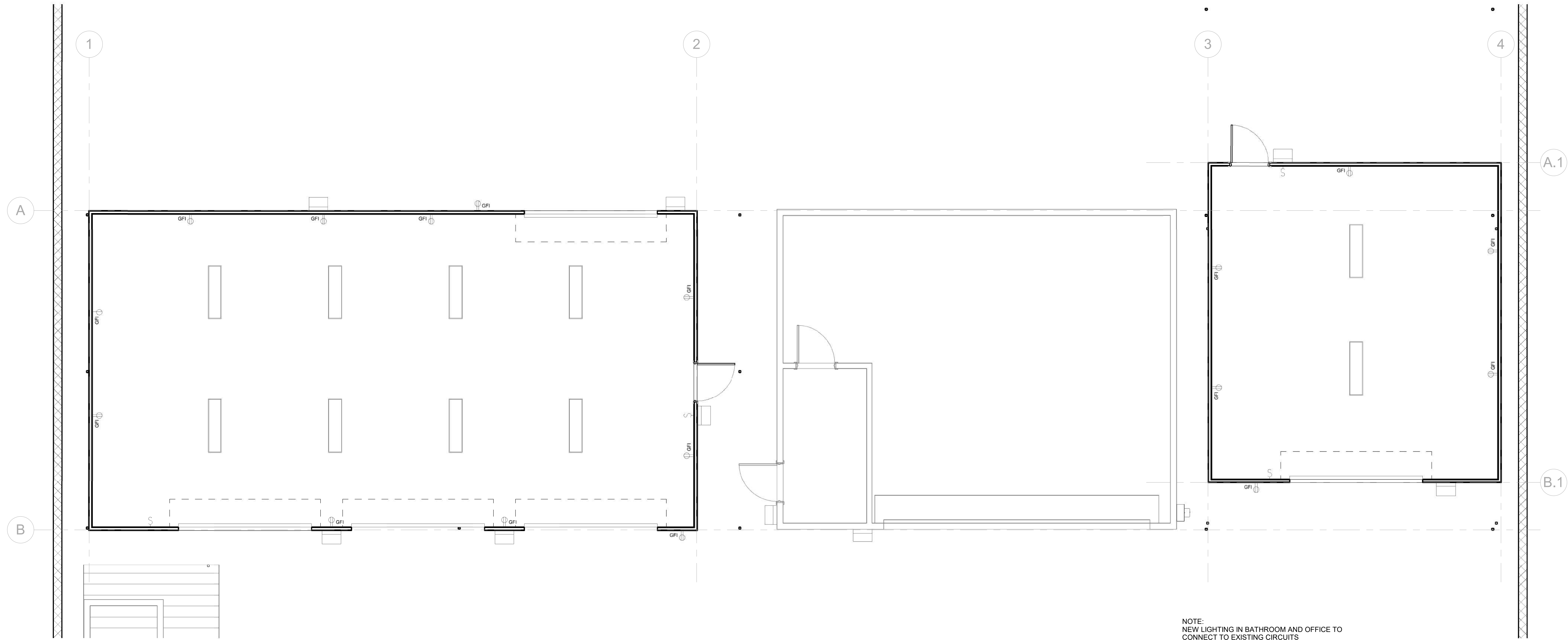
1426 S COAST HWY
 OCEANSIDE, CA
 VICINITY MAP:

PLAN NOTES

1. STORAGE AREAS TO BE NATURALLY VENTILATED. DOOR ARE TO REMAIN OPEN DURIN BUSINESS HOURS.
2. AREAS WILL NOT BE SERVED BY HEATING OR COOLING EQUIPMENT

ELECTRICAL + RCP LEGEND

- EXHAUST FAN 80 CFM .08
- SMOKE DETECTOR/
CARBON MONOXIDE
COMBO INTER CONNECTED AND HARD-
WIRED WITH BATTERY BACK-UP
- 6" RECESSED CAN
- SURFACE MOUNTED
LED LIGHT
- SCONCE LIGHT
- PENDANT LAMP LED
- GFI OUTLET
- SINGLE DUPLEX OUTLET
- ELECTRICAL PANEL
- ELECTRICAL METER



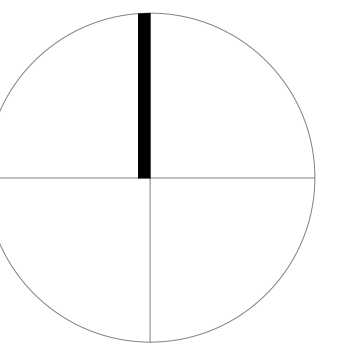
NOTE:
 NEW LIGHTING IN BATHROOM AND OFFICE TO
 CONNECT TO EXISTING CIRCUITS

STAMP:

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NORTH:



OWNER:
 TIRES 4 LESS
 JOB NUMBER:
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 Checker
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PROJECT STATUS:
 Project Status

SCALE:
 AS INDICATED

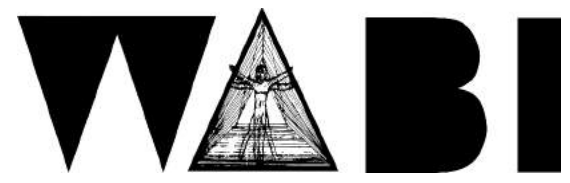
SHEET NAME:

RCP

① Level 1
 1/4" = 1'-0"

SHEET NUMBER:

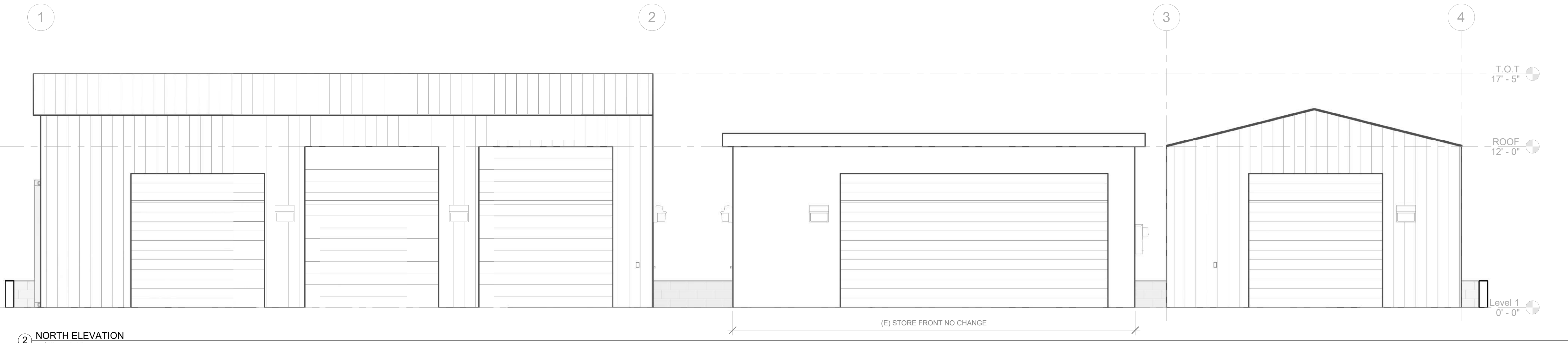
A103



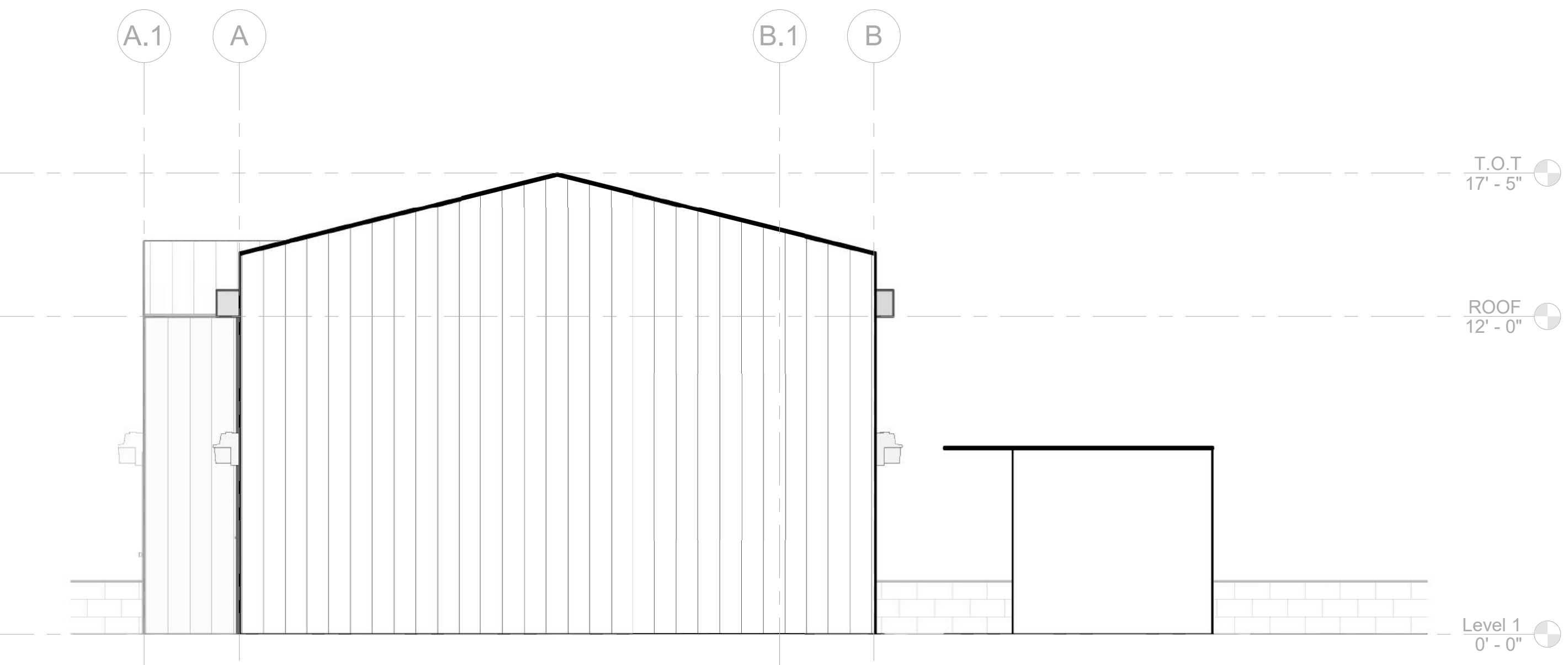
WAABI STUDIO
 WILLING ABLE BODIES INTERACT
 SD, CA 92113
 760.708.8168
 martin@waabistudio.com

PROJECT:
**TIRES 4 LESS
 STORAGE UNITS**

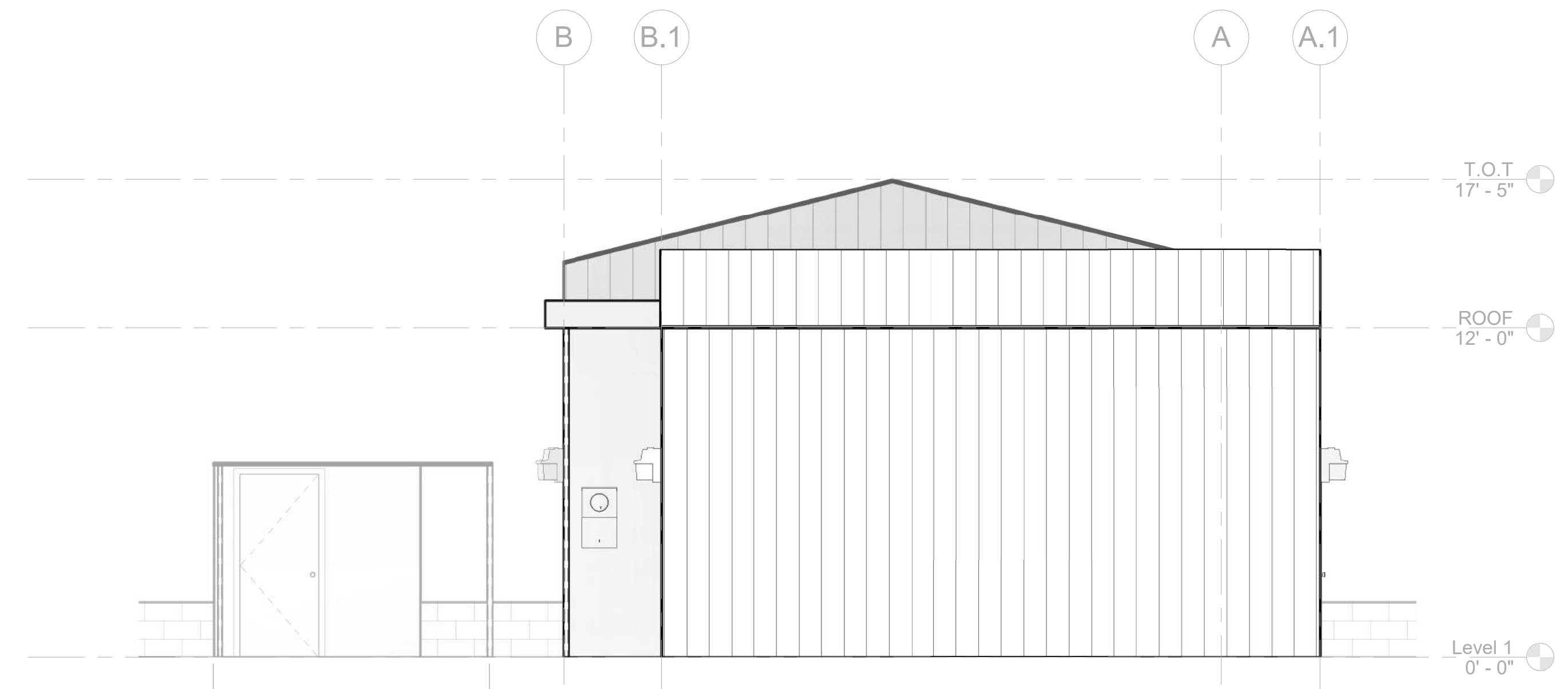
1426 S COAST HWY
 OCEANSIDE, CA
 VICINITY MAP:



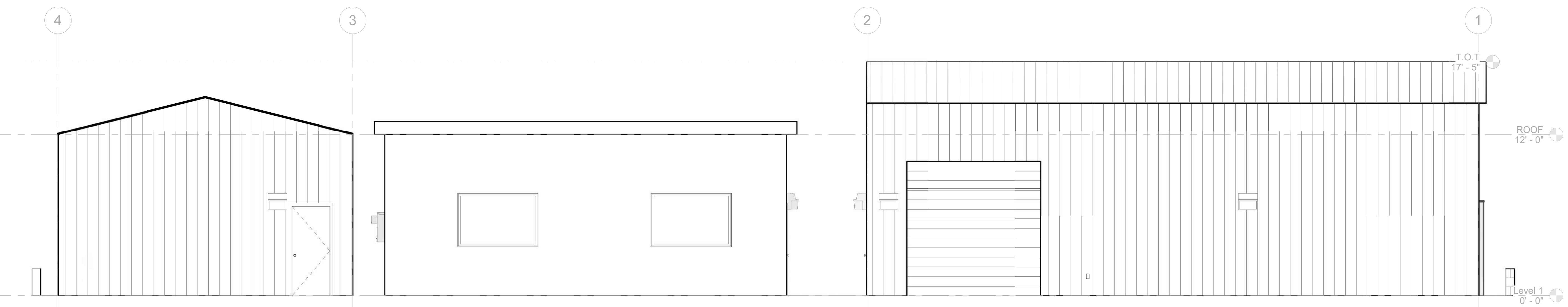
2 NORTH ELEVATION
 1/4" = 1'-0"



1 EAST ELEVATION
 1/4" = 1'-0"



3 WEST ELEVATION
 1/4" = 1'-0"



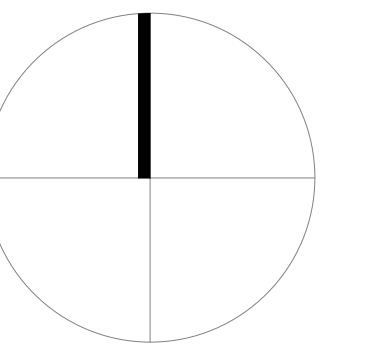
4 SOUTH ELEVATION
 1/4" = 1'-0"

STAMP:

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF WAABI STUDIO, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT

NO.	REVISION	DATE

NORTH:



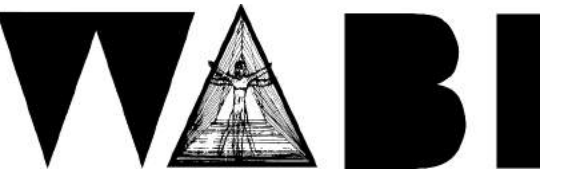
OWNER:
 TIRES 4 LESS
 JOB NUMBER:
 Project Number
 PRJ/PNTS/BLD:
 Checker
 ISSUE DATE:

PROJECT STATUS:
 Project Status
 SCALE:
 AS INDICATED

SHEET NAME:
ELEVATIONS

SHEET NUMBER:

A201



WAABI STUDIO

WILLING ABLE BODIES INTERACT

SD, CA 92113
760.708.8168
martin@waabistudio.com

PROJECT:

**TIRES 4 LESS
STORAGE UNITS**

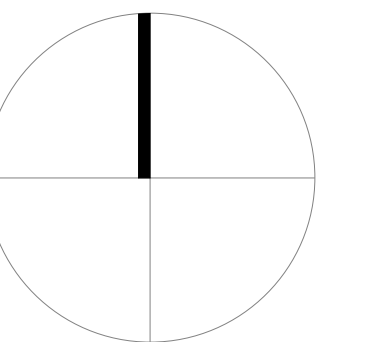
1426 S COAST HWY
OCEANSIDE, CA
VICINITY MAP:

STAMP:

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF WAABI STUDIO, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT

NO.	REVISION	DATE

NORTH:



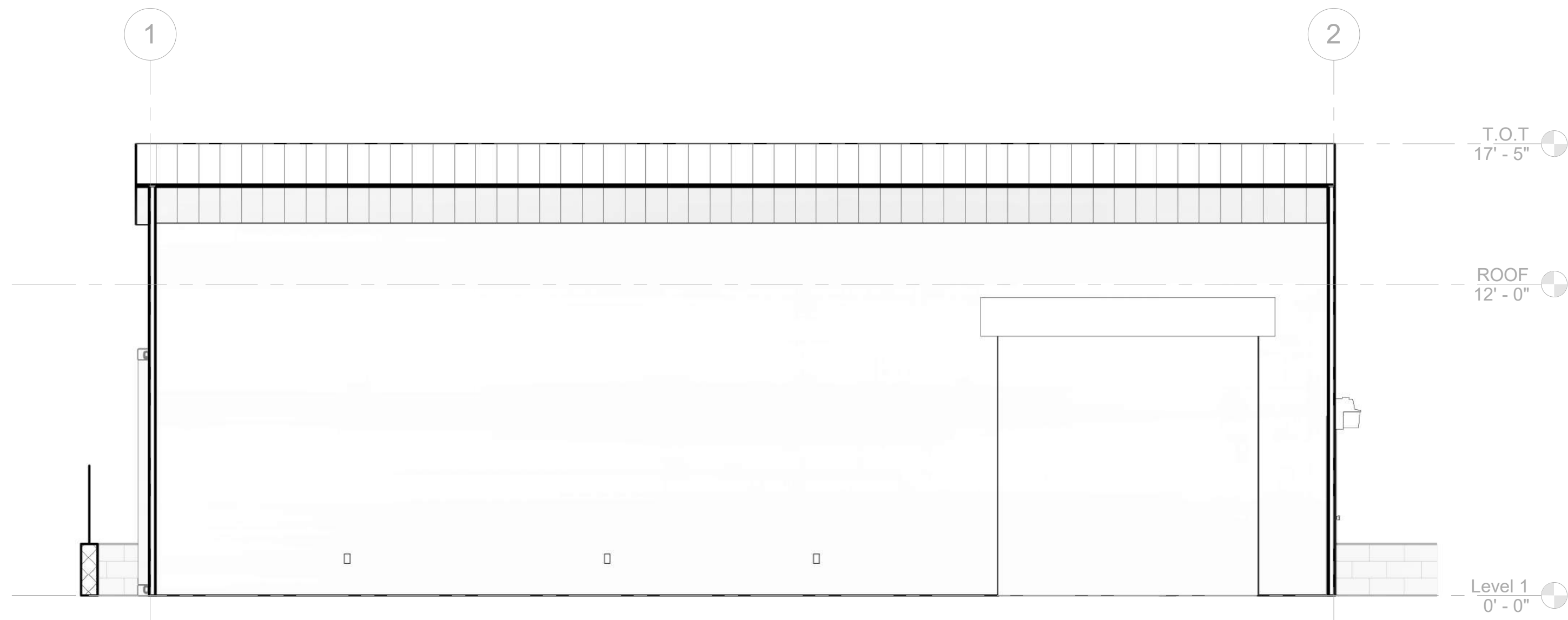
OWNER:
TIRES 4 LESS
JOB NUMBER:
Project Number
PRJ/PPTS/BLD:
Checker
ISSUE DATE:

PROJECT STATUS:
Project Status
SCALE:
AS INDICATED

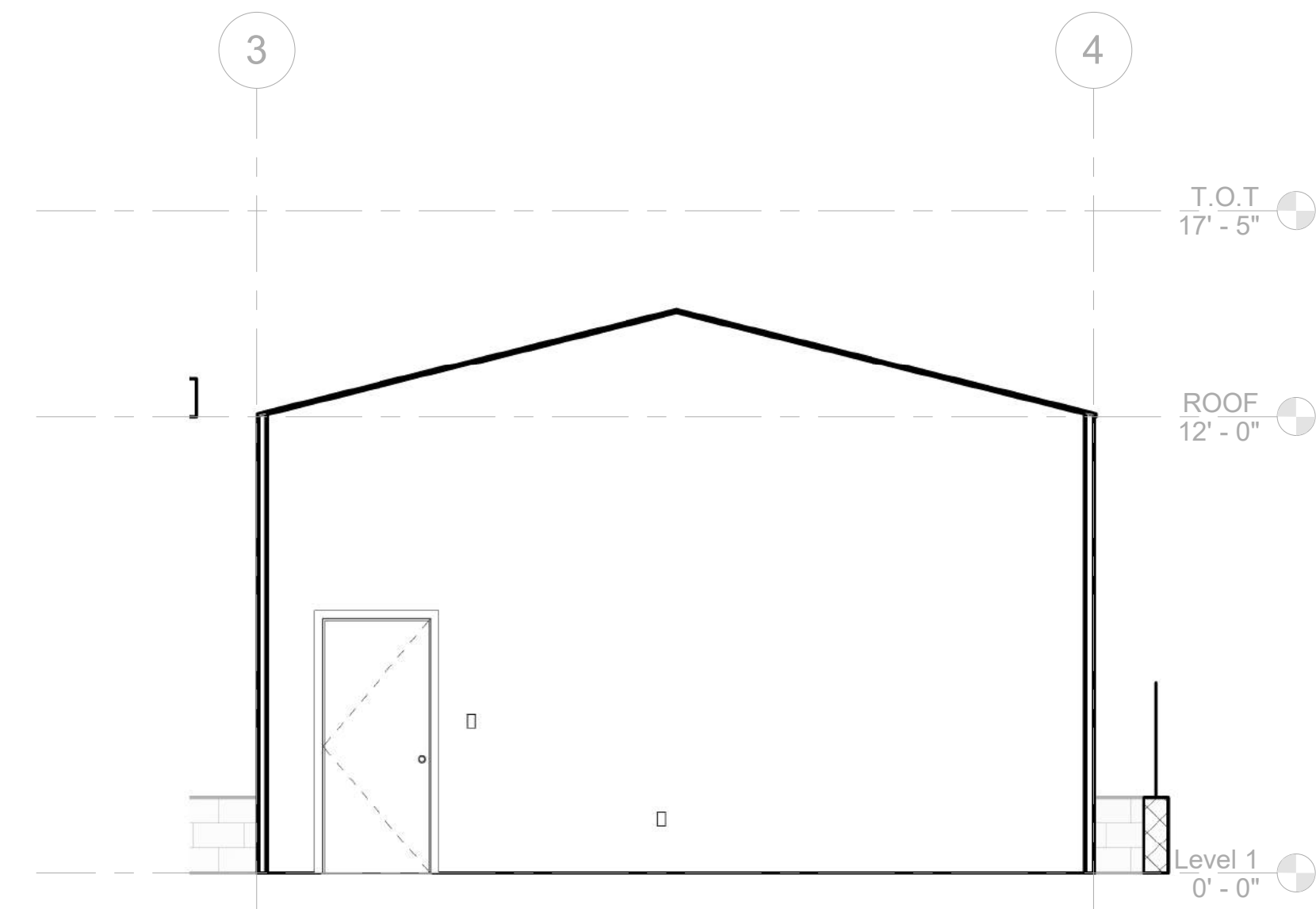
SHEET NAME:
SECTIONS

SHEET NUMBER:

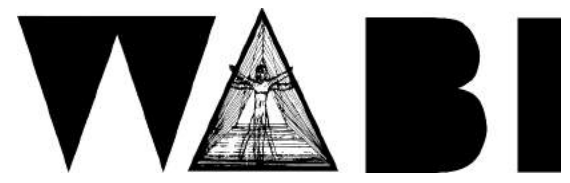
A301



① Section 1
1/4" = 1'-0"



② Section 2
1/4" = 1'-0"



WAABI STUDIO
 WILLING ABLE BODIES INTERACT
 SD, CA 92113
 760.708.8168
 martin@waabistudio.com

PROJECT:
**TIRES 4 LESS
 STORAGE UNITS**

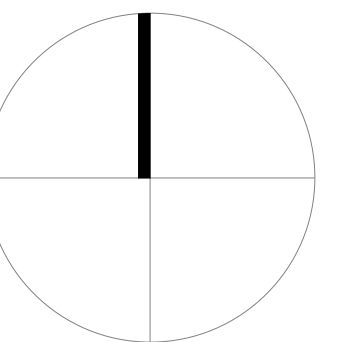
1426 S COAST HWY
 OCEANSIDE, CA
 VICINITY MAP:

STAMP:

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF WAABI STUDIO, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT

NO.	REVISION	DATE

NORTH:



OWNER:
 TIRES 4 LESS
 JOB NUMBER:
 Project Number
 PRJ/PNTS/BLD:
 Checker
 ISSUE DATE:

PROJECT STATUS:
 Project Status
 SCALE:
 AS INDICATED

SHEET NAME:
**WINDOW + DOOR
 SCHEDULE**

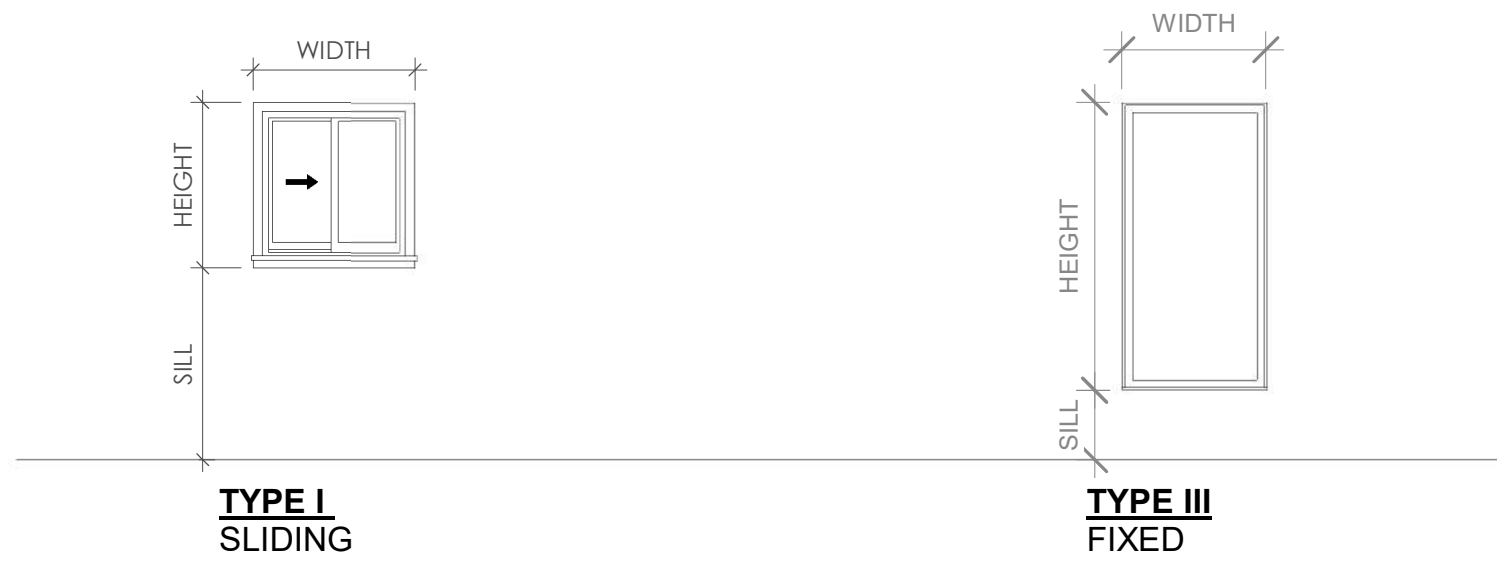
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A500

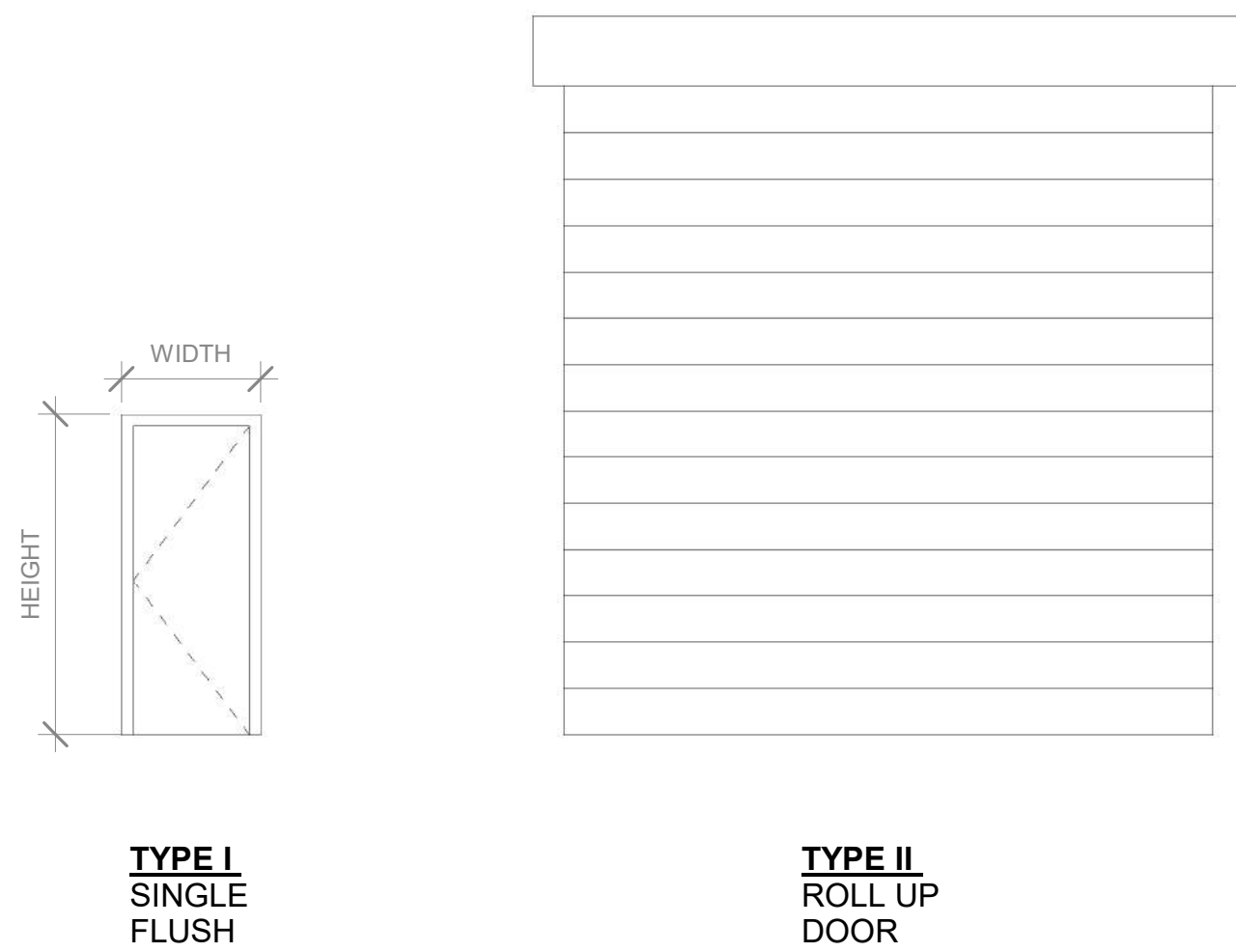
DOOR SCHEDULE			
MARK	DOOR		NOTES
	WIDTH	HEIGHT	
A101	2'-10"	6'-8"	EXISTING
A102	2'-10"	6'-8"	EXISTING
A103	20'-0"	10'-0"	EXISTING
B101	10'-0"	10'-0"	
B102	2'-10"	6'-8"	
C101	2'-10"	6'-8"	
C102	10'-0"	12'-0"	
C103	10'-0"	12'-0"	
C104	10'-0"	10'-0"	
C105	10'-0"	10'-0"	
D101	2'-10"	6'-8"	

WINDOW SCHEDULE									
MARK	COUNT	WIDTH	HEIGHT	AREA	OPERABLE	U-FACTOR	SHGC	COMMENTS	
E1	4	6' - 0"	4' - 0"						EXISTING

WINDOW LEGEND

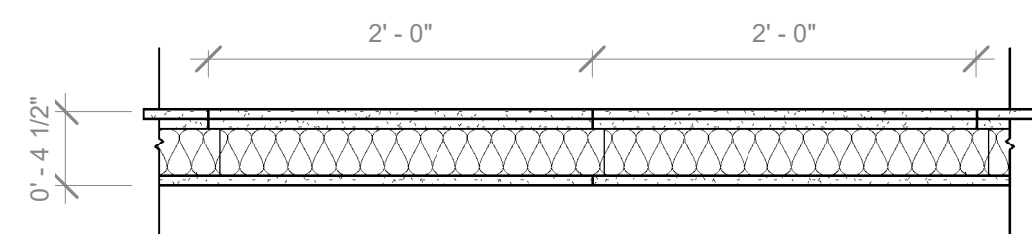


DOOR LEGEND



DESIGN NO. **UL U419**

FIRE RATING: 1 HOUR
 STC RATING: 50
 SOUND TEST: USG-160727
 SYSTEM THICKNESS: 5-1/2" [140 MM]
 LOCATION: INTERIOR
 FRAMING TYPE: STEEL STUD (NONLOAD-BEARING)



ASSEMBLY REQUIREMENTS:

GYPSUM PANELS: TWO LAYERS 5/8" [15.9 MM] SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULIX™)
 STEEL STUDS: 3-5/8" [92 MM] STEEL STUDS, EQ20 (0.018"), 24" [610 MM] O.C.
 INSULATION: 3-1/2" [89 MM] FIBERGLASS INSULATION
 GYPSUM PANELS: ONE LAYER 5/8" [15.9 MM] SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULIX™)

NOTES:

STUD AND INSULATION SIZES ARE MINIMUM UNLESS OTHERWISE STATED IN DESIGN.

FOR THE MOST UP-TO-DATE INFORMATION OR ASSEMBLY OPTIONS, REFER TO THE UL FIRE RESISTANCE DIRECTORY.

REFER TO THE UL FIRE RESISTANCE DIRECTORY FOR INFORMATION REGARDING PRODUCT ORIENTATION AND FASTENING REQUIREMENTS.

① TYPE A - WALL DETAIL
 1" = 1'-0"

SCOPE OF PLANS:

- TO PROVIDE STRUCTURAL DESIGN FOR THE PRE-FAB METAL BUILDING PER THE SPECIFIED DESIGN LOADS, AND APPLICABLE BUILDING CODES. ANY DISCREPANCIES IN DESIGN LOADS SHALL BE BROUGHT TO THE ATTN. OF THE ENGINEER OF RECORD.
- DOES NOT PROVIDE ANY ARCHITECTURAL, SITE, ZONING, HVAC, ELEC, MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ADDRESSED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.

STRUCTURAL DRAWING INDEX

- S-1 COVER SHEET, ELEVATIONS, FOUNDATION PLAN & DETAILS, COLUMN LAYOUT PLAN & DETAILS
- S-2 FRAME SECTION & DETAILS, SIDE WALL FRAMING & DETAILS, END WALL FRAMING & DETAILS

STRUCTURAL DESIGN CRITERIA

PREVAILING CODE: CBC 2022 (IBC 2021)
 USE GROUP: U (PRIVATE GARAGE / SHED)
 CONSTRUCTION TYPE: V - B
 RISK CATEGORY: I
 BUILDING FOOTAGE: 1128 SQ.FT

- DEAD LOAD (D)
COLLATERAL LOAD: 2.0 PSF
- ROOF LIVE LOAD (Lr)
Lr = 20 PSF
- SNOW LOAD (S)
GROUND SNOW LOAD: Pg = 0 PSF
IMPORTANCE FACTOR: Is = 1.00
THERMAL FACTOR: Ct = 1.2
EXPOSURE FACTOR: Ce = 1.0
ROOF SLOPE FACTOR: Cs = 1.0
FLAT ROOF SNOW LOAD: Pf = 0 PSF
SLOPED ROOF SNOW LOAD: Ps = 0 PSF

- WIND LOAD (W)
DESIGN WIND SPEED: Vu11 = 96 MPH
EXPOSURE: C

- SEISMIC LOAD (E)
Ss / S1: 1.077 / 0.391
SDs / SD1: 0.862 / NULL
DESIGN CATEGORY: D
SITE CLASS: D (DEFAULT)
IMPORTANCE FACTOR: Ie = 1.00
L.F.R.S IN Z DIR: O.M.F.
TYPICAL FRAME: R = 3.50
RESPONSE MOD. FACTOR: O.C.B.F.
END FRAMES: R = 3.25
RESPONSE MOD. FACTOR: Cs = 0.265
SEISMIC COEFFICIENT: Vx = 2541.97 LBF
L.F.R.S IN Z DIR: O.C.B.F.
SIDEWALLS: R = 3.25
RESPONSE MOD. FACTOR: Cs = 0.265
SEISMIC COEFFICIENT: Vx = 2541.97 LBF
SEISMIC BASE SHEAR: Vz = 2541.97 LBF

ASD LOAD COMBINATIONS:

- D + (L OR S)
- D + (0.5W OR ±0.7E)
- D + 0.75 (D, 0.6W OR ±0.7E) + 0.75 (L OR S)
- 0.6D + (0.6W OR ±0.7E)

STRUCTURAL DESIGN NOTES

- ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH CBC 2022, IBC 2021, ASCE7-16, OSHA, AISC 360, AISI 100, AWS D1.3 CODES AND ALL OTHER APPLICABLE LOCAL CITY OR COUNTY REQUIREMENTS.
- ALL MATERIALS IDENTIFIED BY A MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
- ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS. NO FIELD WELDING IS REQUIRED. WELDING ELECTRODES PER AWS CODE, E70XX UNLESS NOTED OTHERWISE ON PLANS.
- ALL STRUCTURAL FIELD CONNECTIONS SHALL BE #12-14 x 3/8" SDS (ESR-2194) U.N.O. NO NEOPRENE WASHERS ARE PERMITTED AT STRUCTURAL CONNECTIONS.
- STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80 KSI) OR EQ.
- SHEATHING CONNECTIONS SHALL BE #12-14 x 3/8" SDS. NEOPRENE WASHERS ARE REQUIRED.
- ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE ASTM A653 (HSLA) GRADE 50 STEEL (Fy = 50 KSI, Fu = 65 KSI) OR EQUAL.
- STRUCTURAL TUBE TS 2 1/2" x 2 1/2" x 14GA (0.083") IS EQUIVALENT TO TS 2 1/2" x 2 1/2" x 12GA (0.109") AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
- GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT CONSIDERED OR ACCOUNTED FOR ON THE DESIGN CRITERIA OF THIS STRUCTURE, U.N.O.

SPECIAL INSPECTION SCHEDULE

ANCHORAGE	PERIODIC	CONTINUOUS
1. POST-INSTALLED CONCRETE ANCHOR BOLTS PER ICC-ESR REQUIREMENTS (REF SHEET 38)	X	

THE OWNER SHALL HIRE LICENSED SPECIAL INSPECTOR AT THEIR OWN COST. THE OWNER MAY BRING TO THE ATTENTION OF THE ENGINEER, ANY ISSUES OF CONCERN NOTED BY THE INSPECTOR.

ELEVATION NOTES

- THE INTENTION OF ELEVATIONS PROVIDED ON THIS SHEET IS TO INDICATE STRUCTURAL COMPONENTS, DIMENSIONS, AND BUILDING ORIENTATION ONLY.
- ARCHITECTURAL DESIGN REQUIREMENTS ARE NOT COVERED IN THIS PLAN SET. THESE DESIGN REQUIREMENTS SHALL BE ADDRESSED IN A SEPARATE ARCHITECTURAL SET BY RESPONSIBLE LICENSED PROFESSIONALS IN CHARGE, AS NEEDED.
- ALL EXT ROOF SHEATHING SHALL BE CLASS A RATED 29GA. 3/4" STRATA RIB - PER UES ER D550 OR EQ.
- ALL EXT WALL SHEATHING SHALL BE CLASS A RATED 29GA. 3/4" STRATA RIB - PER UES ER D550 OR EQ.
- LOC. OF WALK-IN DOORS OR WINDOWS CAN BE DETERMINED ON SITE AS LONG AS THEY FALL BETWEEN BAYS (BETWEEN FULL FRAMES).

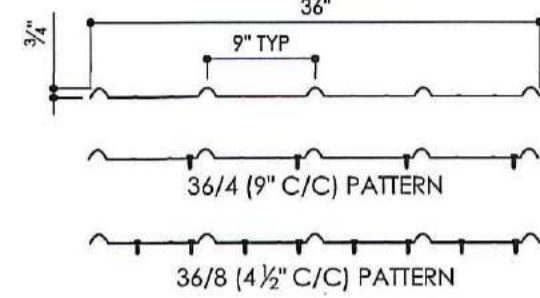
LEGEND

(WD) WALK-IN DOORS (REF DOOR MFG)

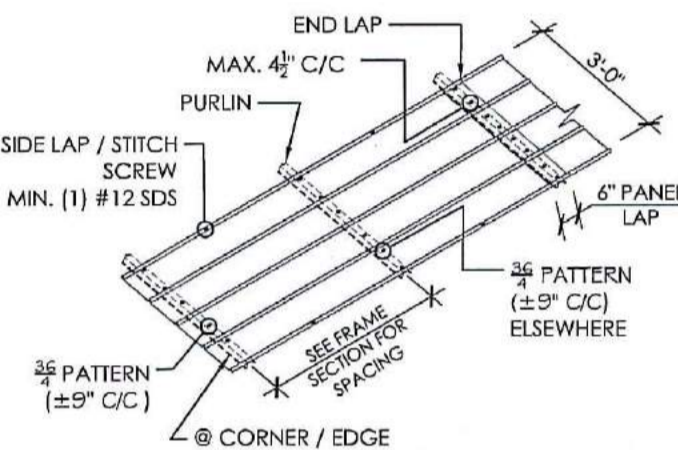
NOTE: ANY DOOR DESIGN INFORMATION IS NOT COVERED IN THIS PLAN SET AND SHALL BE ADDRESSED BY OTHERS.

SHEATHING FASTENER SCHEDULE

LOCATION	CORNER PANEL	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" CC	MIN. 1"	4 1/2" CC	9" CC
FASTENER TYPE	#12x1" SELF-DRILL SCREWS (ESR-2194) W/ NEOPRENE/STEEL WASHER			



29GA - 3/4" RIB PROFILE
SCALE: 3/4" : 1"



SHEATHING FASTENER PATTERN
SCALE: 3/16" : 1"

FOUNDATION NOTES:

- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- CONCRETE ANCHORS SHALL BE LOCATED AS SHOWN ON THE FOUNDATION PLAN WITH A MINIMUM OF (2) ANCHORS PER POST.
- DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN THE LOCAL FROST LINE DEPTH.
- DEPTH OF FOOTINGS SHALL EXTEND INTO UNDISTURBED SOIL OR COMPACTED ENGINEERING FILL.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONC STRENGTH TO BE A MIN OF 3000 PSI @ 28 DAYS. SPECIAL INSPECTION IS NOT REQUIRED AS ALL CONC FOUNDATION DESIGN IS BASED ON A MAX COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.
- CONC SLAB TO SLOPE A MIN OF 1/8" FOR EVERY 12" TOWARDS LARGE OPENING(S) TO ALLOW DRAINAGE, IF INTENDED USE IS A GARAGE.
- IF LEVELING CURB IS REQUIRED, CONTACT METAL BUILDING MANUFACTURER FOR DETAILS BEFORE PROCEEDING. MIN 8" WIDE CURB REQ.

CONCRETE ANCHORAGE

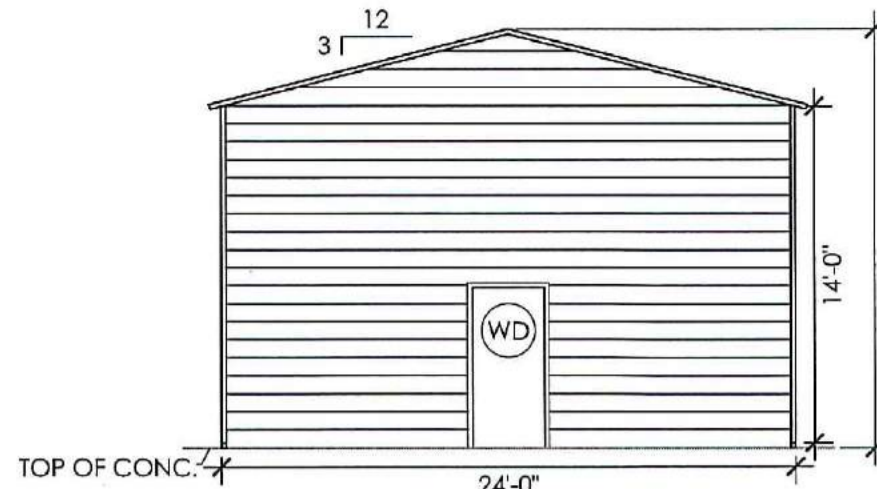
ANCHOR	5/8"Ø x 7" LG. POWER-STUD + SD1 EXPANSION ANCHOR (PER ESR 2818)
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ANCHORAGE NOTES:

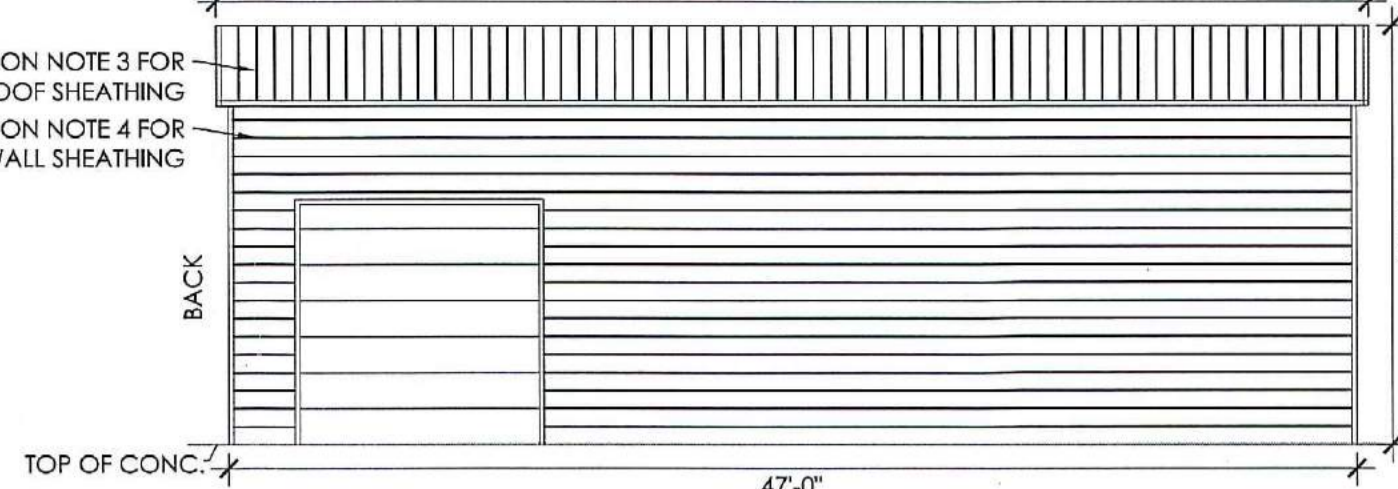
- ANCHOR INSTALLATION REQUIREMENTS:
 - MIN. ANCHOR EDGE DISTANCE: 4.00" OR U.N.O.
 - MIN. ANCHOR HOLE DEPTH: 3.75"
 - MIN. CONCRETE EMBEDMENT DEPTH: 3.375"
 - MIN. SPACING BETWEEN (2) ANCHORS: 5.00" OR U.N.O.
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.
- ALL ANCHORS TO BE A307 EQUIVALENT OR BETTER. ANCHORS TO BE INSTALLED PER MANUFACTURER'S REQ.

REINFORCEMENT NOTES:

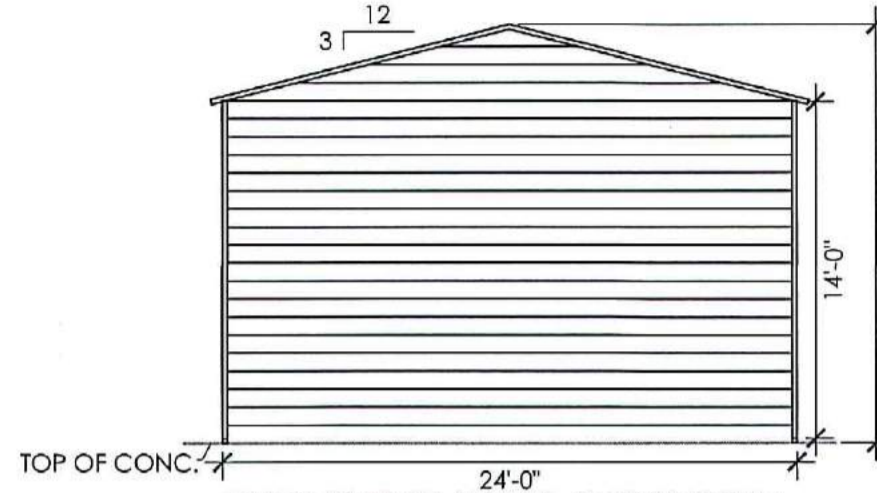
- REINFORCING STEEL: NEW BILLET-STEEL, DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60, WITH A MINIMUM YIELD OF 60 KSI FOR ALL BARS #4 AND LARGER UNLESS OTHERWISE INDICATED ON DRAWINGS.
- WELDED WIRE FABRIC: ASTM A185 USING BRIGHT STEEL WIRE MEETING THE REQUIREMENTS OF ASTM A82. GAUGES AND DIMENSIONS AS NOTED ON THE DRAWINGS. PROVIDE IN FLAT SHEETS ONLY.



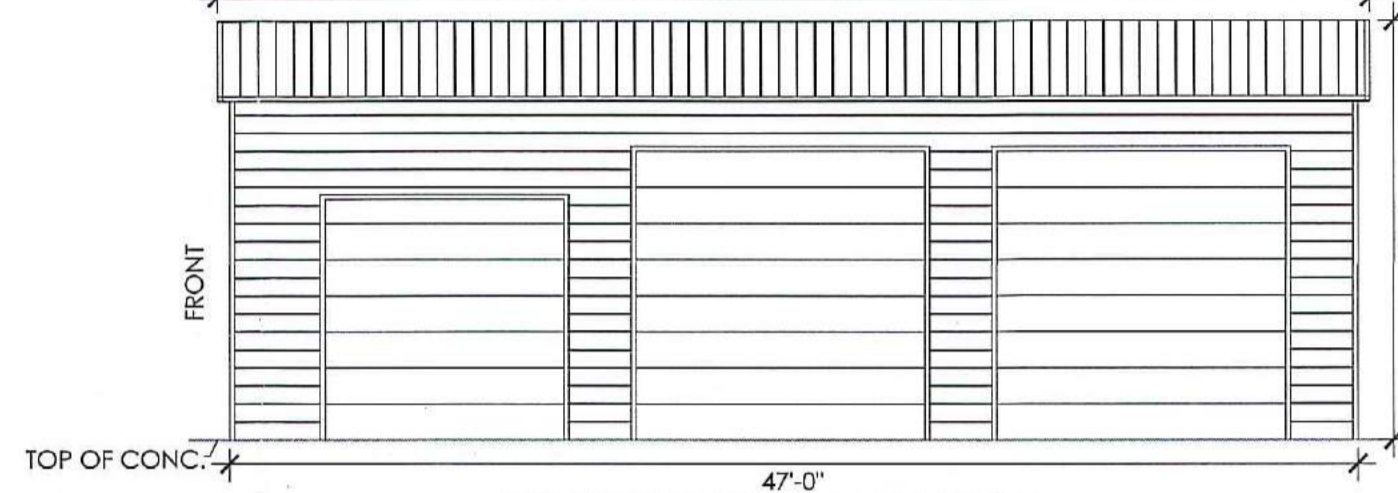
BACK END WALL ELEVATION
SCALE: 1/8" : 1"



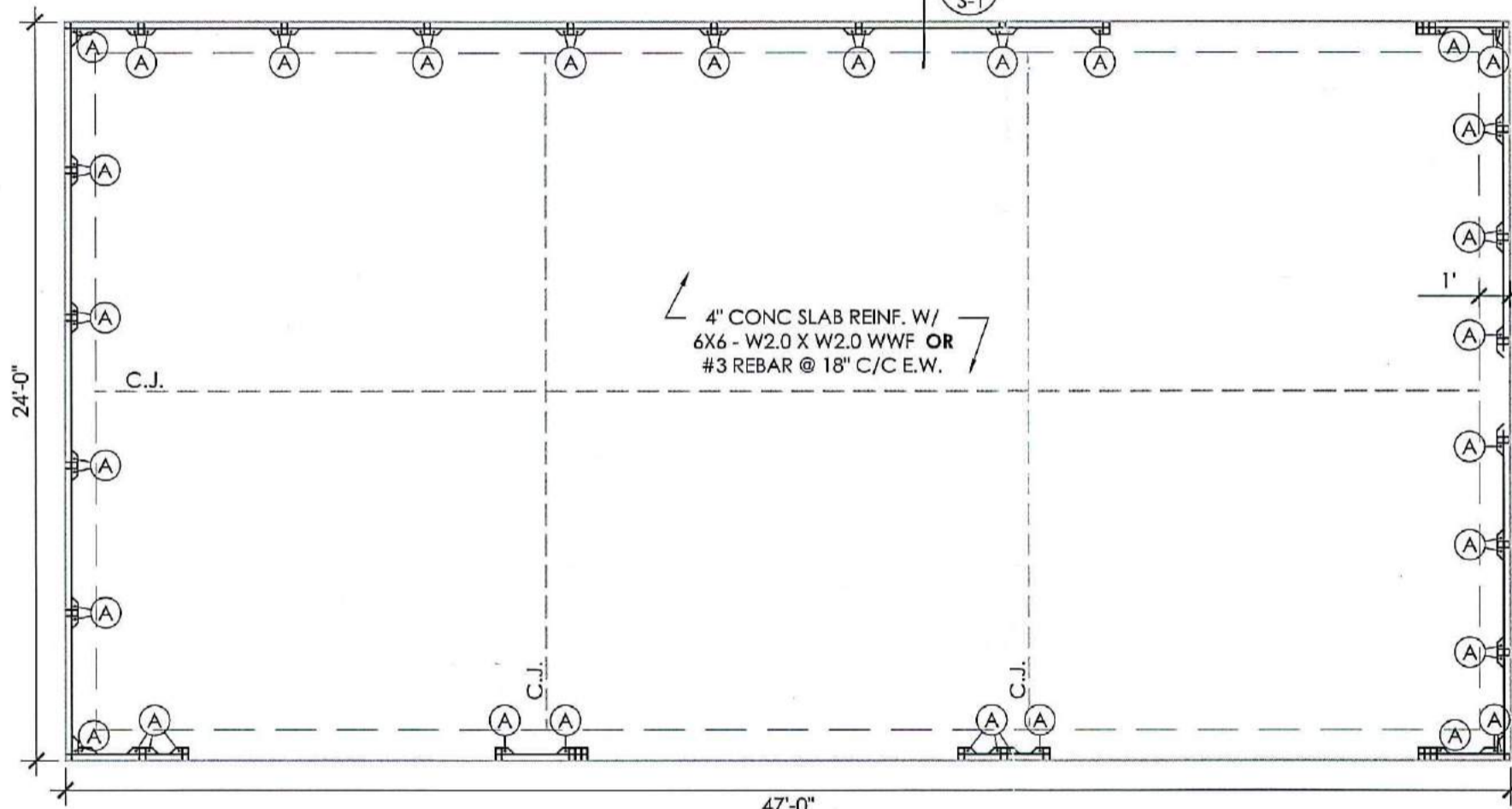
LEFT SIDE WALL ELEVATION
SCALE: 1/8" : 1"



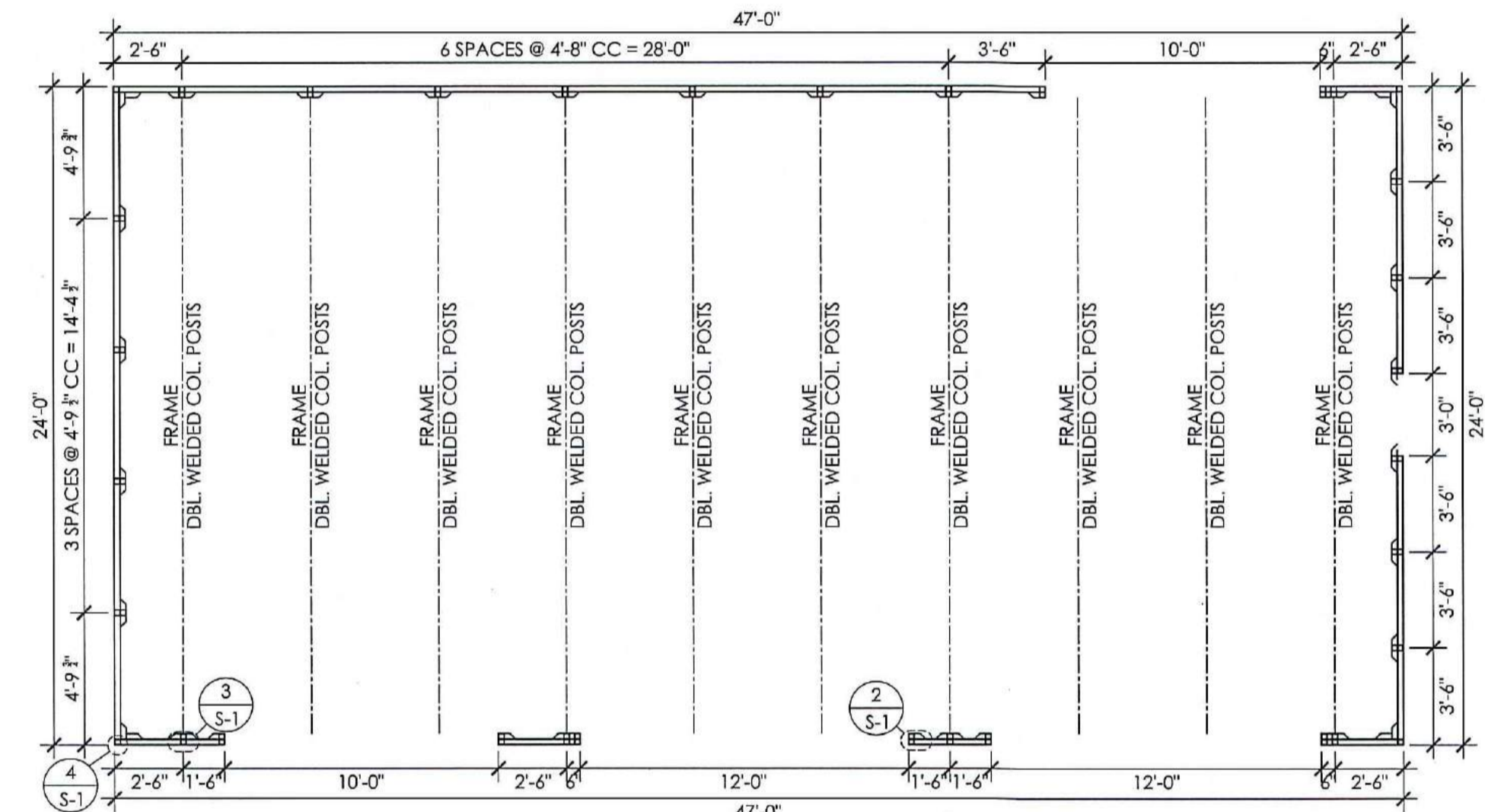
FRONT END WALL ELEVATION
SCALE: 1/8" : 1"



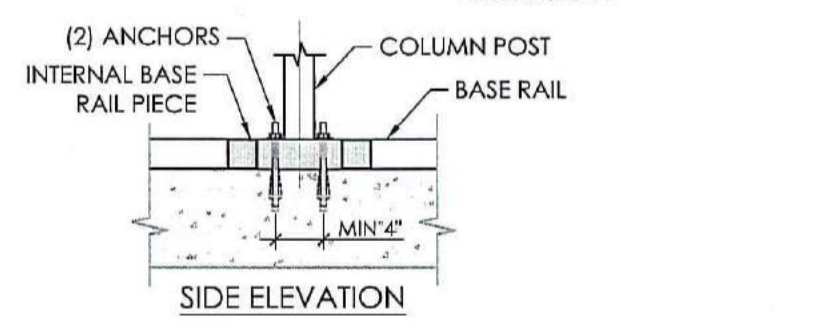
RIGHT SIDE WALL ELEVATION
SCALE: 1/8" : 1"



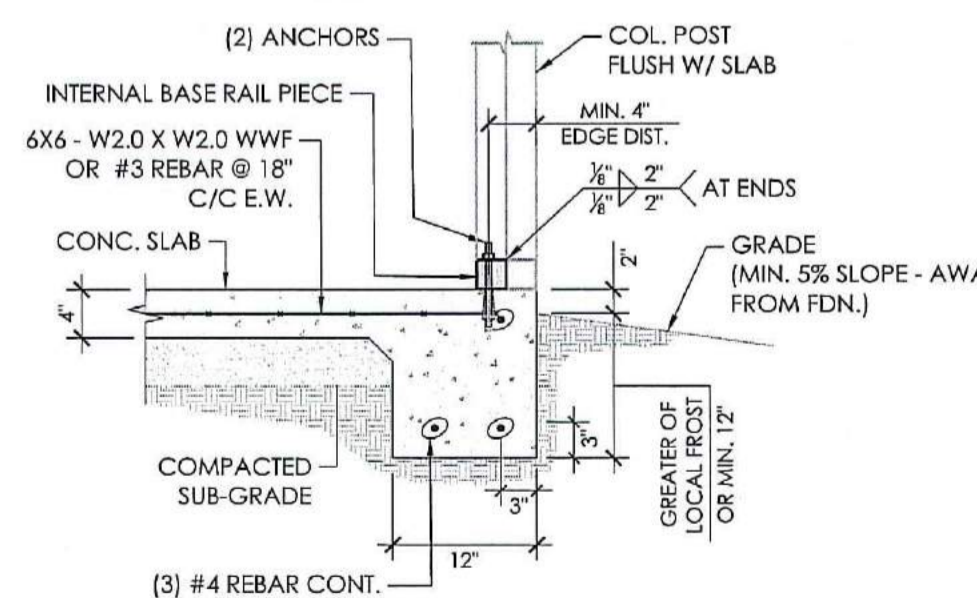
FOUNDATION PLAN
SCALE: 3/16" : 1"



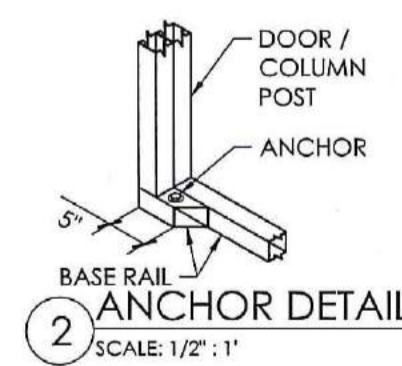
COLUMN LAYOUT
SCALE: 3/16" : 1"



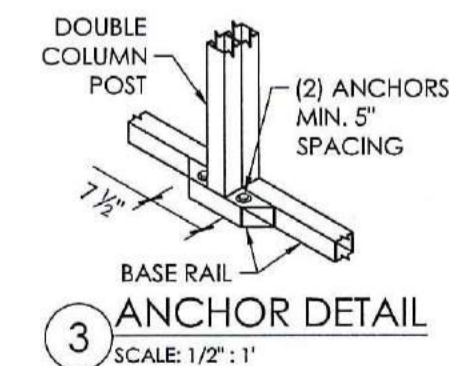
SIDE ELEVATION



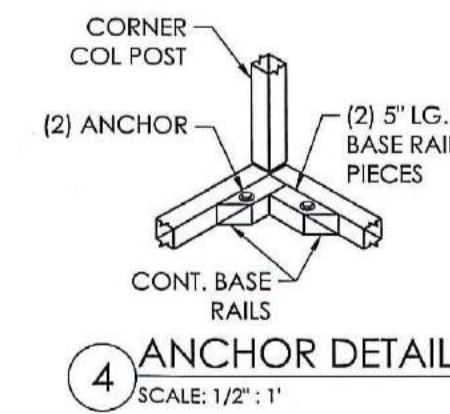
FOUNDATION DETAIL
SCALE: 3/4" : 1"



ANCHOR DETAIL
SCALE: 1/2" : 1"



ANCHOR DETAIL
SCALE: 1/2" : 1"

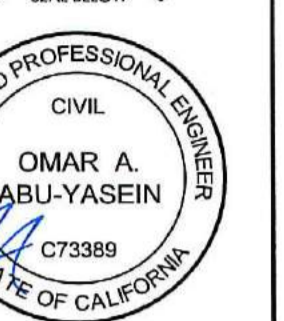


ANCHOR DETAIL
SCALE: 1/2" : 1"

MEMBER	PROPERTIES
CORNER POST	2 1/2" SQ. X 14GA TUBE
SIDE WALL POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
BASE RAIL	2 1/2" SQ. X 14GA TUBE
CONNECTOR SLEEVE	2 1/4" SQ. X 12GA TUBE
PURLINS	3.25" X 1.5" X 14GA HAT CHANNEL
DOUBLE DOOR POST	(2) 2 1/2" SQ. X 14GA TUBE
DOUBLE HEADER	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
DIAGONAL BRACES	2" SQ. X 12GA TUBE
HORIZONTAL BRACES	2 1/4" SQ. X 14GA TUBE
END WALL POSTS	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
PEAK BRACE	2 1/2" SQ. X 14GA TUBE
KNEE BRACE	(2) 3.25" X 1.5" X 14GA HAT CHANNEL

Interstate Steel Structures
 831 S. Street 20
 San Jacinto, CA 92583
 Tel: 951-654-2555
 Fax: 951-654-2608

FOR QUESTIONS, MODIFICATIONS, REVISIONS OR CORRECTIONS NEEDED TO PLANS, PLEASE CONTACT THE METAL BUILDING MANUFACTURER LISTED ON PLANS. ENGINEER OF RECORD REQUIRES AUTHORIZATION FROM THE METAL BUILDING MANUFACTURER TO MAKE ANY CHANGES TO PLANS.



EXPIRES: 12/31/2024
 SIGNED: 05/15/2023
 THE ENGINEERING SEAL COVERS STRUCTURAL DESIGN ELEMENTS PRESENTED IN THIS SET OF PLANS. IT DOES NOT PROVIDE ANY ARCHITECTURAL, SITE, ZONING, HVAC, ELEC, MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ADDRESSED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.

ALA PROJECT NUMBER
201-23-1252

PROJECT FILE PROJECT LOCATION

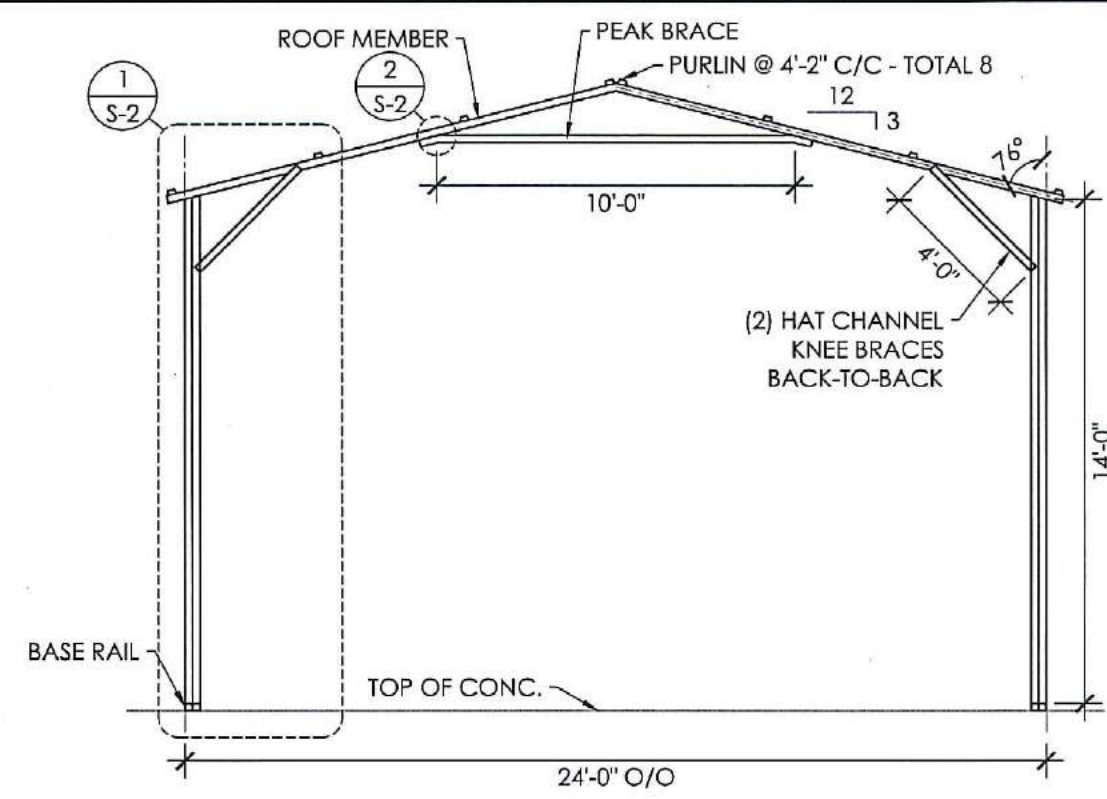
FRANCISCO BAUTISTA
 1426 S COAST HWY
 OCEANSIDE, CA 92054
 (SAN DIEGO COUNTY, CA)

MARK	REVISION	COMMENT	DATE
-	ISSUED FOR PERMITS & CONSTRUCTION		05/15/2023

DRAWING INFO
 DRAWN BY: C.S.
 CHECKED BY: O.A.
 DATED: 05/15/2023

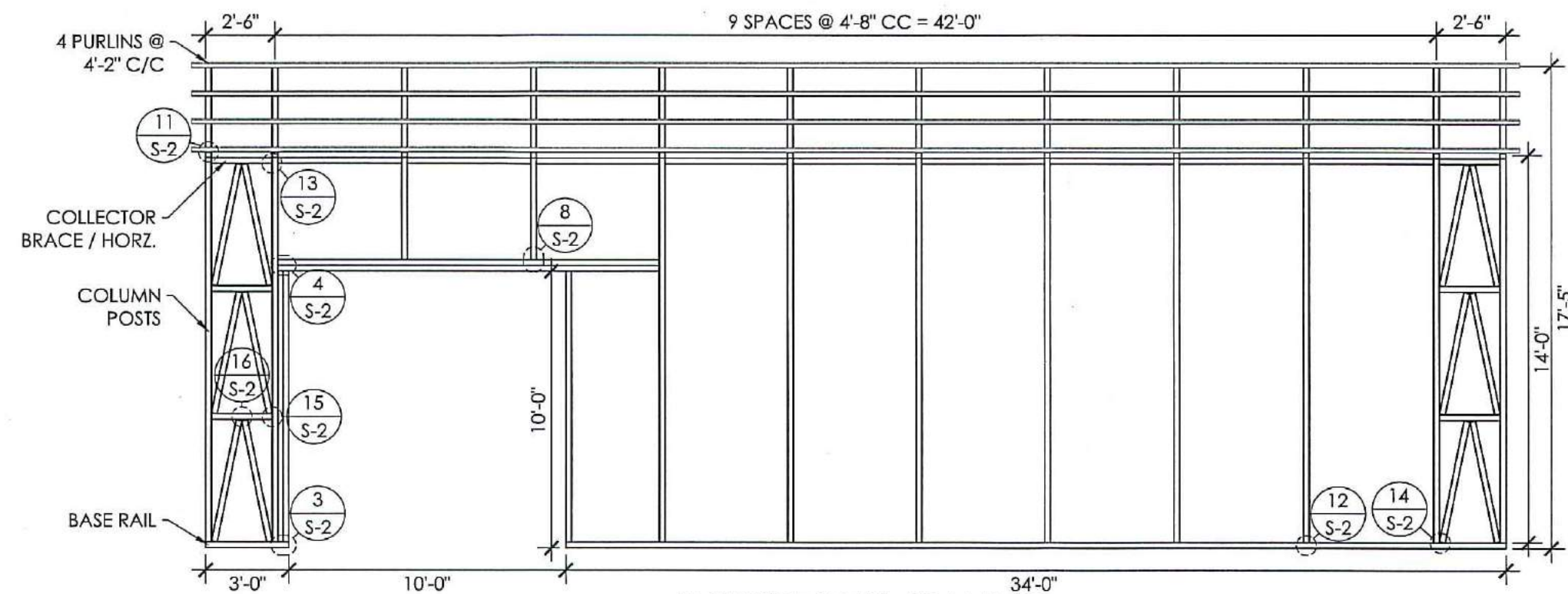
SHEET TITLE
 COVER SHEET
 ELEVATIONS
 FOUNDATION PLAN
 COLUMN LAYOUT & DETAILS

SHEET NUMBER
S - 1

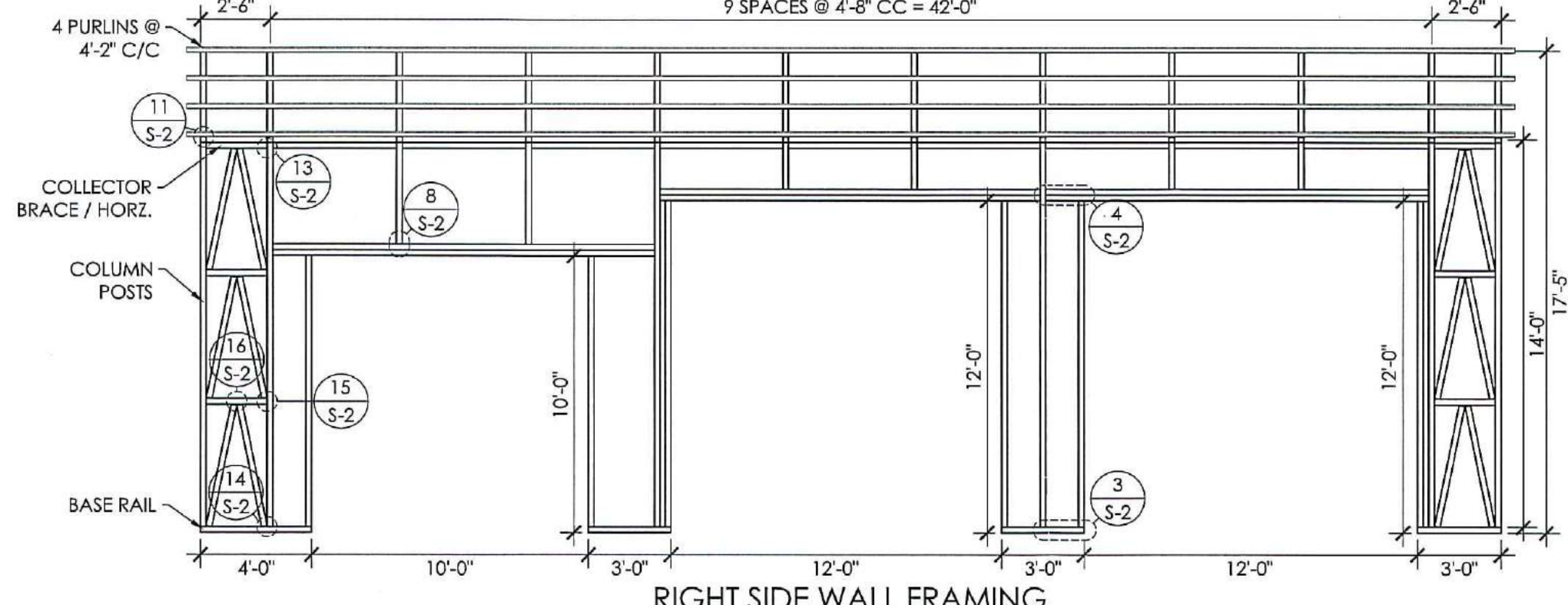


FRAME SECTION
SCALE: 3/16" = 1"

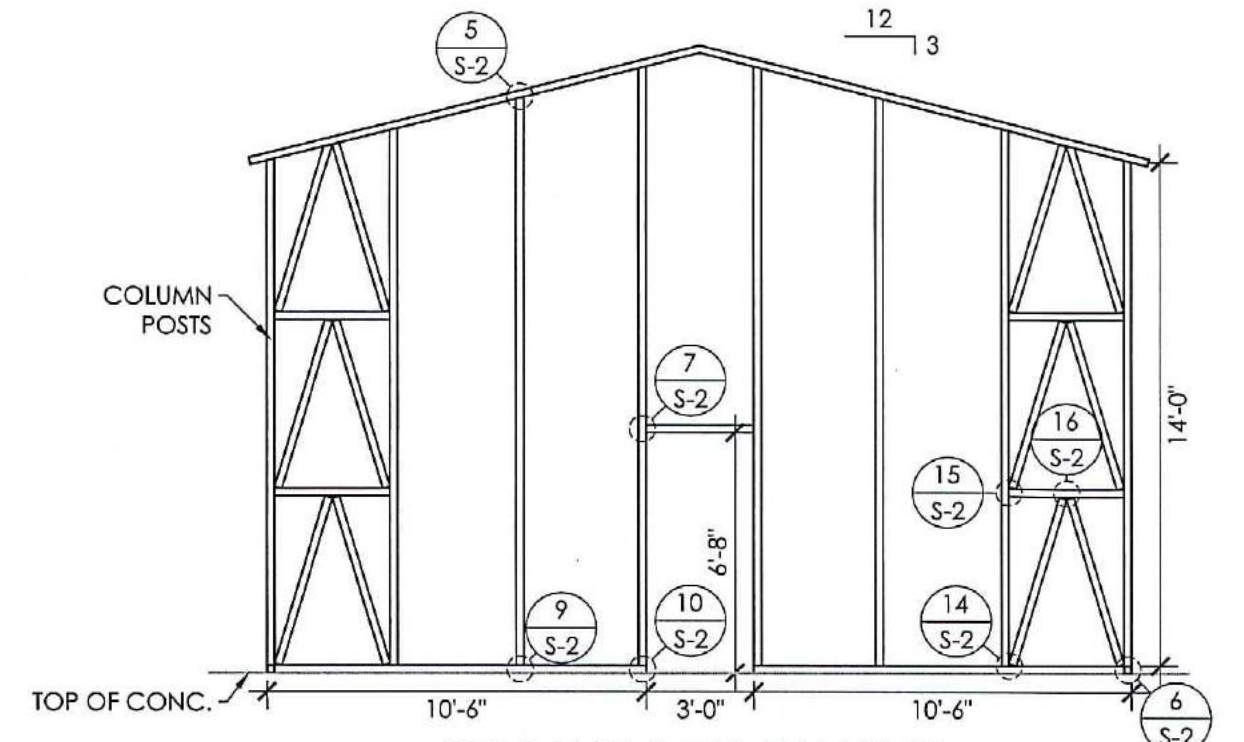
MEMBER PROPERTIES			
COLUMN POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED		
ROOF MEMBER	2 1/2" SQ. X 14GA TUBE		
BASE RAIL	2 1/2" SQ. X 14GA TUBE		
PEAK BRACE	2 1/2" SQ. X 14GA TUBE		
KNEE BRACE	(2) 3.25" X 1.5" X 14GA HAT CHANNEL		
CONNECTOR SLEEVE	2 1/4" SQ. X 12GA TUBE		
PURLINS	3.25" X 1.5" X 14GA HAT CHANNEL		
SHEATHING FASTENER SCHEDULE			
LOCATION	CORNER PANEL	SIDE LAPS	EDGE LAPS / ELSEWHERE
SPACING	9" CC	MIN. 1	4 1/2" CC / 9" CC
FASTENER TYPE: # 12x1" SELF-DRILL SCREWS (ESR-2196) W/ NEOPRENE/STEEL WASHER			



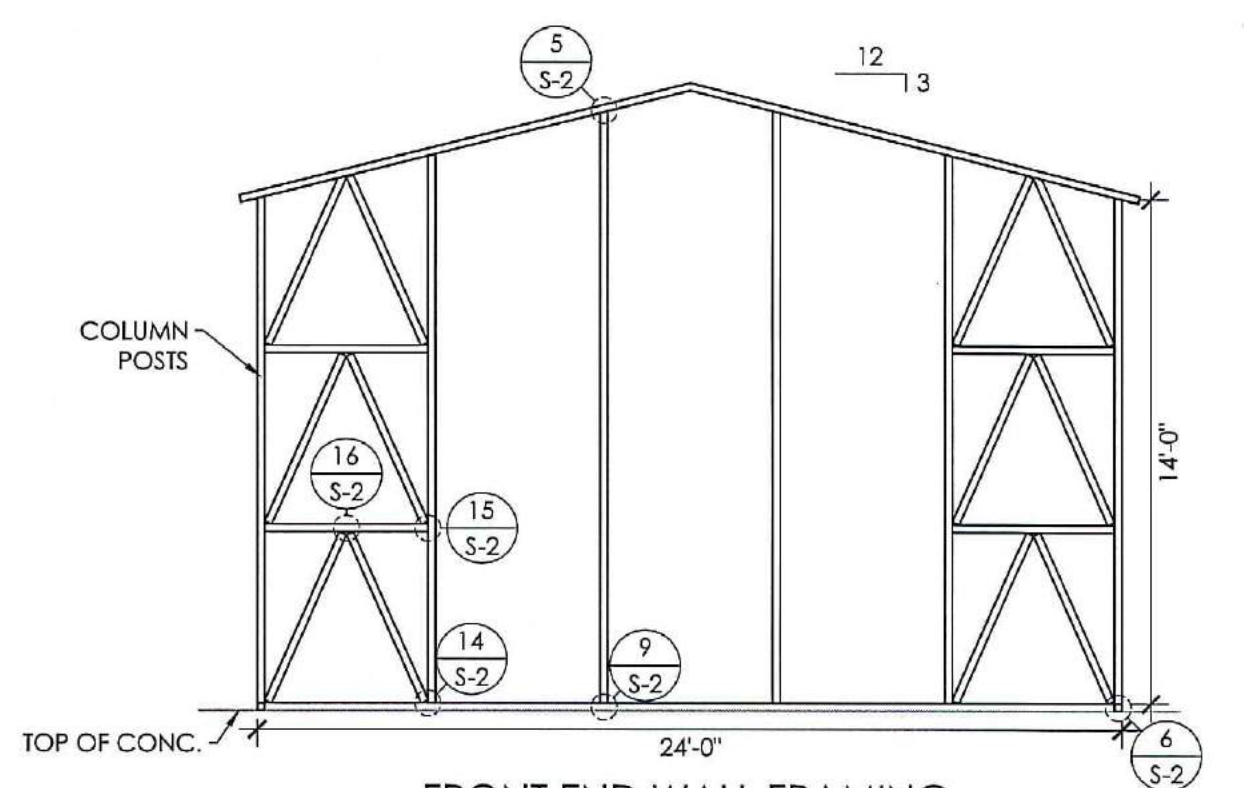
LEFT SIDE WALL FRAMING
SCALE: 3/16" = 1"



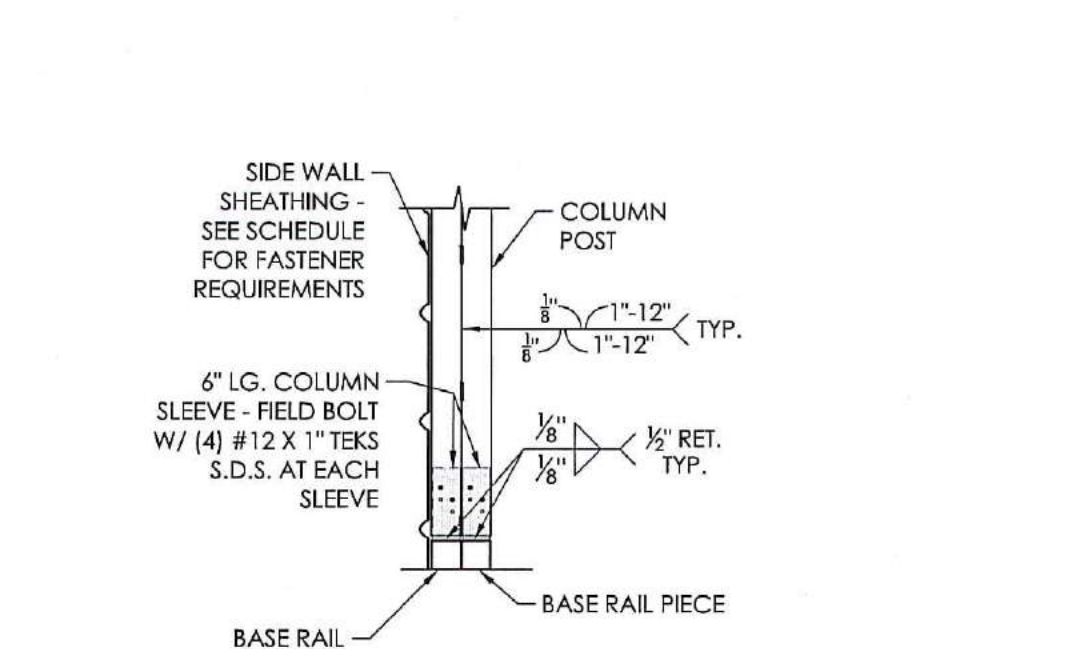
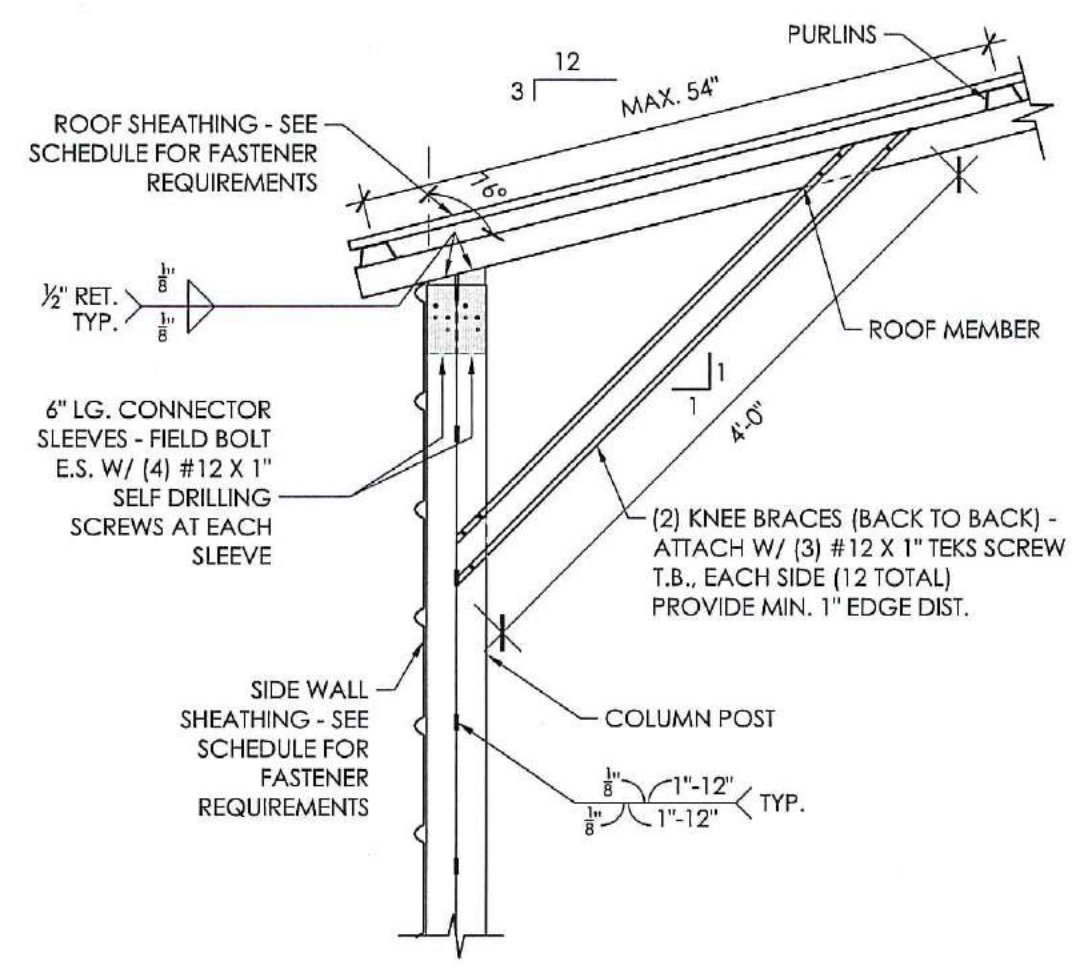
RIGHT SIDE WALL FRAMING
SCALE: 3/16" = 1"



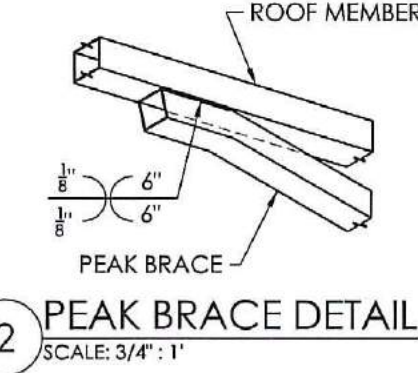
REAR END WALL FRAMING
SCALE: 3/16" = 1"



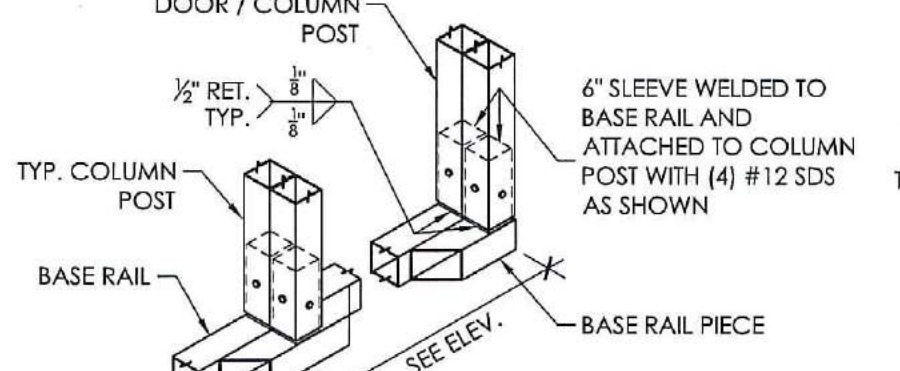
FRONT END WALL FRAMING
SCALE: 3/16" = 1"



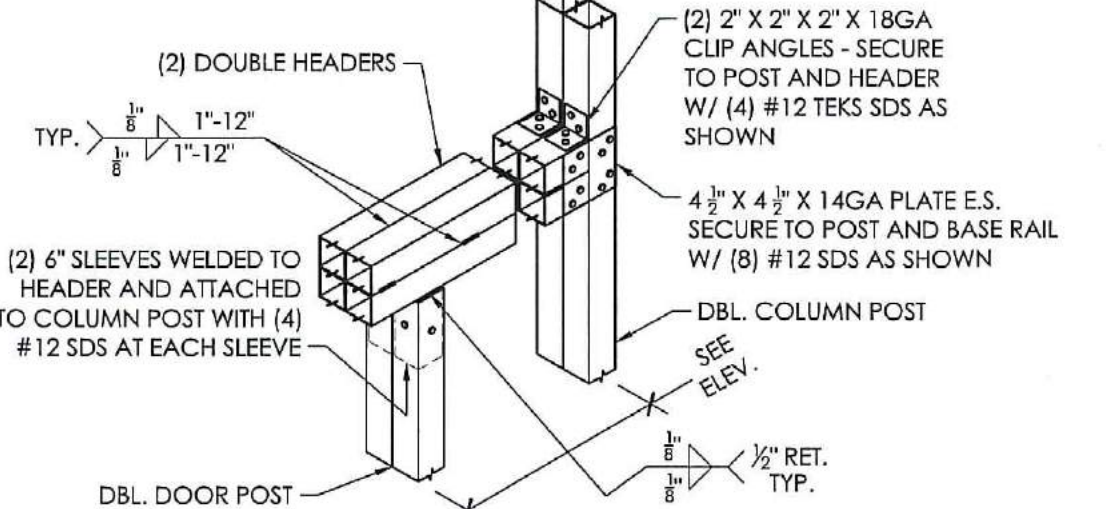
1 FRAME DETAIL
SCALE: 3/4" = 1"



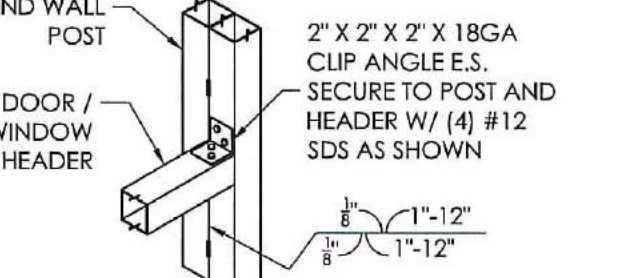
2 PEAK BRACE DETAIL
SCALE: 3/4" = 1"



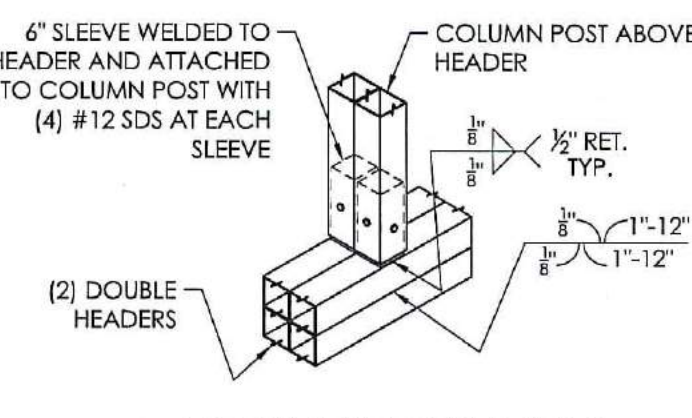
3 DOOR BASE DETAIL
SCALE: 3/4" = 1"



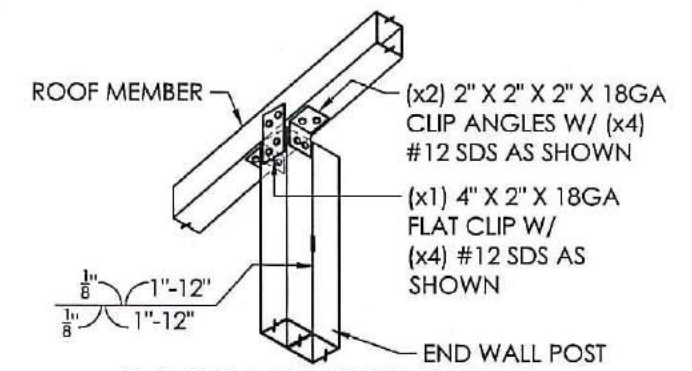
4 DOOR HEADER DETAIL
SCALE: 3/4" = 1"



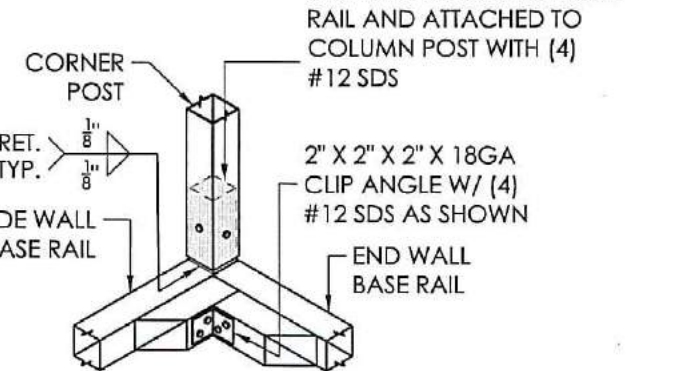
7 WINDOW/DOOR DETAIL
SCALE: 3/4" = 1"



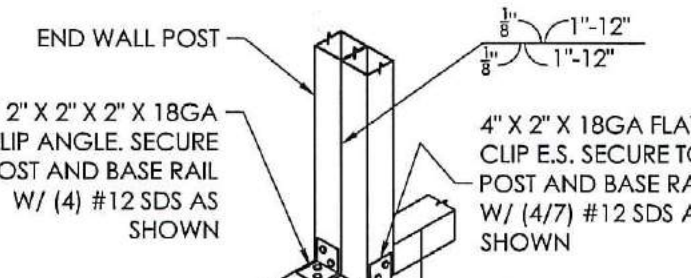
8 ABOVE HEADER DETAIL
SCALE: 3/4" = 1"



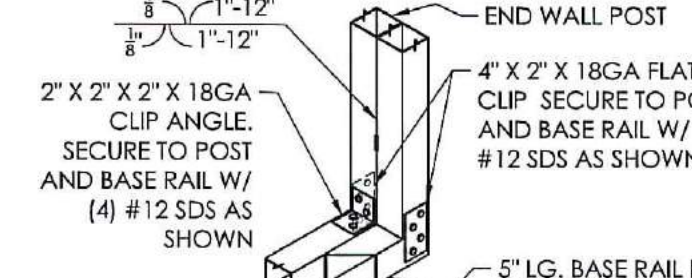
5 ROOF MEMBER DETAIL
SCALE: 3/4" = 1"



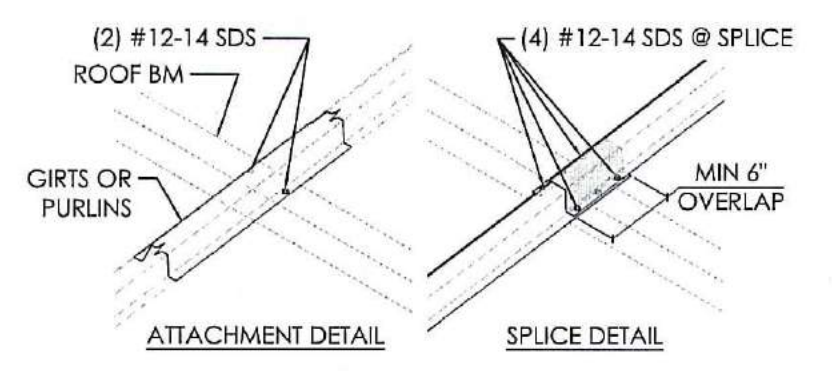
6 CORNER DETAIL
SCALE: 3/4" = 1"



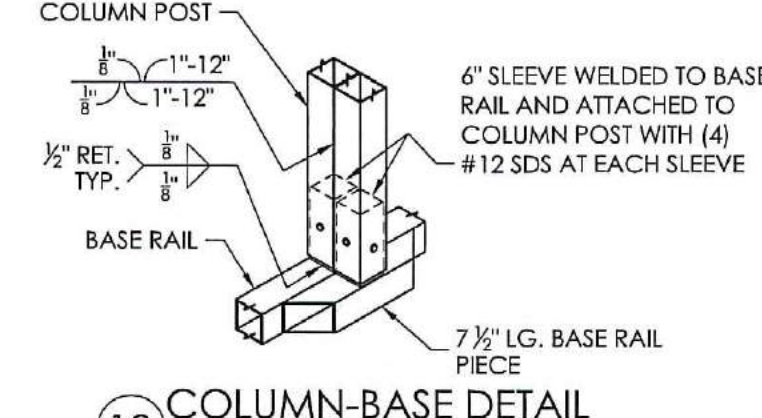
9 COLUMN-BASE DETAIL
SCALE: 3/4" = 1"



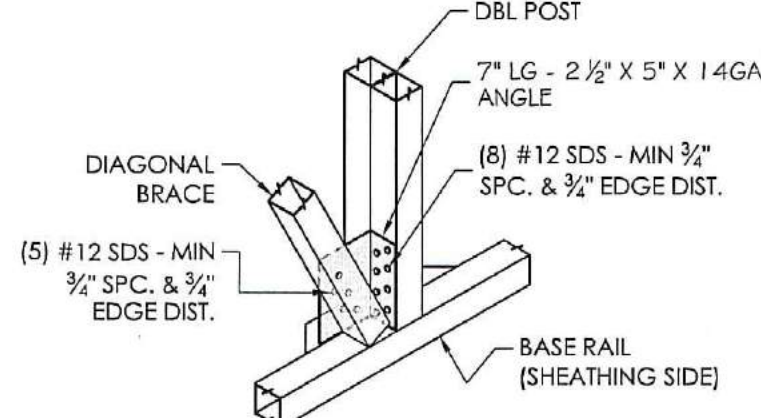
10 DOOR BASE DETAIL
SCALE: 3/4" = 1"



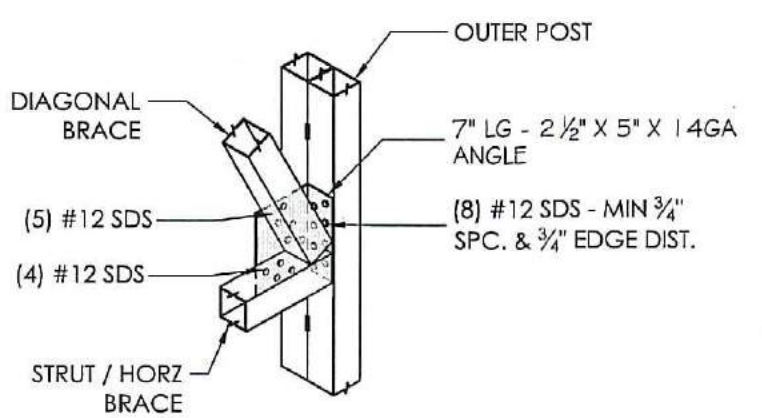
11 GIRT/PURLIN DETAIL
SCALE: 3/4" = 1"



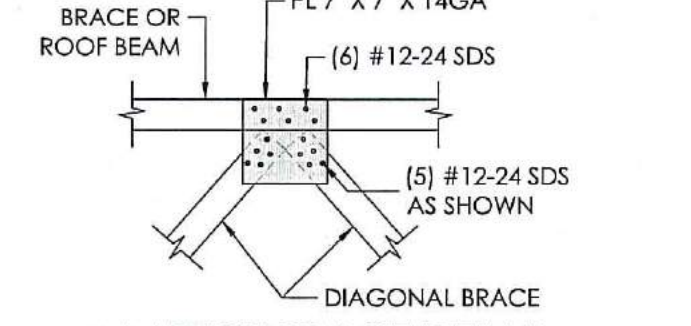
12 COLUMN-BASE DETAIL
SCALE: 3/4" = 1"



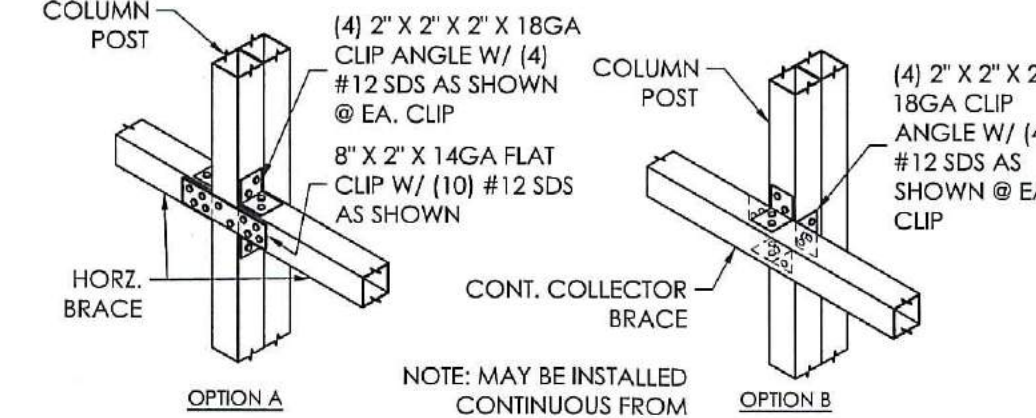
14 LATTICE BRACE DETAIL
SCALE: 3/4" = 1"



15 LATTICE BRACE DETAIL
SCALE: 3/4" = 1"



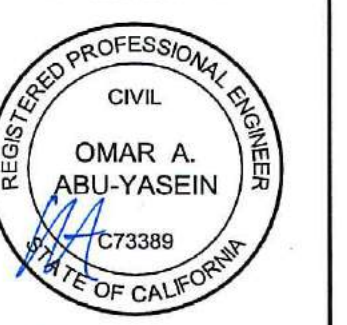
16 LATTICE BRACE DETAIL
SCALE: 3/4" = 1"



13 COLLECTOR BRACE DETAIL
SCALE: 3/4" = 1"

Interstate Steel Structures
831 S. State St.
San Jose, CA 95128
Tel: 1-888-654-2435
Fax: 951-654-2088

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EXPIRES: 12/31/2024
SIGNED: 05/15/2023

THE ENGINEERING SEAL COVERS STRUCTURAL DESIGN ELEMENTS PRESENTED IN THIS SET OF PLANS. ENGINEER DOES NOT PROVIDE ANY ARCHITECTURAL, MECHANICAL, ELEC. MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ACCORDED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.

AAA PROJECT NUMBER
201-23-1252

PROJECT TITLE LOCATION

FRANCISCO BAUTISTA
1426 S COAST HWY
OCEANSIDE, CA 92054
(SAN DIEGO COUNTY, CA)

MARK	REVISION	DATE
1	ISSUED FOR PERMITS & CONSTRUCTION	05/15/2023

DRAWN BY: DATE: 05/15/2023
C.S.
CHECKED BY: DATE: 05/15/2023
O.A.

FRAME SECTION
SIDE WALL FRAMING
ENDWALL FRAMING
& DETAILS

SCOPE OF PLANS:

- TO PROVIDE STRUCTURAL DESIGN FOR THE PRE-FAB METAL BUILDING PER THE SPECIFIED DESIGN LOADS, AND APPLICABLE BUILDING CODES. ANY DISCREPANCIES IN DESIGN LOADS SHALL BE BROUGHT TO THE ATTN. OF THE ENGINEER OF RECORD.
- DOES NOT PROVIDE ANY ARCHITECTURAL, SITE, ZONING, HVAC, ELEC, MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ADDRESSED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.

STRUCTURAL DRAWING INDEX

- S-1 COVER SHEET, ELEVATIONS, FOUNDATION PLAN & DETAILS, COLUMN LAYOUT PLAN & DETAILS
- S-2 FRAME SECTION & DETAILS, SIDE WALL FRAMING & DETAILS, END WALL FRAMING & DETAILS

STRUCTURAL DESIGN CRITERIA

PREVAILING CODE:	CBC 2022 (IBC 2021)
USE GROUP:	U (PRIVATE GARAGE / SHED)
CONSTRUCTION TYPE:	V - B
RISK CATEGORY:	I
BUILDING FOOTAGE:	506 SQ.FT
1. DEAD LOAD (D)	2.0 PSF
2. ROOF LIVE LOAD (Lr)	Lr = 20 PSF
3. SNOW LOAD (S)	
GROUND SNOW LOAD	Pg = 0 PSF
IMPORTANCE FACTOR	I _s = 1.00
THERMAL FACTOR	C _t = 1.2
EXPOSURE FACTOR	C _e = 1.0
ROOF SLOPE FACTOR	C _s = 1.0
FLAT ROOF SNOW LOAD	P _f = 0 PSF
SLOPED ROOF SNOW LOAD	P _s = 0 PSF
4. WIND LOAD (W)	
DESIGN WIND SPEED	V _{ult} = 96 MPH
EXPOSURE	C
5. SEISMIC LOAD (E)	
S _s / S ₁	1.077 / 0.391
SD _s / SD ₁	0.862 / NULL
DESIGN CATEGORY	D
SITE CLASS	D (DEFAULT)
IMPORTANCE FACTOR	I _e = 1.00
L.F.R.S IN X DIR	
TYPICAL FRAME	O.M.F
RESPONSE MOD. FACTOR	R = 3.50
END FRAMES	O.C.B.F
RESPONSE MOD. FACTOR	R = 3.25
SEISMIC COEFFICIENT	C _{sx} = 0.265
SEISMIC BASE SHEAR	V _{sx} = 1307.32 LBF
L.F.R.S IN Y DIR	
SIDEWALLS	O.C.B.F
RESPONSE MOD. FACTOR	R = 3.25
SEISMIC COEFFICIENT	C _{sz} = 0.265
SEISMIC BASE SHEAR	V _{sz} = 1307.32 LBF

- ASD LOAD COMBINATIONS:**
- D + (Lr OR S)
 - D + (0.6W OR ±0.7E)
 - D + 0.75 (0.6W OR ±0.7E) + 0.75 (Lr OR S)
 - 0.6D + (0.6W OR ±0.7E)

STRUCTURAL DESIGN NOTES

- ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH CBC 2022, IBC 2021, ASCE 7-16, OSHA, AISI 360, AISI 100, AWS D1.3 CODES AND ALL OTHER APPLICABLE LOCAL CITY OR COUNTY REQUIREMENTS.
- ALL MATERIALS IDENTIFIED BY A MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
- ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS, NO FIELD WELDING IS REQUIRED, WELDING ELECTRODES PER AWS CODE, E70XX UNLESS NOTED OTHERWISE ON PLANS.
- ALL STRUCTURAL FIELD CONNECTIONS SHALL BE #12-14 x 3/4" SDS (ESR-2196) U.N.O. NO NEOPRENE WASHERS ARE PERMITTED AT STRUCTURAL CONNECTIONS.
- STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80 KSI) OR EQ.
- SHEATHING CONNECTIONS SHALL BE #12-14 x 3/4" SDS. NEOPRENE WASHERS ARE REQUIRED.
- ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE ASTM A653 (HSLA) GRADE 50 STEEL (F_y = 50 KSI, F_u = 65 KSI) OR EQUIV.
- STRUCTURAL TUBE IS 2 1/2" x 2 1/2" x 12GA (0.109") AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
- GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT CONSIDERED OR ACCOUNTED FOR ON THE DESIGN CRITERIA OF THIS STRUCTURE. U.N.O.

SPECIAL INSPECTION SCHEDULE	PERIODIC	CONTINUOUS
ANCHORAGE		
1. POST-INSTALLED CONCRETE ANCHOR BOLTS PER ICC-ESR REQUIREMENTS (REF SHEET 3B)	X	
THE OWNER SHALL HIRE LICENSED SPECIAL INSPECTOR AT THEIR OWN COST. THE OWNER MAY BRING TO THE ATTENTION OF THE ENGINEER, ANY ISSUES OF CONCERN NOTED BY THE INSPECTOR.		

ELEVATION NOTES

- THE INTENTION OF ELEVATIONS PROVIDED ON THIS SHEET IS TO INDICATE STRUCTURAL COMPONENTS, DIMENSIONS, AND BUILDING ORIENTATION ONLY.
- ARCHITECTURAL DESIGN REQUIREMENTS ARE NOT COVERED IN THIS PLAN SET. THESE DESIGN REQUIREMENTS SHALL BE ADDRESSED IN A SEPARATE ARCHITECTURAL SET BY RESPONSIBLE LICENSED PROFESSIONALS IN CHARGE. AS NEEDED.
- ALL EXT ROOF SHEATHING SHALL BE: CLASS A RATED 29GA. 3/4" STRATA RIB - PER UES ER 0550 OR EQ.
- ALL EXT WALL SHEATHING SHALL BE: CLASS A RATED 29GA. 3/4" STRATA RIB - PER UES ER 0550 OR EQ.
- LOC OF WALK-IN DOORS OR WINDOWS CAN BE DETERMINED ON SITE AS LONG AS THEY FALL BETWEEN BAYS (BETWEEN FULL FRAMES).

LEGEND

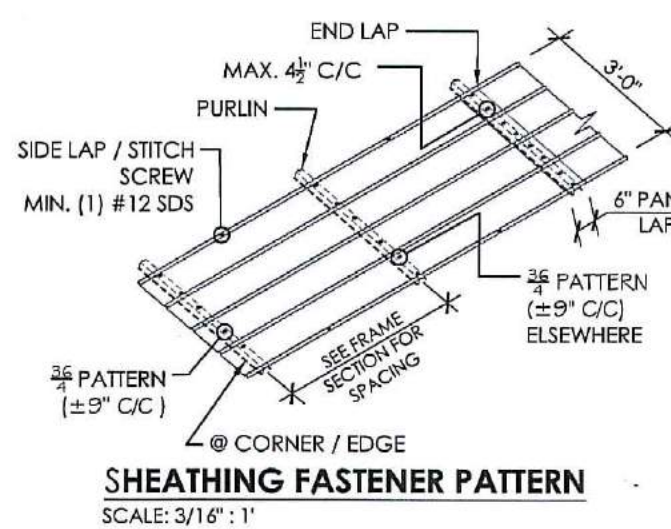
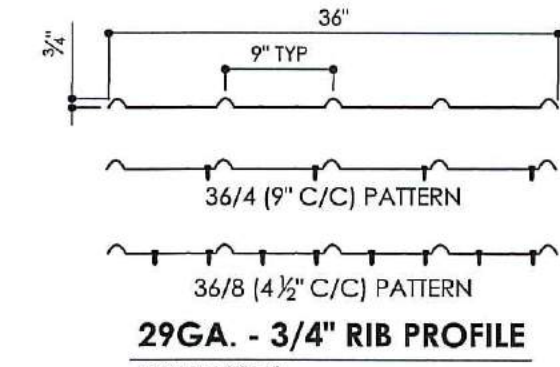
(WD) WALK-IN DOORS (REF DOOR MFG)

NOTE: ANY DOOR DESIGN INFORMATION IS NOT COVERED IN THIS PLAN SET AND SHALL BE ADDRESSED BY OTHERS.

SHEATHING FASTENER SCHEDULE

LOCATION	CORNER PANEL	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" CC	MIN. 1	4 1/2" CC	9" CC

FASTENER TYPE: # 12x1" SELF-DRILL SCREWS (ESR-2196) W/ NEOPRENE/STEEL WASHER



FOUNDATION NOTES:

- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- CONCRETE ANCHORS SHALL BE LOCATED AS SHOWN ON THE FOUNDATION PLAN WITH A MINIMUM OF (2) ANCHORS PER POST.
- DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN THE LOCAL FROST LINE DEPTH.
- DEPTH OF FOOTINGS SHALL EXTEND INTO UNDISTURBED SOIL OR COMPACTED ENGINEERING FILL.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONC. STRENGTH TO BE A MIN OF 3000 PSI @ 28 DAYS. SPECIAL INSPECTION IS NOT REQUIRED AS ALL CONC FOUNDATION DESIGN IS BASED ON A MAX COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.
- CONC. SLAB TO SLOPE A MIN OF 1/8" FOR EVERY 12" TOWARDS LARGE OPENING(S) TO ALLOW DRAINAGE. IF INTENDED USE IS A GARAGE.
- IF LEVELING CURBS IS REQUIRED, CONTACT METAL BUILDING MANUFACTURER FOR DETAILS BEFORE PROCEEDING. MIN 8" WIDE CURB REQ.

CONCRETE ANCHORAGE

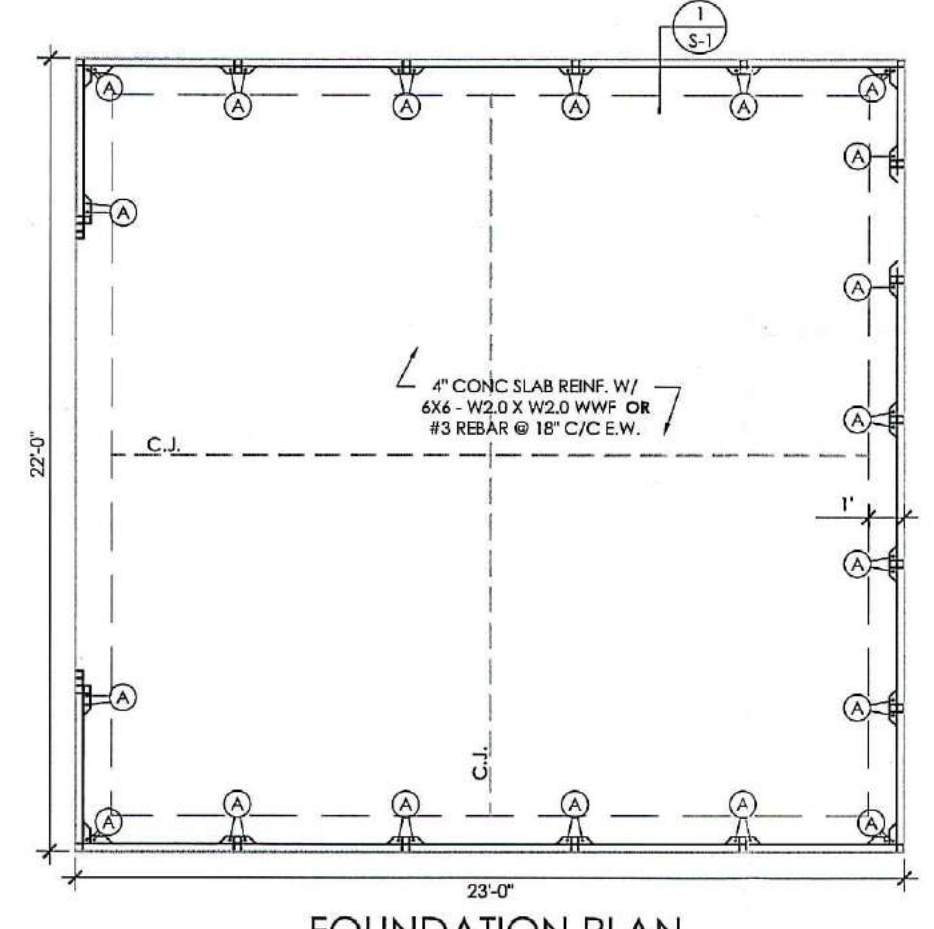
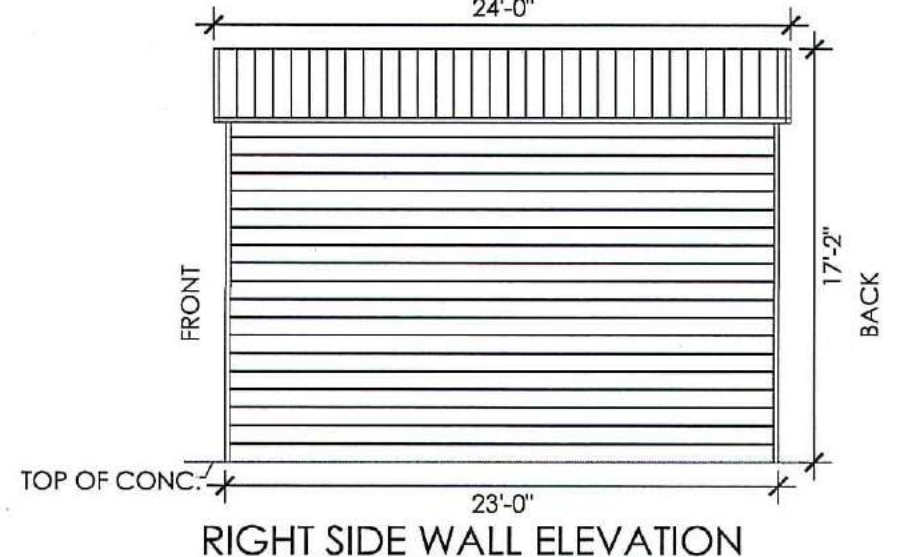
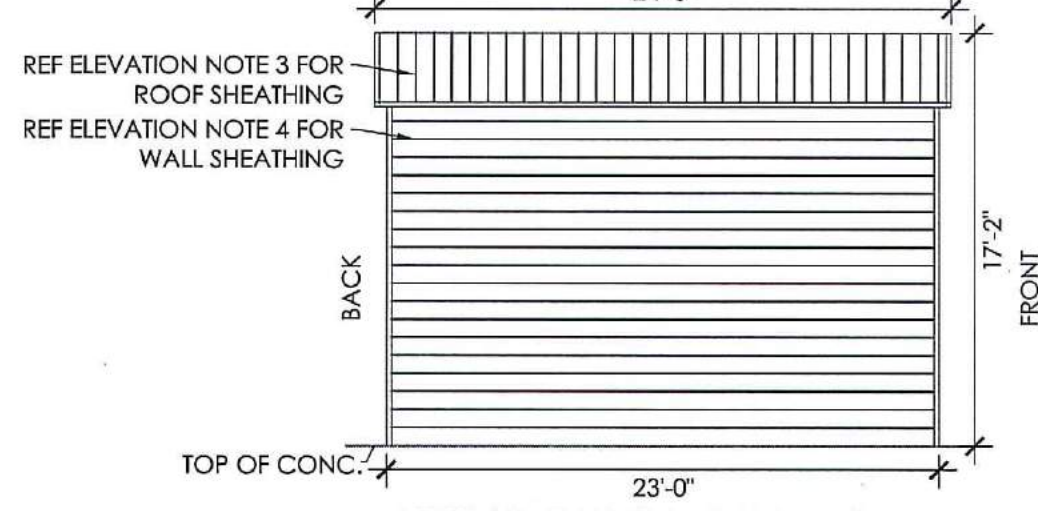
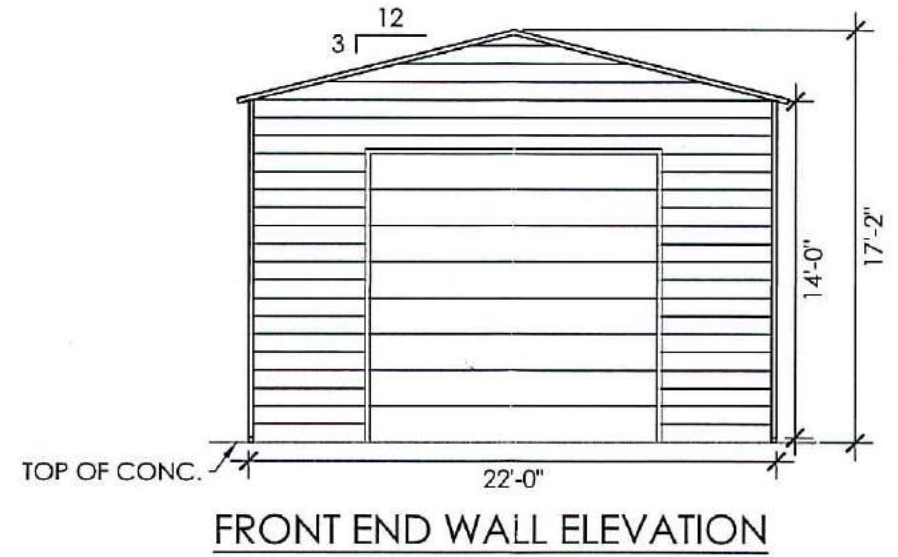
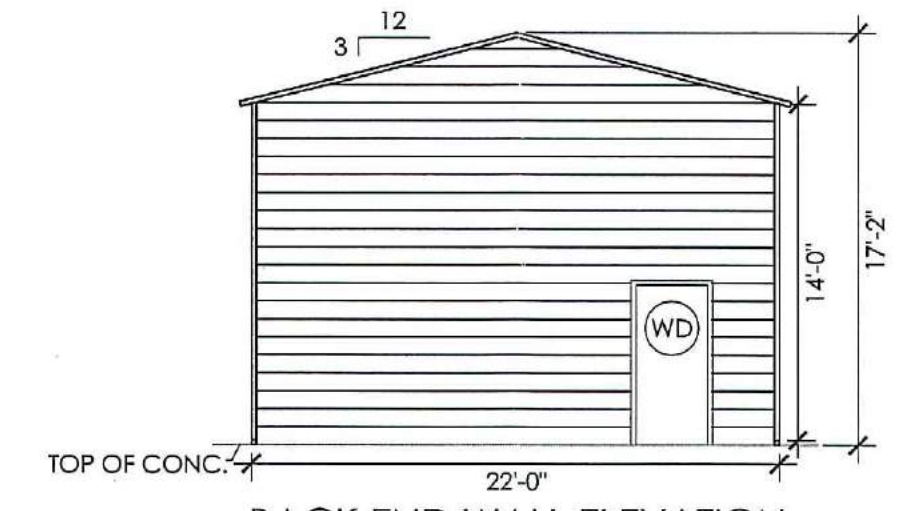
ANCHOR (A)	5/8"Ø" X 7" LG. POWER-STUD+ SD1 EXPANSION ANCHOR (PER ESR 2818)
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- ANCHORAGE NOTES:**
- ANCHOR INSTALLATION REQUIREMENTS:
 - MIN. ANCHOR EDGE DISTANCE: 4.00" U.N.O.
 - MIN. ANCHOR HOLE DEPTH: 3.75"
 - MIN. CONCRETE EMBEDMENT DEPTH: 3.375"
 - MIN. SPACING BETWEEN (2) ANCHORS: 5.00" U.N.O.
 - ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.
 - ALL ANCHORS TO BE A307 EQUIVALENT OR BETTER. ANCHORS TO BE INSTALLED PER MANUFACTURER'S REG.

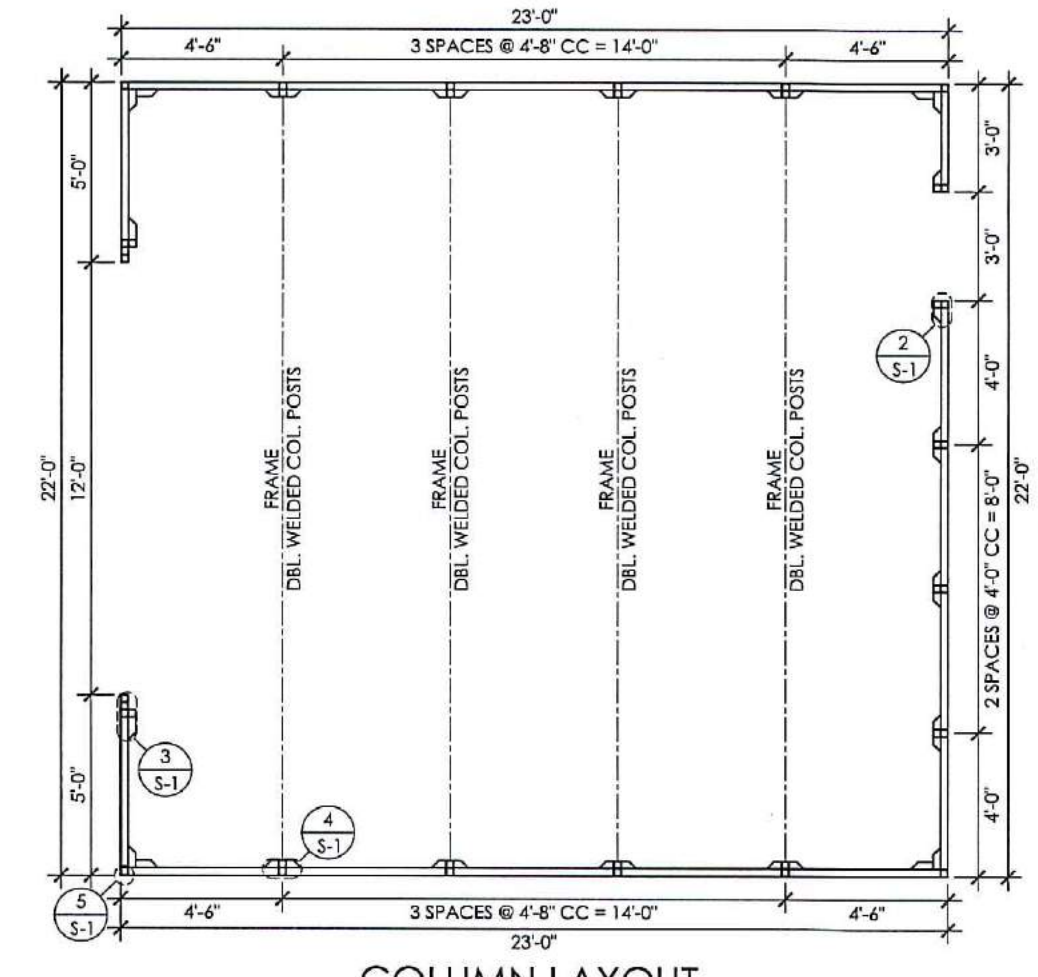
REINFORCEMENT NOTES:

- REINFORCING STEEL: NEW BILLET-STEEL, DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60, WITH A MINIMUM YIELD OF 60 KSI FOR ALL BARS #4 AND LARGER UNLESS OTHERWISE INDICATED ON DRAWINGS.
- WELDED WIRE FABRIC: ASTM A185 USING BRIGHT STEEL WIRE MEETING THE REQUIREMENTS OF ASTM A62. GAUGES AND DIMENSIONS AS NOTED ON THE DRAWINGS. PROVIDE IN FLAT SHEETS ONLY.

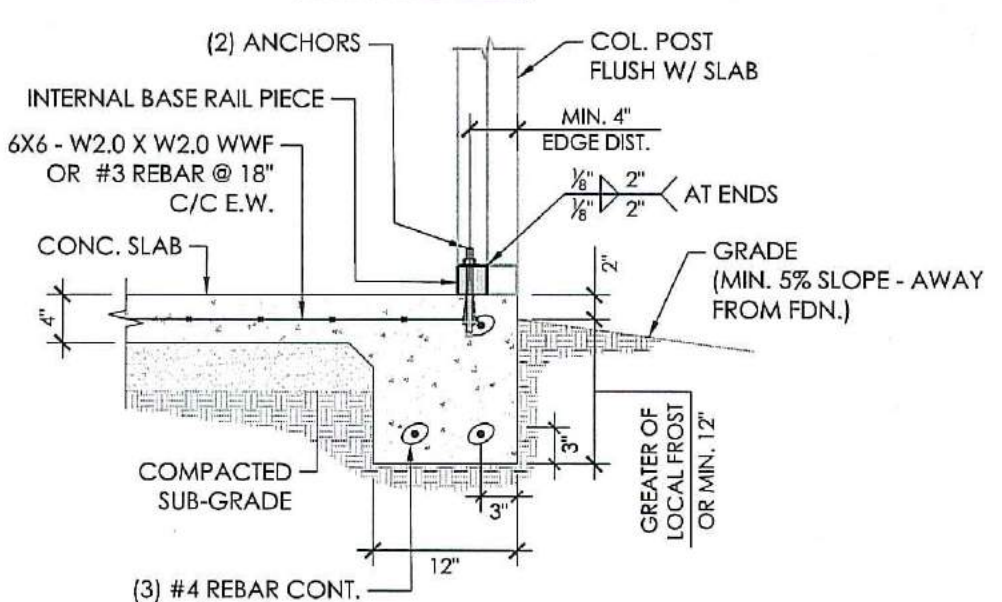
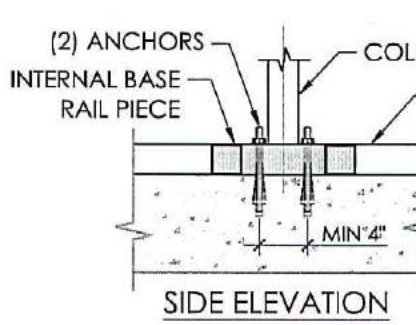
MEMBER PROPERTIES	
CORNER POST	2 1/2" SQ. X 14GA TUBE
SIDE WALL POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
BASE RAIL	2 1/2" SQ. X 14GA TUBE
CONNECTOR SLEEVE	2 1/4" SQ. X 12GA TUBE
PURLINS	3.25" X 1.5" X 14GA HAT CHANNEL
DOUBLE DOOR POST	(2) 2 1/2" SQ. X 14GA TUBE
DOUBLE HEADER	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
DIAGONAL BRACES	2" SQ. X 12GA TUBE
HORIZONTAL BRACES	2 1/4" SQ. X 14GA TUBE
END WALL POSTS	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
PEAK BRACE	2 1/2" SQ. X 14GA TUBE
KNEE BRACE	(2) 3.25" X 1.5" X 14GA HAT CHANNEL



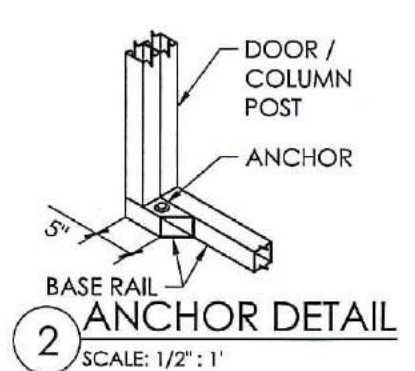
FOUNDATION PLAN
SCALE: 3/16" : 1'



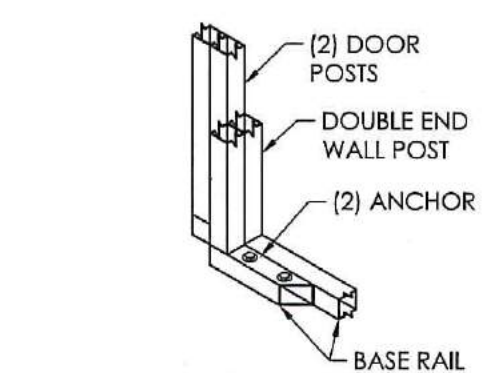
COLUMN LAYOUT
SCALE: 3/16" : 1'



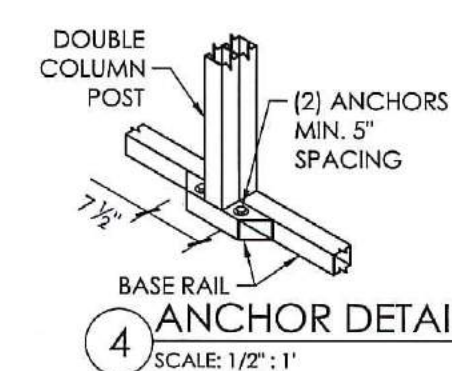
FOUNDATION DETAIL
SCALE: 3/4" : 1'



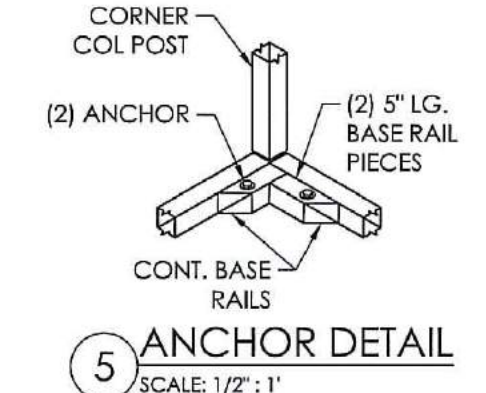
2 ANCHOR DETAIL
SCALE: 1/2" : 1'



3 ANCHOR DETAIL
SCALE: 1/2" : 1'



4 ANCHOR DETAIL
SCALE: 1/2" : 1'



5 ANCHOR DETAIL
SCALE: 1/2" : 1'

Interstate Steel Structures
131 S. Main St.
San Jacinto, CA 92583
Tel: 1-888-884-2453
Fax: 951-654-3888

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REGISTERED PROFESSIONAL ENGINEER
CIVIL
OMAR A. ABU-YASEIN
C73389
STATE OF CALIFORNIA

EXPIRES: 12/31/2024
SIGNED: 06/05/2023

THE ENGINEERING SEAL COVERS STRUCTURAL DESIGN ELEVATIONS PRESENTED IN THIS SET OF PLANS. IT DOES NOT EXCLUDE ANY ARCHITECTURAL, SITE, ZONING, HVAC, ELEC, MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ADDRESSED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.

AAA PROJECT NUMBER
201-23-1253

PROJECT TITLE PROJECT LOCATION

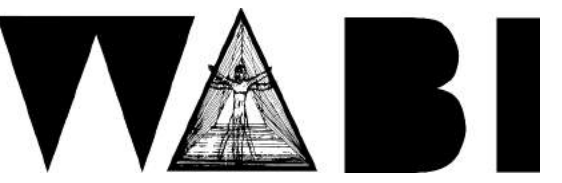
FRANCISCO BAUTISTA
1426 S COAST HWY
OCEANSIDE, CA 92054
(SAN DIEGO COUNTY, CA)

REVISIONS	DATE
1. ISSUED FOR PERMIT & CONSTRUCTION	05/15/2023

DRAWING INFO
DRAWN BY: DATE: 05/19/2023
C.S.
CHECKED BY: DATE: 05/19/2023
O.A.

SHEET TITLE
COVER SHEET
ELEVATIONS
FOUNDATION PLAN
COLUMN LAYOUT & DETAILS

SHEET NUMBER
S - 1



WAABI STUDIO
 WILLING ABLE BODIES INTERACT
 SD, CA 92113
 760.708.8168
 martin@waabistudio.com

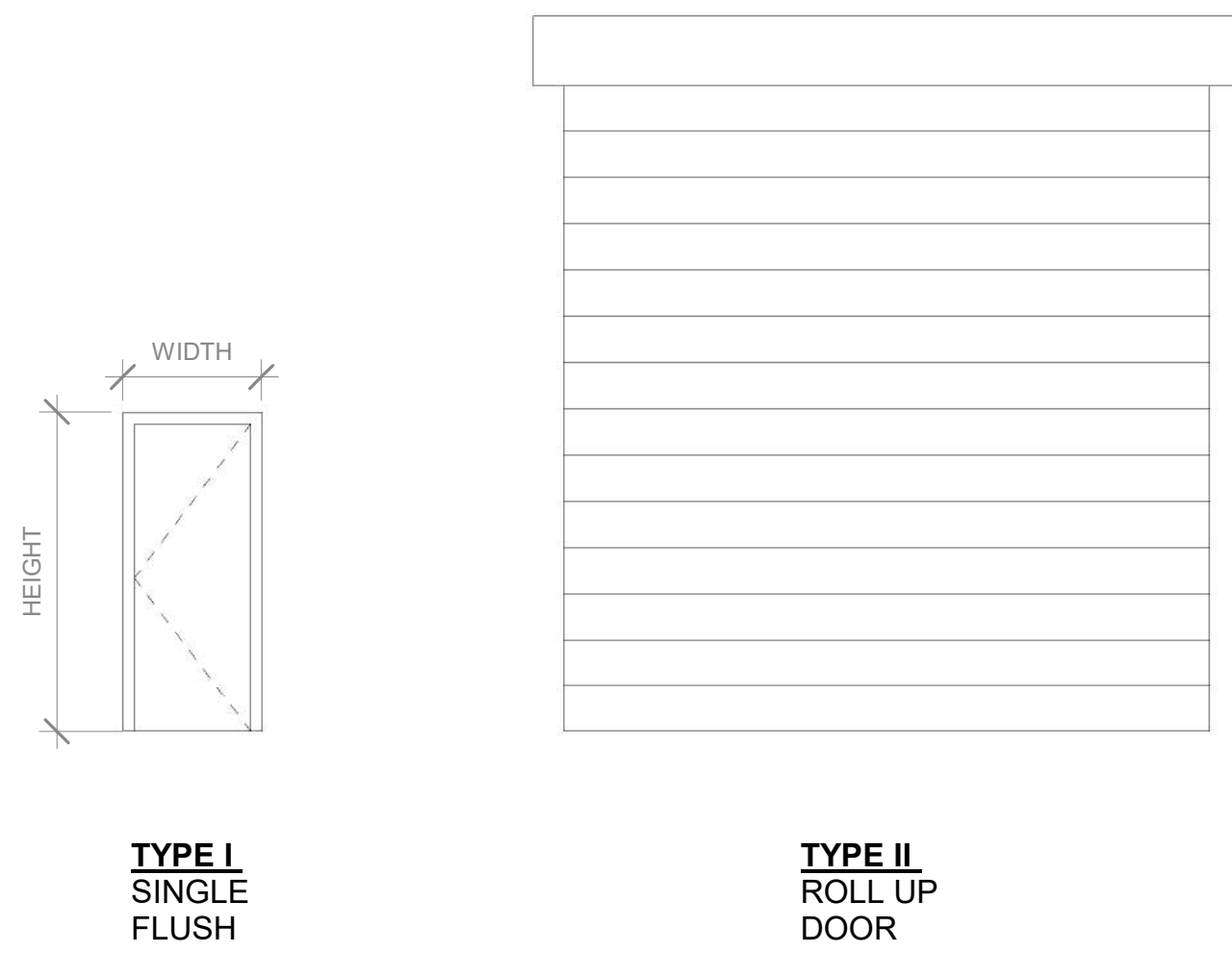
PROJECT:
**TIRES 4 LESS
 STORAGE UNITS**

1426 S COAST HWY
 OCEANSIDE, CA
 VICINITY MAP:

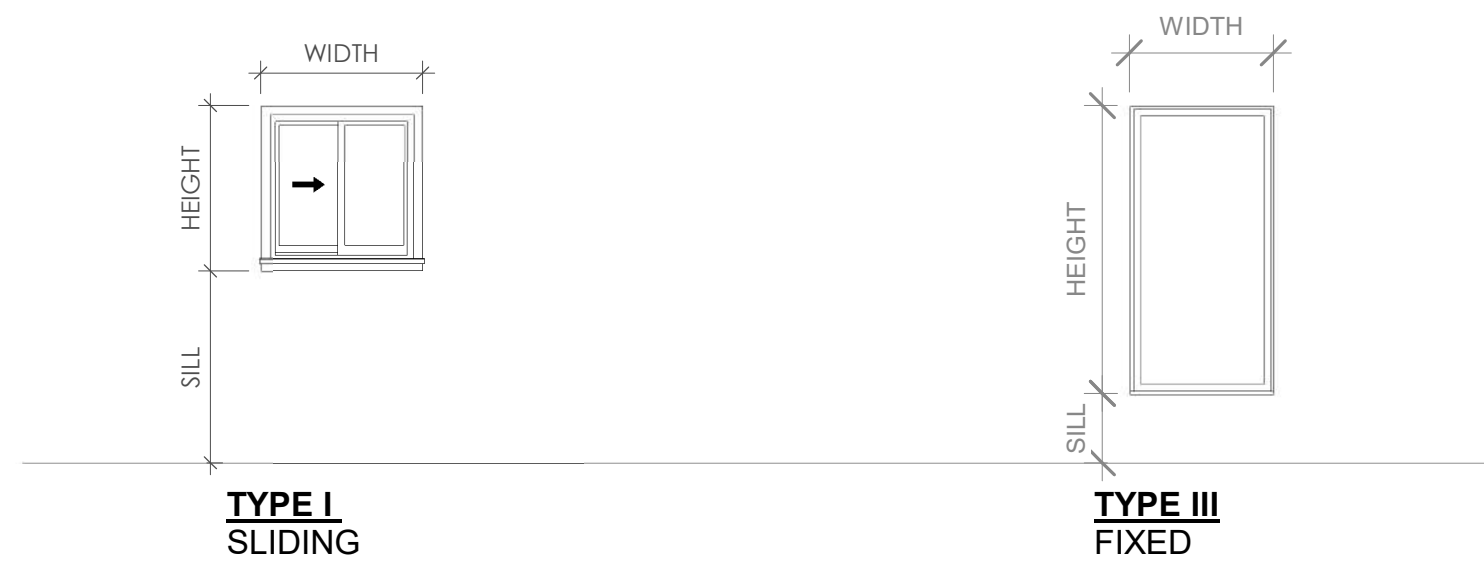
DOOR SCHEDULE			
MARK	DOOR		NOTES
	WIDTH	HEIGHT	
A101	2'-10"	6'-8"	EXISTING
A102	2'-10"	6'-8"	EXISTING
A103	20'-0"	10'-0"	EXISTING
B101	10'-0"	10'-0"	
B102	2'-10"	6'-8"	
C101	2'-10"	6'-8"	
C102	10'-0"	12'-0"	
C103	10'-0"	12'-0"	
C104	10'-0"	10'-0"	
C105	10'-0"	10'-0"	
D101	2'-10"	6'-8"	

WINDOW SCHEDULE								
MARK	COUNT	WIDTH	HEIGHT	AREA	OPERABLE	U-FACTOR	SHGC	COMMENTS
E1	4	6' - 0"	4' - 0"					EXISTING

DOOR LEGEND



WINDOW LEGEND

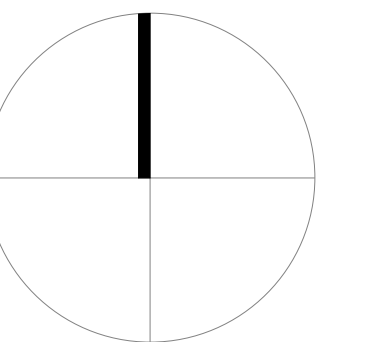


STAMP:

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NO.	REVISION	DATE

NORTH:



OWNER:
 TIRES 4 LESS
 JOB NUMBER:
 Project Number
 PRJ/PNTS/BLD:
 Checker
 ISSUE DATE:

 PROJECT STATUS:
 Project Status
 SCALE:
 AS INDICATED

SHEET NAME:
**WINDOW + DOOR
 SCHEDULE**

SHEET NUMBER:

A500



Project Name: Tires 4 Less Storage and Maintenance Facility Improvement

Location: 1426 South Coast Highway

Applicant: Tires 4 Less

Date: October 12, 2023

We are presenting a project proposal towards approval for the construction/installation of pre-fabricated structures to replace two existing shade structures on the premises located at 1426 S Coast Hwy. The purpose of this project is to enhance the tire storage and maintenance facilities in accordance with the City of Oceanside Comprehensive Ordinance 3020 for Outdoor Facilities.

Project Scope:

Demolition of Existing Shade Structures:

We propose the complete demolition of two existing shade structures currently on the site. These structures are outdated and do not meet the current needs and requirements for tire storage and maintenance.

Construction of Pre-Fabricated Structures:

In place of the demolished shade structures, we plan to construct pre-fabricated structures. These structures will be designed to enclose the tire storage area and provide a dedicated space for tire changing tools.

Compliance with City of Oceanside Comprehensive Ordinance 3020:

The project will adhere to the guidelines and regulations set forth in the City of Oceanside Comprehensive Ordinance 3020 for Outdoor Facilities. This includes considerations for safety, aesthetics, and environmental impact.

Design Considerations:

The design of the pre-fabricated structures will be in harmony with the surrounding area and architecture, ensuring they do not disrupt the visual appeal of the neighborhood. We will include appropriate landscaping and design elements to ensure the overall aesthetic appeal of the project area is maintained or enhanced.

Tire Storage Capacity:

The new structures will have adequate capacity for tire storage, neatly organized to prevent any environmental hazards or unsightly conditions.

Tool Storage and Work Space:

A designated area within one of the structures will be allocated for tire changing tools and equipment. This space will be designed for efficient use and easy access.